

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: January 19, 2023

TO: Zoning Hearing Officer

FROM: Planning Staff

SUBJECT: Consideration of a Non-conforming Use Permit, pursuant to Section 6133.3.b(2) of the County Zoning Regulations, to rebuild and enlarge a non-conforming single-family residence that will maintain a non-conforming front yard setback, include flat roofs within the upper building side wall area, and exceed the maximum floor area by 237 sq. ft. on a non-conforming 7,661 (net) sq. ft. parcel located at 18 Patterson Avenue in the unincorporated West Menlo Park area of San Mateo County.

County File Number: PLN 2022-00384 (Noorkami)

PROPOSAL

The applicant is seeking a Non-conforming Use Permit to rebuild and enlarge a non-conforming single-family residence on a non-conforming sized lot at 18 Patterson Avenue in unincorporated West Menlo Park. The proposed residence will maintain a non-conforming front yard setback of 13 feet-7-inches, where 20 feet is the minimum required, to accommodate a new attached garage. An exception to the upper building side wall (daylight plane) standard of the R-1/S-92 Option 1 Daylight Plane is requested to allow flat roofs within the upper building side wall areas on both sides of the residence. Additionally, the residence will exceed the maximum floor area by 237 sq. ft. (based on a net lot size of 7,661 square feet). Minimal grading and no tree removal is proposed.

NOTE: An exception to the upper building side wall length, including in the Zoning Hearing Officer meeting agenda for this item, has been determined by staff to not be necessary and has been eliminated from the project scope analyzed in this staff report.

RECOMMENDATION

That the Zoning Hearing Officer approve the Non-conforming Use Permit, County File Number PLN 2022-00384, by making the required findings and adopting the conditions of approval in Attachment A.

BACKGROUND

Report Prepared By: Summer Burlison, Project Planner; SBurlison@smcgov.org

Owner/Applicant: Maneli Noorkami

Public Notification: Ten (10) day advanced notification for the hearing was mailed to property owners within 300 feet of the project parcel and a notice for the hearing posted in a newspaper (San Mateo Times) of general public circulation.

Location: 18 Patterson Avenue, West Menlo Park

APN: 070-270-070

Size: 8,932 sq. ft. (gross); 7,661 sq. ft. (net)

Existing Zoning: R-1/S-92 (One-family Residential/10,000 sq. ft. lot minimum)

General Plan Designation: Medium Low Density Residential

Sphere-of-Influence: Menlo Park

Existing Land Use: Single-family residence

Water Supply: California Water Service – Bear Gulch

Sewage Disposal: West Bay Sanitary District

Flood Zone: Zone X (area of minimal flood hazard); FEMA map panel 06081C0304E, effective October 16, 2012.

Environmental Evaluation: The project is categorically exempt from the California Environmental Quality Act (CEQA) Guidelines, pursuant to Section 15303, Class 3, for a single-family residence in a residential zone.

Setting: The property is a relatively flat lot on the north side, and at the end of, Patterson Avenue (a private road off of Camino a Los Cerros) in the established single-family residential West Menlo Park area of San Mateo County. The property supports an existing single-story, single-family residence built in the late 1930's with a detached garage in the rear yard. The property abuts the City of Atherton to the north and east and existing one- and two-story single-family residences in the unincorporated County built between the late 1920's to late 1980's to the west and south (including across Patterson Avenue). The Atherton Channel runs along the left (west) side yard of the lot. A 20-foot private road easement (i.e., Patterson Avenue) runs along the front of the property (the total private roadway is 40 feet wide). Patterson Avenue supports 5 non-

conforming sized parcels fronting the private roadway and two corner parcels (at the intersection of Patterson Avenue and Camino a Los Cerros).

DISCUSSION

A. KEY ISSUES

1. Conformance with the General Plan

Policy 4.36 (*Urban Area Design Concept*) seeks to maintain and, where possible, improve upon the appearance and visual character of development in urban areas and ensure that new development is designed and constructed to contribute to the orderly and harmonious development of the locality.

The immediate (unincorporated) neighborhood consists of older single-family residences on non-conforming sized parcels established in the late 1920's to late 1980's. The existing single-family residential development on the project parcel was built around 1938. The existing one- to two-story residences are all of traditional design and construction, including gable and hip-style roofs, in alignment with their age of establishment. The proposed residence is a modern design, with flat roofs and varied exterior materials, that is more consistent with other newer, modern redevelopments permitted in the greater West Menlo Park community. While the modern design is not characteristic of the existing older established neighboring residences, it does reflect a more common evolution in the design theme being implemented in West Menlo Park and other areas of the County. Furthermore, the project parcel is located at the end of the dead-end private roadway, Patterson Avenue, and is not visible from the nearest public roadway, which is Camino a Los Cerros.

2. Conformance with the Zoning Regulations

a. Development Standards

The project parcel is zoned R-1/S-92 (One-family Residential/10,000 sq. ft. lot minimum). The project parcel is non-conforming in size at 7,661 sq. ft. (8,932 sq. ft. gross). The existing two-story single-family residence has a non-conforming front yard setback which is proposed to be maintained with the rebuild. A summary of the project's zoning compliance is provided in the table below:

S-92 Zoning Development Standards			
Standard	Required	Existing	Proposed
Minimum Lot Width (average)	50 ft.	65 ft.	No change
Minimum Lot Area (net)	10,000 sq. ft.	7,661 sq. ft.*	No change*
Minimum Front Yard Setback	20 ft.	13'-7" *	13'-7" (no change)*
Minimum Rear Yard Setback	20 ft. (1 st Story) 28 ft. (2 nd Story)	33 ft.	20 ft. (1 st Story) 36 ft. (2 nd Story)
Minimum Side Yard Setbacks	10 ft.	18'-6" (right) 14'-10" (left)	10 ft. (right) 10 ft. (left)
Maximum Lot Coverage	50%	25%	25%
Maximum Floor Area	3,492 sq. ft.	2,059 sq. ft.	3,729 sq. ft.*
Maximum Building Height	28 ft.	<15 ft.	25'-(3/4")
Daylight Plane	Options 1 - 3	N/A	Option 1*
*Non-conforming, see discussion below.			

Non-conforming Parcel Size

The parcel is non-conforming in (parcel) size at 7,661 sq. ft. (8,932 sq. ft. gross). Pursuant to Section 6133.3.b(2) of the County Zoning Regulations, the proposed project entails development on an improved non-conforming parcel that does not conform with the zoning regulation standards for upper building side wall (daylight plane) and floor area. Additionally, a non-conforming front yard setback for the garage will be maintained. Therefore, a Non-conforming Use Permit is required, as being sought under the current application.

Non-conforming Setback

The project proposed to maintain a non-conforming front yard setback of 13 feet-7-inches where 20 feet is the minimum front yard setback required, to accommodate a new attached garage. Aside from this non-conforming front yard setback for the new attached garage, the livable space of the proposed residence will be set back more than 20-feet from the front property line to comply with the minimum 20-foot front yard setback. The new garage within the front yard setback will have a maximum single-story height of less than 10 feet.

Non-conforming Floor Area

For purposes of applying zoning standards, the net gross parcel size (exclusive of any access easements) is used. Patterson Avenue is an improved private road within a 40-foot-wide easement. The project parcel has a 20-foot access easement along the front property line for the private roadway. Therefore, the net gross parcel size is 7,661 sq. ft. (8,932 sq. ft. gross area). The maximum allowed floor area is more restrictive than the lot coverage standard for the parcel. The applicant is seeking an exception to allow an additional 237 sq. ft. of floor area than the maximum allowed. When accounting for a proposed lower floor accessory dwelling unit, the upper floor and lower floors are adequately proportioned to each other. The residence, even though larger in sq. ft. than allowed based on the net parcel size nevertheless appears proportional to the lot size, as the easement area is not fully improved and so appears to be part of the lot.

Non-conforming Upper Building Side Wall

The project utilizes the R-1/S-92 Daylight Plane Option 1, which includes standards for the application of an upper building side wall¹. To support the desired modern design for the residence, an exception is being sought for the upper building side wall pitched roof requirement on both sides of the building.

Pursuant to Section 6300.8.100.1.(2)(a) of the S-92 Zoning Regulations, the portion of the house regulated by the 20-foot/45° (upper building side wall) daylight plane, only hip, gambrel, and gable roofs are allowed with no sloped roof to be less than 20°. As previously mentioned, the proposed residence uses a modern design with flat roofs (2% slope) that is reflective of a more current and common design theme seen in other proposals elsewhere in West Menlo Park and other areas of the County.

b. Non-conforming Use Permit Findings

The existing residence was constructed in 1938 and is non-conforming as identified in Section A.2 above. Section 6133.3.b(2) of the Zoning Regulations requires the issuance of a Non-conforming Use Permit when proposed development on an improved non-conforming parcel will not conform with the zoning regulations currently in effect.

¹ Upper Building Side Wall Length. The upper building side wall length is the maximum combined front to rear length(s) of a building along a line less than ten (10) feet inward from and parallel to a side setback line, measured at any point 17 feet or more above existing grade. Its rear-most point shall not extend beyond the second-story rear setback line.

Therefore, the following findings, as required by Sections 6133.3.b(3) and 6137 (Exceptions), must be made:

- (1) **That the proposed development is proportioned to the size of the parcel on which it is being built.**

As previously mentioned, for purposes of applying zoning standards, the net parcel size (exclusive of any access easements) is used. The project parcel has a 20-foot access easement along the front property line for the private roadway. Therefore, the net parcel size is 7,661 sq. ft. (8,932 sq. ft. gross area). While the Non-conforming Use Permit includes an exception to floor area, to allow an additional 237 sq. ft. beyond the maximum floor area allowed for the parcel based on net parcel size, staff believes that the proposed design, footprint and site location are adequately proportioned for the parcel as the project substantially conforms to the applicable zoning development standards. Additionally, the private access easement area along Patterson Avenue is not fully improved and so appears to be part of the lot.

- (2) **That all opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible.**

The adjacent surrounding lots are developed with single-family residences under separate private ownership and are not available for purchase. None of the adjacent lots (within the County's jurisdiction) are of a conforming 10,000 sq. ft. lot size and therefore do not exceed the minimum lot size for the applicable zoning district such that the property owner could acquire additional land from an adjacent property (i.e., lot line adjustment). The adjacent properties in the City of Atherton are developed with single-family residences and are approximately 1 acre in size where the City of Atherton's zoning requires a minimum lot size of 1 acre. Additionally, the Atherton Channel separates the project property from the adjacent City of Atherton properties. Furthermore, given the housing shortage in the County, staff would not encourage the consolidation of adjacent individually developed parcels with the project parcel as it would result in the reduction of housing supply.

- (3) **That the proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.**

Staff believes the proposed project is in substantial and reasonable conformance with the current zoning regulations as evidenced in the zoning standards table in Section A.2 above. The requested exceptions, particularly the floor area and upper building side wall exception for flat roofs, will allow for a variation in residential design to achieve the applicant's desired modern design, which staff is seeing become a more desired design theme in the West Menlo Park area and other areas of the County from when the S-92 zoning standards were established in 1991 and when the residences in the immediate neighborhood were established circa late 1920's through late 1980's.

- (4) **That the establishment, maintenance and/or conducting of the proposed use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in the said neighborhood.**

The West Menlo Park neighborhood consists of conforming and non-conforming sized parcels; all of the parcels along Patterson Avenue are of non-conforming size. The project site is located at the end of Patterson Avenue, on the north side of the private roadway. Perimeter trees and vegetation provide screening of the project site on east and west sides of the property. The proposed project will continue to utilize the parcel for single-family residential purpose and the project, as proposed, will allow for the maximum accommodation of a three-bedroom home with an attached accessory dwelling unit.

Furthermore, the development is at the end of a dead-end private road with the nearest neighbors being a property across Patterson Avenue and to the right of the project parcel. The adjacent property to the right of the project site is an older single-story residence with vegetative screening maintained along the common property line to help screen the proposed development. Furthermore, the flat roof design creates a lower vertical profile appearance for the building.

Therefore, as proposed, staff believes the project will not generate any significant adverse impacts to or be detrimental to the public welfare or injurious to property or improvements in the neighborhood.

- (5) **That the use permit approval does not constitute a granting of special privileges.**

Approval of a non-conforming use permit for the proposed project does not constitute the granting of a special privilege as the Zoning Regulations Non-Conformities Chapter provides the same exception process for similar parcels under the same conditions.

B. ENVIRONMENTAL REVIEW

The project is categorically exempt from the California Environmental Quality Act (CEQA) Guidelines, pursuant to Section 15303, Class 3, for a single-family residence in a residential zone.

C. REVIEWING AGENCIES

Building Inspection Section
Drainage and Geotechnical Review Sections
Menlo Park Fire Protection District
West Bay Sanitary District
California Water Service – Bear Gulch

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Project Plans
- D. S-92 Development Standards

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2022-00384 Hearing Date: January 19, 2023

Prepared By: Summer Burlison, For Adoption By: Zoning Hearing Officer
Project Planner

RECOMMENDED FINDINGS

For the Environmental Review, Find:

1. The project is categorically exempt from the California Environmental Quality Act (CEQA) Guidelines, pursuant to Section 15303, Class 3, for a single-family residence in a residential zone.

For the Non-conforming Use Permit, Find:

2. That the proposed development is proportioned to the size of the parcel on which it is being built as the project is in substantial conformance with the S-92 zoning development standards and the private access easement area is not fully improved so therefore appears to be part of the lot.
3. That all opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible as the adjacent surrounding lots are either developed with single-family residences under separate private ownership and not available for purchase or are of minimum or non-conforming parcel sizes to allow a partial conveyance of land to benefit the project site.
4. That the proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible as the project is in substantial conformance with the S-92 zoning development standards while the exceptions will allow for a variation in residential design to that is becoming more prevalent than when the S-92 zoning standards were established or the developed neighborhood was established.
5. That the establishment, maintenance and/or conducting of the proposed use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in the said neighborhood. The project site is located at

the end of Patterson Avenue, on the north side of the private roadway. The proposed project will continue to utilize the parcel for single-family residential purpose and the project, as proposed, will allow for the maximum residential accommodation on the 7,661 sq. ft. (net) parcel. Furthermore, the nearest adjacent neighbor to the right of the project site is an older single-story residence with vegetative screening maintained along the common property line that will help to screen the proposed development.

6. That the use permit approval does not constitute a granting of special privileges as the Zoning Regulations Non-Conformities Chapter provides the same exception process for similar parcels under the same conditions.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal, documents, and plans described in this report and submitted to and approved by the Zoning Hearing Officer on January 19, 2023. Minor modifications to the project may be approved by the Community Development Director if they are consistent with the intent of, and in substantial conformance with, this approval.
2. This Non-Conforming Use Permit is valid for one (1) year from the date of final approval, in which time a valid building permit shall be issued and a completed inspection (to the satisfaction of the Building Inspector) shall have occurred within 180 days of its issuance. Any extension of this permit shall require submittal of an application for permit extension and payment of applicable fees 60 days prior to expiration.
3. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Department of Public Works, and the Menlo Park Fire Protection District. Additionally, construction shall not commence until a valid building permit is issued.
4. To reduce the impact of any construction-related activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.

- c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along Patterson Avenue. All construction vehicles shall be parked on-site outside the public right-of-way, or in locations which do not impede safe access on Patterson Avenue. There shall be no storage of construction vehicles in the public right-of-way.

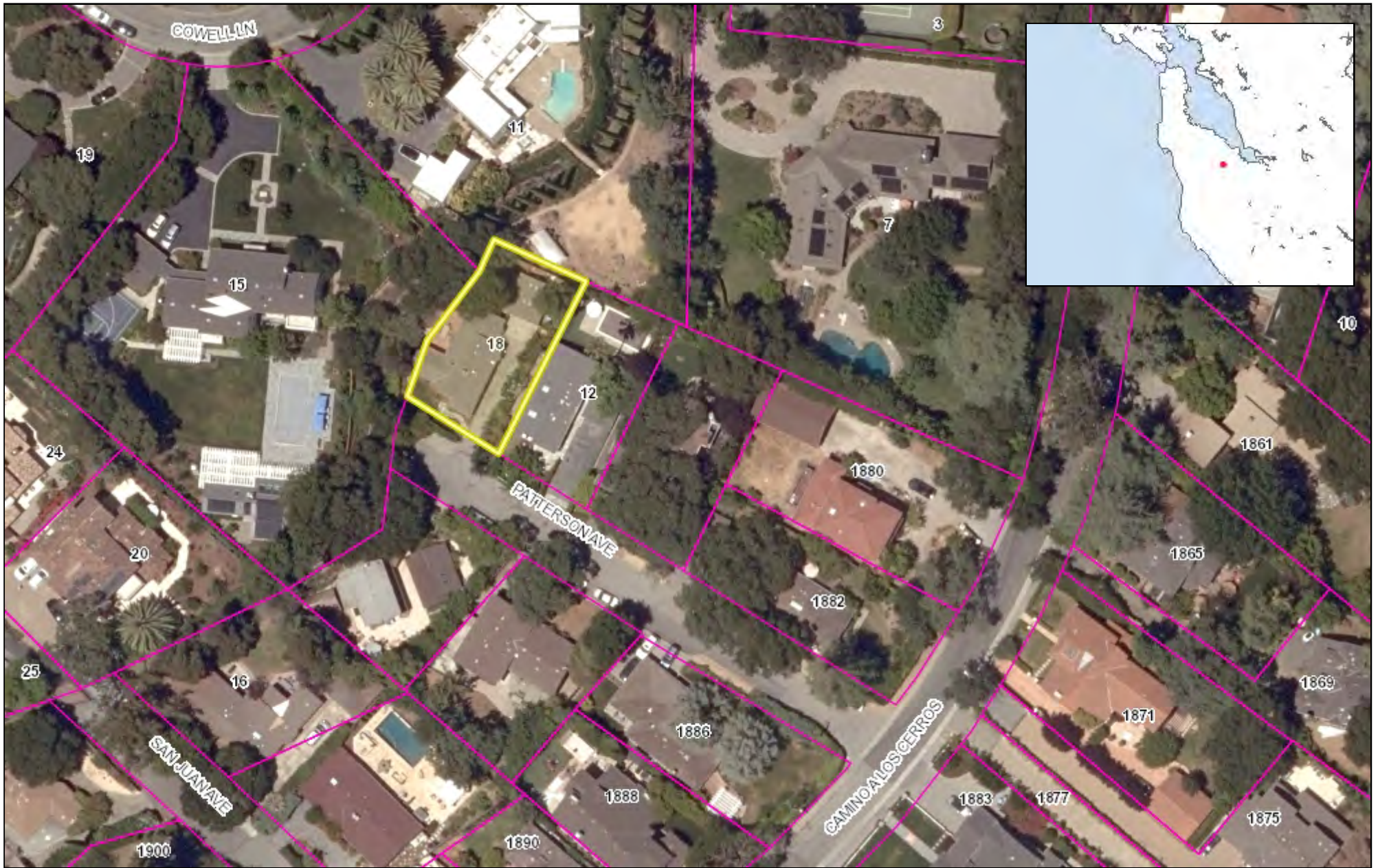
- 5. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo County Ordinance Code Section 4.88.360).

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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



0.04 0 0.02 0.04 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:1,128



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C

18 Paterson Ave

Menlo Park California



www.utopiadc.net
408-329-3296

Handwritten signature

18 PATTERSON AVE
MENLO PARK, CA
94025

APN: 070-270-070

REVISION TABLE:

REVISION	REVISION DATE	BY
1	5/13/22	Babak H
2	9/13/22	Babak H

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE AMS DESIGN'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION (BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY AMS DESIGN IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM AMS DESIGN PRIOR TO PROCEEDING WITH ANY RELATED WORK.

SHEET TITLE:

COVER SHEET

PROJECT ID: _____
DATE: _____
SCALE: _____
DRAWN BY: _____

SHEET NUMBER:
A-00

OWNERSHIP:
THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF UTOPIA. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REVISED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF AMS DESIGN. ANY USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF UTOPIA. ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

PROJECT CONTACT

OWNER: **MANELI NOORKAMI** 415 - 518-8872
18 PATTERSON AVENUE MENLO PARK CA,

DESIGNER: **UTOPIA CONSTRUCTION**
11248 CATALINA COURT, CUPERTINO, CA 95014
408 - 329 3296

CIVIL: **SMP ENGINEERINGS**
1534 CAROB LANE, LOS ALTOS CA, 94024
650 - 941- 8055

STRUCTURE: **STRUCTECH ENGINEERING**
5632 RAVENNA COURT, SAN JOSE, CA, 95118
408 - 569 7486

SCOPE OF WORK

Construction of a new single family house
Construction of a new Attached ADU

PROJECT DATA

Address: 18 Patterson Ave. Menlo Park 94025
APN: 070-270-070
Lot Size: 8,932.78 ft²
Net Lot Size: 8,932.78 ft²
Zoning District: S-92
Occupancy: **R-3/U**
Construction Type: **V-B**

Setbacks	Allowed	Existing	Proposed
Front:	20'	12'-10"	12'-10"
East Side:	10'	20'	10'
West Side:	10'	13'	8' (ADU)
Rear:	20'	33'	20'

FAR	Allowed	Existing	Proposed
House:	3,822.32 ft ²	1,510 ft ²	First Floor: 1,355 ft ² Second Floor: 1,911 ft ²

Garage:		417 ft ²	463 ft ²
Total:	3,822.32 ft ²	1,927 ft ²	3,729 ft²

Attached ADU: 440 ft²

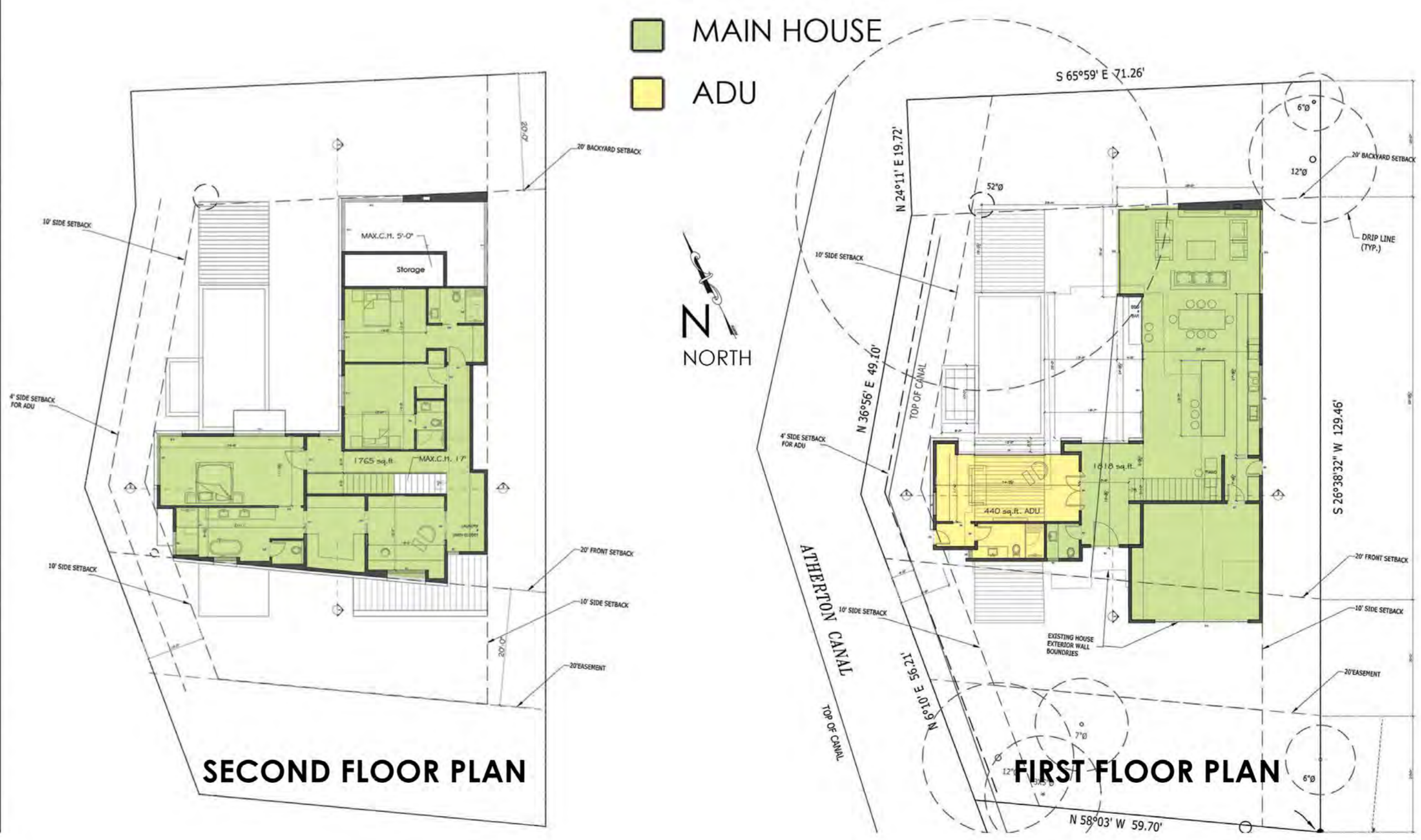
Proposed Floor Area:

First Floor:		
Living Area:	1,355 ft ²	
Garage:	463 ft ²	
Total:	1,818 ft ²	
Second Floor:		
Living Area:	1,911 ft ²	

Total First & Second Floor: 3,729 ft²

Attached ADU: 440 ft²

AREA KEY PLAN



GENERAL NOTES:

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE AMS DESIGN'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION (BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY AMS DESIGN IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM AMS DESIGN PRIOR TO PROCEEDING WITH ANY RELATED WORK.

FIRE SPRINKLER WILL BE REQUIRED FOR THIS PROJECT UNDER A SEPERATE PERMIT.

POOL WILL BE COVERED UNDER A SEPERATE PERMIT

PV system will be required under a separate permit.

FIRE NOTES:

1- GATE INSTALLATION SHALL CONFORM WITH FIRE DEPARTMENT STANDARD DETAILS AND SPECIFICATION G-1 AND, WHEN OPEN SHALL NOT OBSTRUCT ANY PORTION OF THE REQUIRED WIDTH OF 14' FOR EMERGENCY ACCESS ROADWAYS OR DRIVEWAYS. GATES ACROSS EMERGENCY ACCESS ROADWAYS SHALL BE EQUIPPED WITH APPROVED ACCESS DEVICES. FOR GATES WHICH ARE OPERATED ELECTRICALLY, AN APPROVED KNOX KEY SWITCH SHALL BE INSTALLED; IF THEY ARE PRATED MANUALLY, THEN AN APPROVED KNOX PADLOCK BE INSTALLED. GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY OR OTHER ROADWAY SHALL BE A MINIMUM OF 30' FROM THE CENTER OF THE ROAD BEING EXISTED. KNOX PRODUCTS ARE OBTAINED FROM WWW.KNOXBOX.COM. CFC SECTION 503.6, 506.

2- ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. (CFC CHP.) 330.

3- POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS RESPONSIBILITY OF APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEM, AND/OR FIRE SUPPURATION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2019 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7

4- APPROVED ADDRESS NUMBERS ON BUILDING ELEVATIONS, SHALL BE PLAINLY LEGIBLE AND VISIBLE FROM THE ADJACENT ACCESS STREET OR ROAD FRONTING THE PROPERTY. THE NUMBERS NEED TO CONTRAST WITH THEIR BACKGROUND, AND BE A MINIMUM OF 4" HIGH, WITH A MINIMUM STROKE OF 1/2". ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM A PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED

VICINITY MAP:



PROPERTY LOCATION / NTS

CODE EDITIONS:

- A. CALIFORNIA RESIDENTIAL: 2019 EDITION
- B. CALIFORNIA BUILDING: 2019 EDITION
- C. CALIFORNIA MECHANICAL: 2019 EDITION
- D. CALIFORNIA PLUMBING: 2019 EDITION
- E. CALIFORNIA ELECTRICAL: 2019 EDITION
- F. CALIFORNIA ENERGY: 2019 EDITION
- G. CALIFORNIA FIRE: 2019 EDITION
- H. CALIFORNIA GREEN BUILDING: 2019 EDITION
- I. ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

DRAWING INDEX:

- A-00 COVER SHEET
- T-1 BOUNDARY AND TOPOGRAPHY
- A-01 DEMO & NEW CONSTRUCTION BOUNDARIES
- A-02 PROPOSED FIRST FLOOR PLAN
- A-02.2 WINDOWS SCHEDULE
- A-02.3 FIRE RATED WALLS AND CEILINGS DETAILS
- A-02.4 GUARDRAILING AND STAIRCASE DESIGN
- A-03 PROPOSED SECOND FLOOR PLAN
- A-04 PROPOSED SITE/ROOF PLAN
- A-05 PROPOSED NORTH & SOUTH ELEVATION
- A-06 PROPOSED WEST & EAST ELEVATION
- A-07 PERSPECTIVES
- A-08 SECTIONS
- E-01 ELECTRICAL "FIRST FLOOR"
- E-02 ELECTRICAL "SECOND FLOOR"
- S1 General Notes
- S2 Foundation
- S3 Second Floor Framing & Shear Walls
- S4 Upper Roof Framing
- S5 Foundation Details
- S6 Foundation Details
- S7 Framing Details
- S8 Framing Details
- S9 Typical Details
- C-1 Civil Cover Sheet.
- C-2 Grading & Drainage
- C-3 Details
- C-4 Details & Croos Sections
- C-5 BMP.s
- C-6 Erosion Control
- GB-01: GREEN BUILDING
- GB-02: GREEN BUILDING
- T24 T-1 TITLE 24 REPORT
- T24 T-2 TITLE 24 REPORT



Handwritten signature

18
PATTERSON AVE
MENLO PARK, CA
94025

APN: 070-270-070

REVISION TABLE:	REVISION DATE	BY
1	5/13/22	Babak H
2	9/13/22	Babak H

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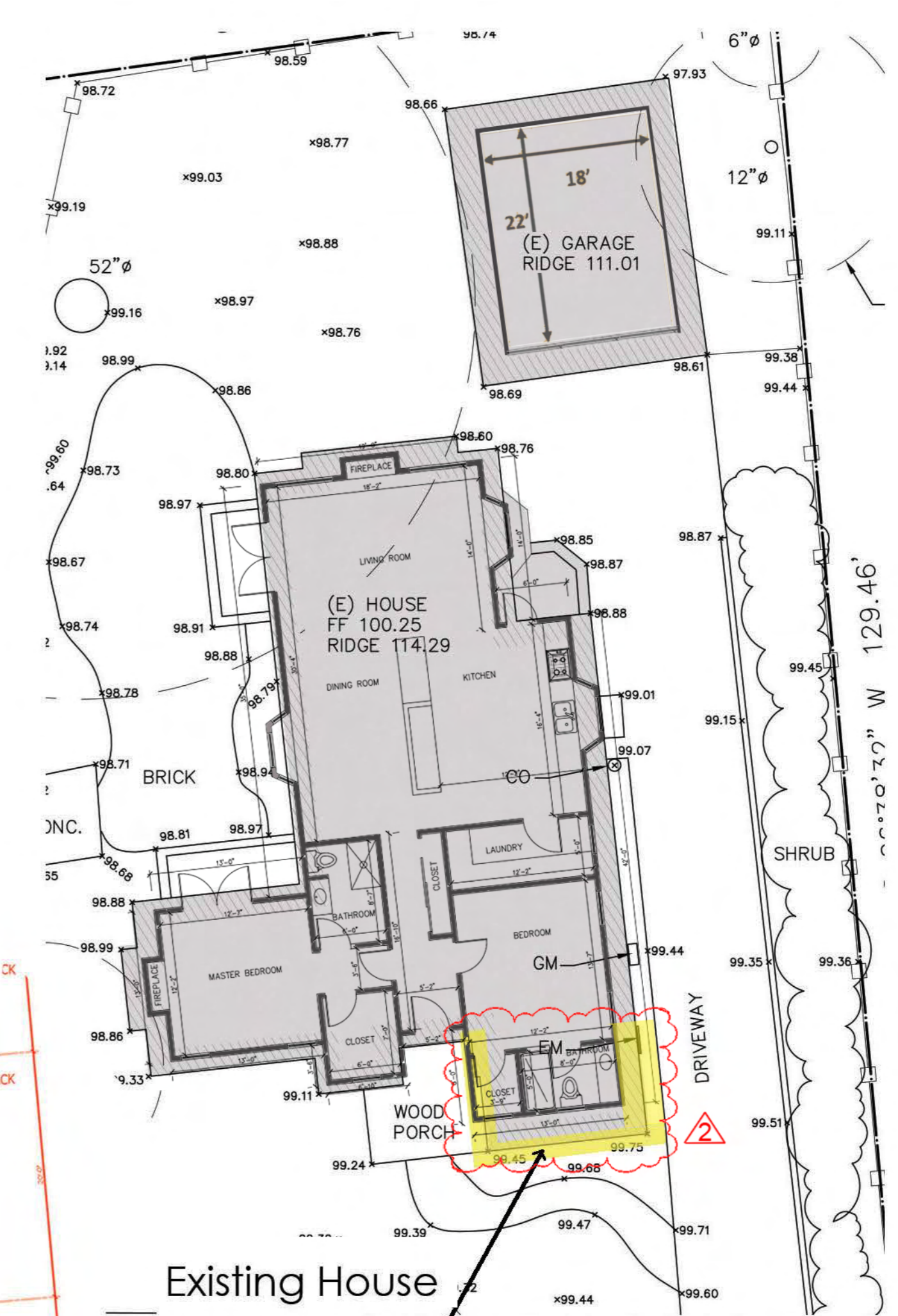
SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY HIS DESIGN IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM HIS DESIGN PRIOR TO PROCEEDING WITH ANY RELATED WORK.

SHEET TITLE:
**Demo Plan/
New Construction
Boundaries**

PROJECT ID: _____
DATE: _____
SCALE: _____
DRAWN BY: _____

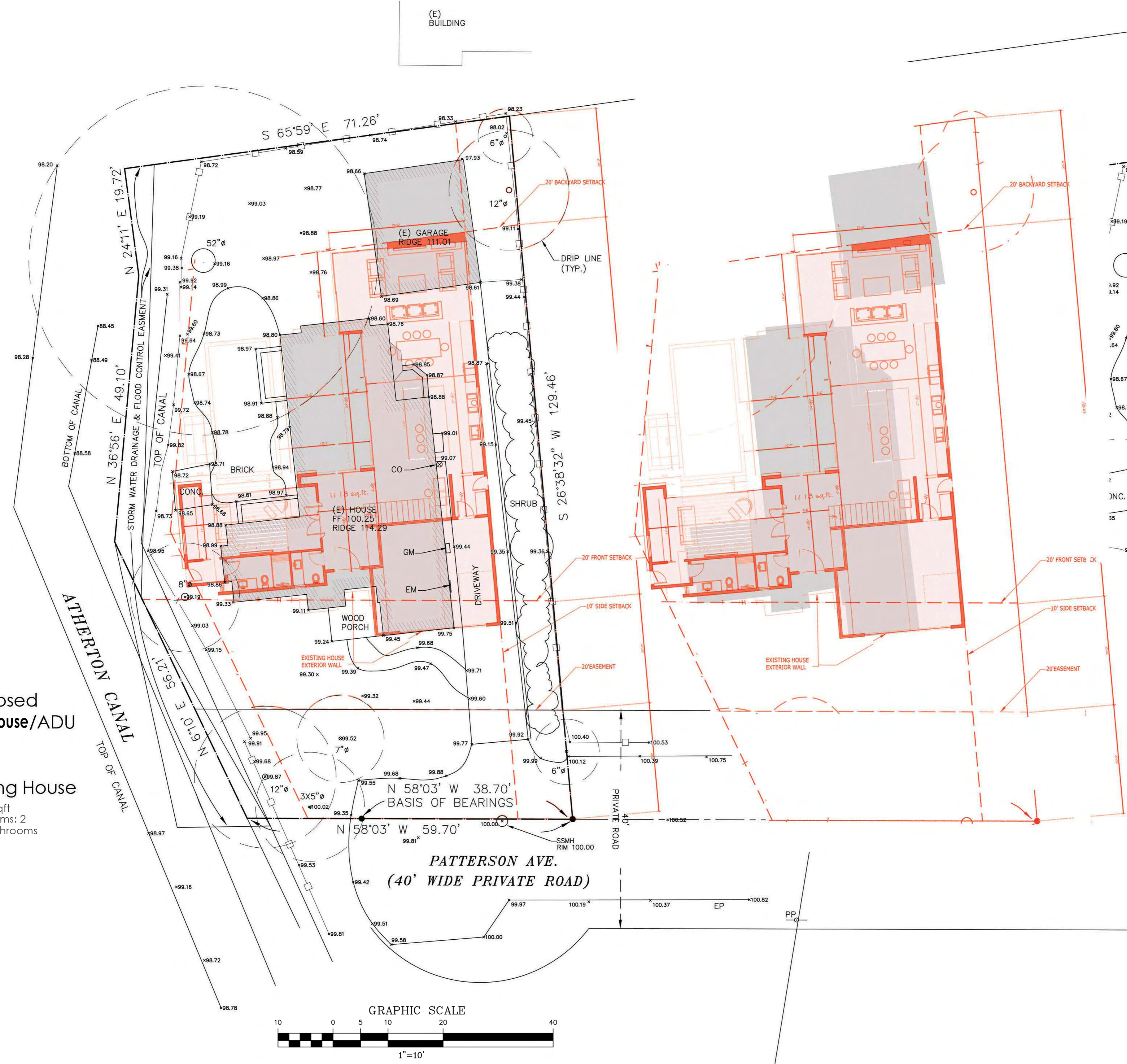
SHEET NUMBER:
A-01

OWNERSHIP:
THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF UTOPIA. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REVISED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF UTOPIA. ANY USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF UTOPIA. ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION, ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.



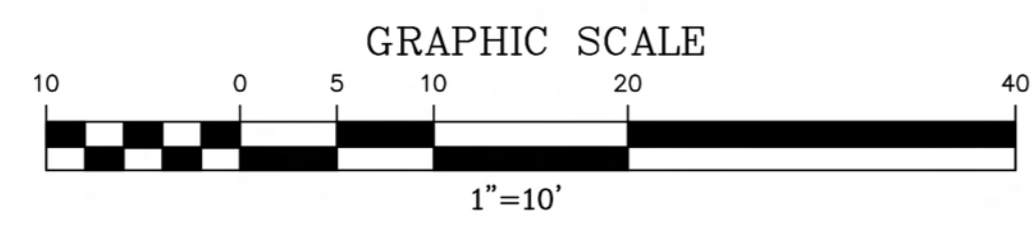
Existing House
1,540 sqft
Bedrooms: 2
2 Full bathrooms

Highlighted Wall and Foundation Remains,
the rest of the House and Garage will be
DIMOLISHED



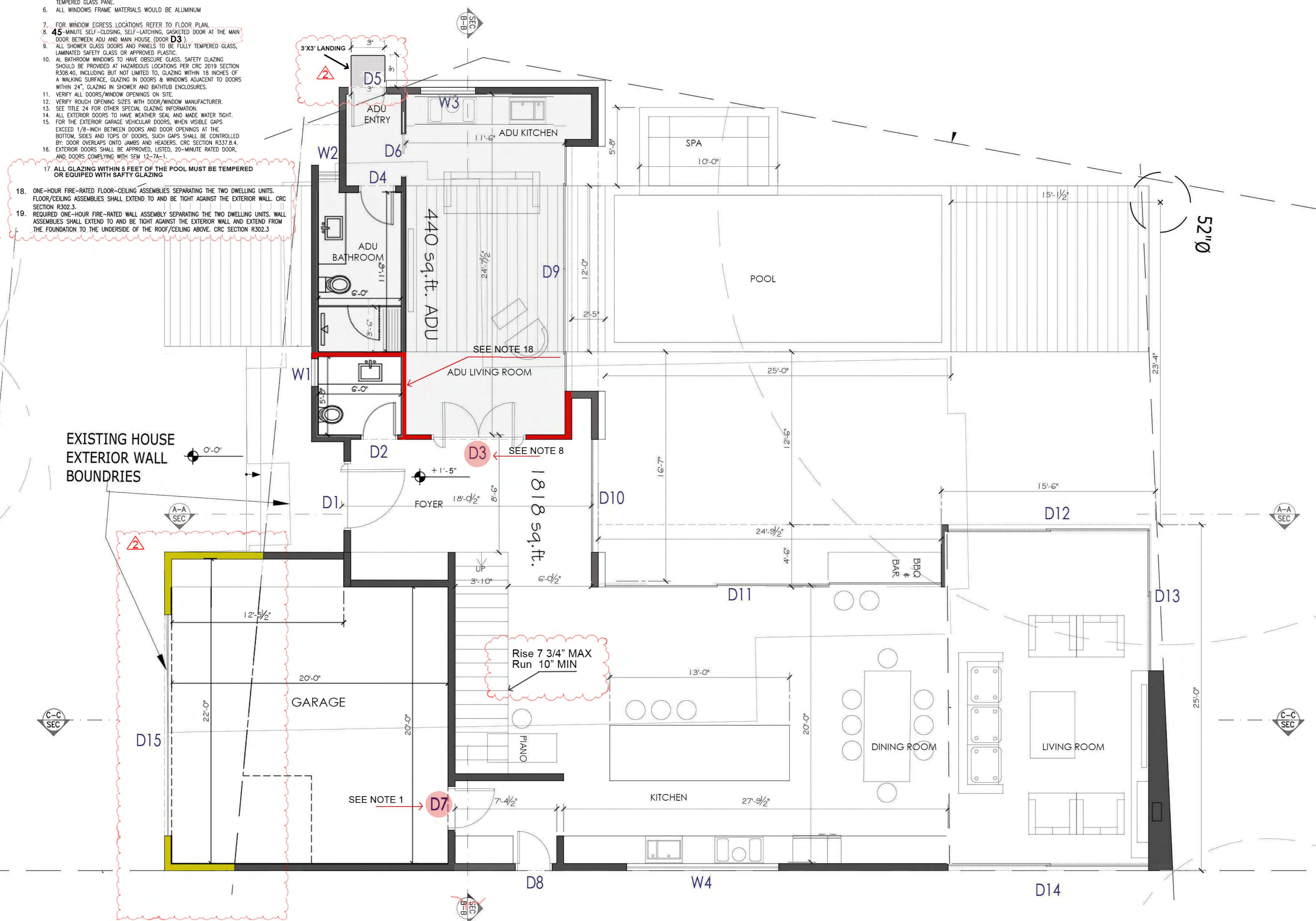
Proposed
New House/ADU

Existing House
1,540 sqft
Bedrooms: 2
2 Full bathrooms



- NOTE:**
- DOOR D7 BETWEEN THE GARAGE AND THE DWELLING NEED TO BE A SOLID CORE DOOR WITH A SELF-CLOSER FOR FIRE PROTECTION EGRESS WINDOW.
 - MIN. 20" WIDTH CLR HORIZONTAL OPENING AND MIN. 41" VERTICAL CLR OPENING WITH MAX. 42" SILL HEIGHT FROM FINISH FLOOR.
 - THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24-INCHES ABOVE THE FINISHED FLOOR SURFACE FOR THE ROOM IN WHICH THE WINDOW IS LOCATED, OR EACH SUCH WINDOW SHALL BE EQUIPPED WITH WINDOW OPENING CONTROL DEVICES (WOC) PER CRC SECTION R312.2.1 AND CRC SECTION R312.2.2. GLAZING BETWEEN THE FLOOR AND A HEIGHT OF 24 INCHES SHALL BE FIXED OR HAVE OPENING PROTECTION AS REQUIRED FOR GUARDS.
 - ALL EXTERIOR WINDOWS, CURTAIN AND WINDOW WALLS SHALL UTILIZE INSULATING-GLASS DUAL PANE WITH A MINIMUM OF ONE TEMPERED PANE (INNER OR OUTER).
 - GLAZING IN ANY EXTERIOR DOORS SHALL HAVE MULTIPLE-GLAZED PANELS CONSISTING OF NOT LESS THAN DUAL PANE GLAZING, WITH AT LEAST ONE TEMPERED GLASS PANE.
 - ALL WINDOWS FRAME MATERIALS WOULD BE ALUMINUM.
 - FOR WINDOW EGRESS LOCATIONS REFER TO FLOOR PLAN.
 - 45-MINUTE SELF-CLOSING, SELF-LATCHING, ASSISTED DOOR AT THE MAIN DOOR BETWEEN ADU AND MAIN HOUSE (DOOR D3).
 - ALL SHOWER GLASS DOORS AND PANELS TO BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC.
 - ALL BATHROOM WINDOWS TO HAVE OSGREASE GLASS. SAFETY GLAZING SHOULD BE PROVIDED AT HAZARDOUS LOCATIONS PER CRC 2019 SECTION R308.40, INCLUDING BUT NOT LIMITED TO, GLAZING WITHIN 18 INCHES OF A WALKING SURFACE. GLAZING IN DOORS & WINDOWS ADJACENT TO DOORS WITHIN 24" GLAZING IN SHOWER AND BATHUB ENCLOSURES.
 - VERIFY ALL DOORS/WINDOW OPENINGS ON SITE.
 - VERIFY ROUGH OPENING SIZES WITH DOOR/WINDOW MANUFACTURER.
 - SEE TITLE 24 FOR OTHER SPECIAL GLAZING INFORMATION.
 - ALL EXTERIOR DOORS TO HAVE WEATHER SEAL AND WADE WATER TIGHT.
 - FOR THE EXTERIOR GARAGE VEHICULAR DOORS, WHEN VISIBLE GAPS EXCEED 1/8-INCH BETWEEN DOORS AND DOOR OPENINGS AT THE BOTTOM, SIDES AND TOPS OF DOORS, SUCH GAPS SHALL BE CONTROLLED BY DOOR OVERLAPS ONTO JAMBES AND HEADERS. CRC SECTION R537.8.4.
 - EXTERIOR DOORS SHALL BE APPROVED, LISTED, 20-MINUTE RATED DOOR, AND DOORS COMPLYING WITH SEM 12-7A-1.
 - ALL GLAZING WITHIN 5 FEET OF THE POOL MUST BE TEMPERED OR EQUIPPED WITH SAFTY GLAZING.

NOTE: 5/8" TYPE-X GYPSUM BOARD ON THE CEILING OF THE GARAGE AND 1/2" GYPSUM BOARD OF THE WALLS OF THE GARAGE IS REQUIRED FOR FIRE PROTECTION



LEGEND

- ALL NEW INTERIOR WALLS WITH 2x STUDS W/ 5/8" GYP. BD BOTH SIDES
- ALL NEW EXTERIOR WALL WITH 2x STUDS, FINISH PER ELEVATIONS, INSULATION PER T-24
- EXISTING WALLS TO REMAIN
- FIRE RATED WALLS

GENERAL NOTES:

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- BUILDING SHALL BE BUILT IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES & REGULATIONS.
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- GLAZING IN ENCLOSURES FOR WALLS FACING BATHTUBS AND SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE TEMPERED.
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- PRIOR TO ENCLOSING THE WALL AND FLOOR FRAMING, CONFIRMATION MUST BE PROVIDED TO THE BUILDING INSPECTOR SHOWING THE FRAMING MEMBERS DO NOT EXCEED 19% MOISTURE CONTENT, CGC/CC SECTION 4-505.3
- PARTICLE BOARD, MDF, HARDWOOD PLYWOOD COMPLY WITH LOW FORMALDEHYDE
- PROVIDE VAPOR BARRIER AND CAPILLARY BREAK AT SLAB ON GRADE.
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- LAUNDRY DOOR SHALL BE LOUVERED FOR DRYER MAKE UP AIR.



www.utopiadc.net
408-329-3296

Handwritten signature

18 PATTERSON AVE
MENLO PARK, CA
94025

APN: 070-270-070

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1	5/13/22	Babak H
2	9/13/22	Babak H

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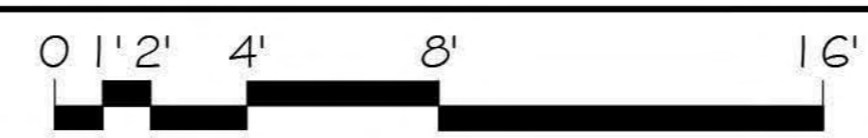
PROPOSED FIRST FLOOR PLAN

PROJECT ID: _____
DATE: _____
SCALE: _____
DRAWN BY: _____

SHEET NUMBER:
A-02

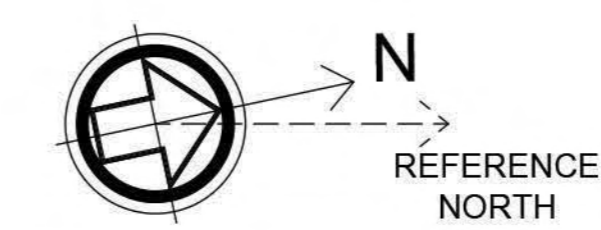
OWNERSHIP:
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PROPOSED FIRST FLOOR PLAN



SCALE: 1/4" = 1'-0"

1





Tommy

18
PATTERSON AVE
MENLO PARK, CA
94025

APN: 070-270-070

REVISION TABLE:		
△	REVISION DATE	BY
1	5/13/22	Babak H
2	9/13/22	Babak H

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SHEET TITLE:

PROPOSED SECOND FLOOR PLAN

PROJECT ID: _____
DATE: _____
SCALE: _____
DRAWN BY: _____

SHEET NUMBER:
A-03

OWNERSHIP:
THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF UTOPIA. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REVISED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF UTOPIA. ANY USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF UTOPIA. ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION, ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

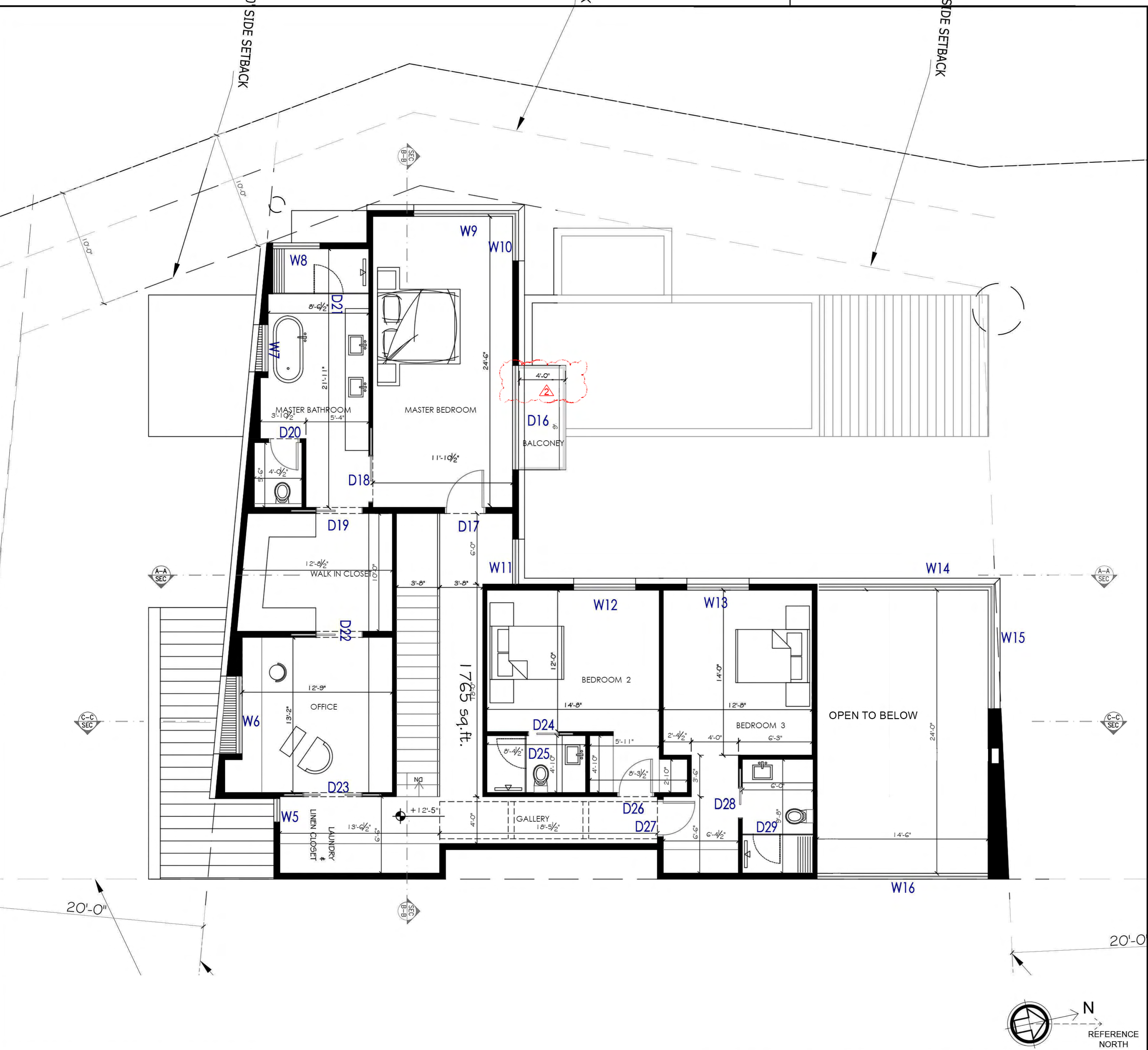
LEGEND

	ALL NEW INTERIOR WALLS WITH 2x STUDS W/ 5/8" GYP.BD BOTH SIDES
	ALL NEW EXTERIOR WALL WITH 2x STUDS, FINISH PER ELEVATIONS, INSULATION PER T-24

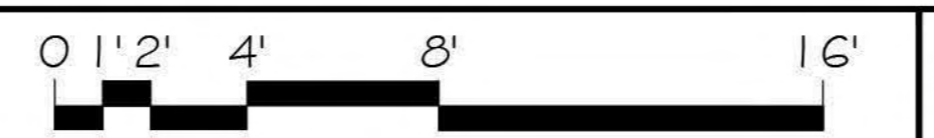
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- LAUNDRY DOOR SHALL BE LOUVERED FOR DRYER MAKE UP AIR.

FIRE NOTE:
FIRE SPRINKLER REQUIRED: (AS NOTED ON SHEET C1.1) AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ALL NEW ONE-AND TWO-FAMILY DWELLINGS AND IN EXISTING ONE- AND TWO-FAMILY DWELLINGS WHERE DURING THE PROCESS OF A REMODEL AND/ OR ADDITION, THE EXISTING ROOF STRUCTURE (JOISTS, RAFTERS, ETC.) IS REMOVED OVER AN AREA THAT EXCEEDS 75% OF THE EXISTING DWELLING FLOOR AREA. FOR ANY DISAGREEMENT ON THE AMOUNT OF ROOF STRUCTURE BEING REMOVED, A STATE OF CALIFORNIA LICENSED ARCHITECT OR STRUCTURAL ENGINEER SHALL BE UTILIZED TO CALCULATE THE PERCENTAGE OF THE ROOF TO BE REPLACED. AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE REQUIRED FOR ADDITIONS OR ALTERATION TO EXISTING BUILDINGS THAT ARE ALREADY PROVIDED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM.



PROPOSED SECOND FLOOR PLAN



SCALE: 1/4" = 1'-0"

1



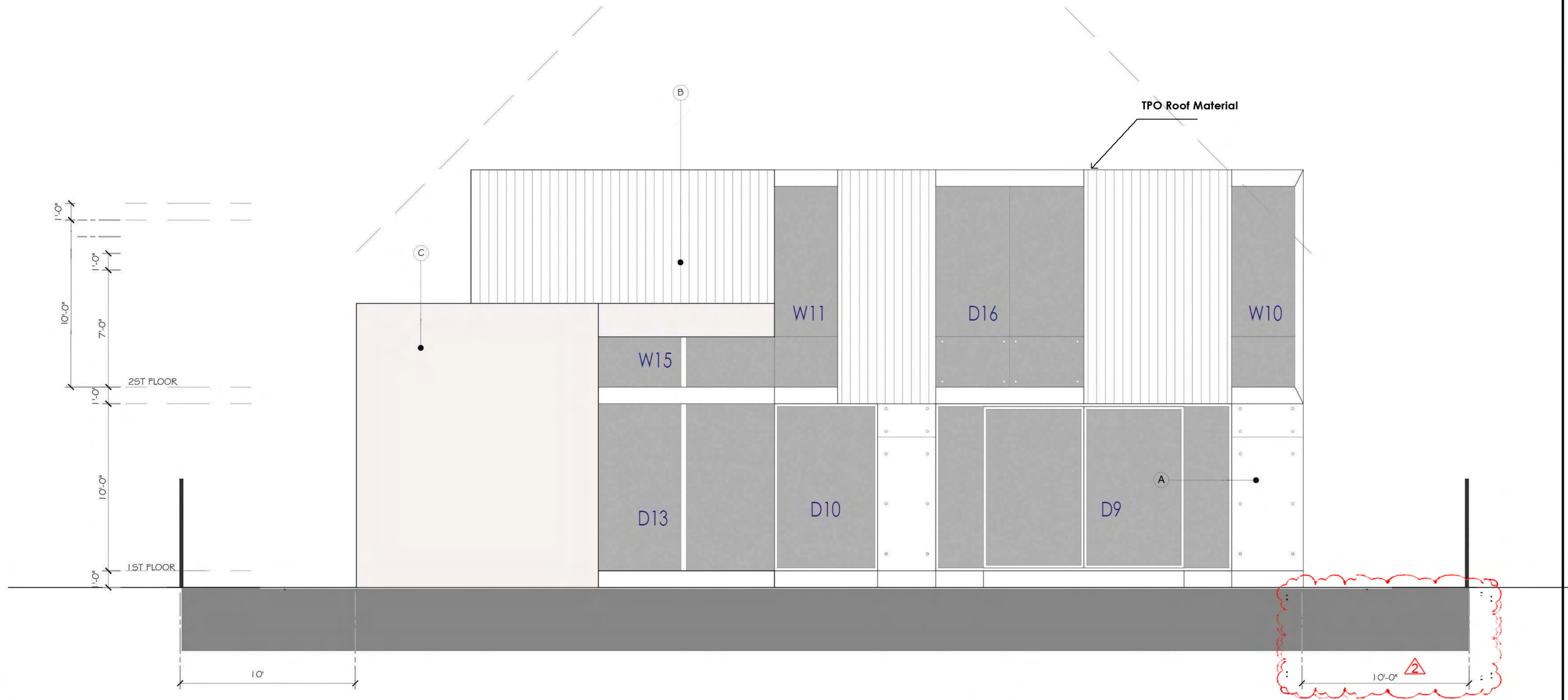
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NOTES:

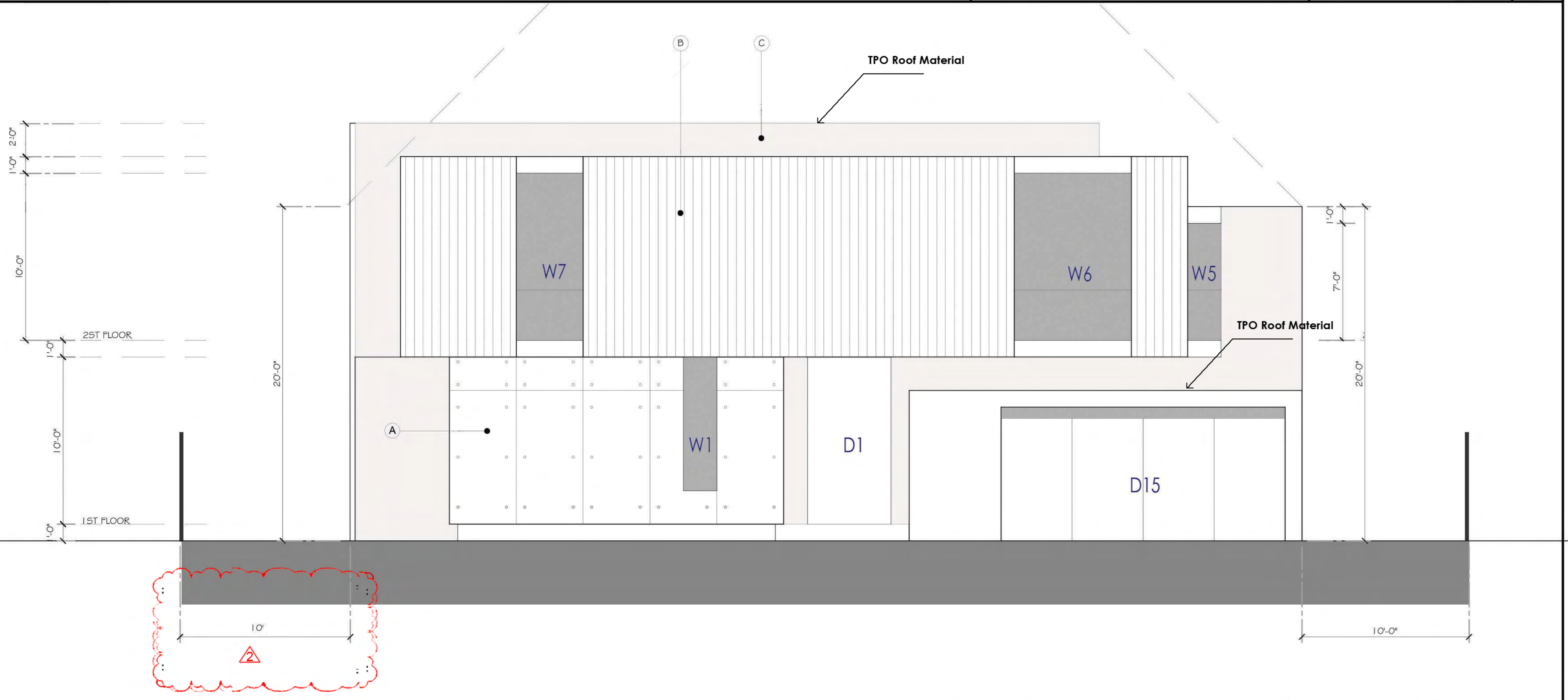
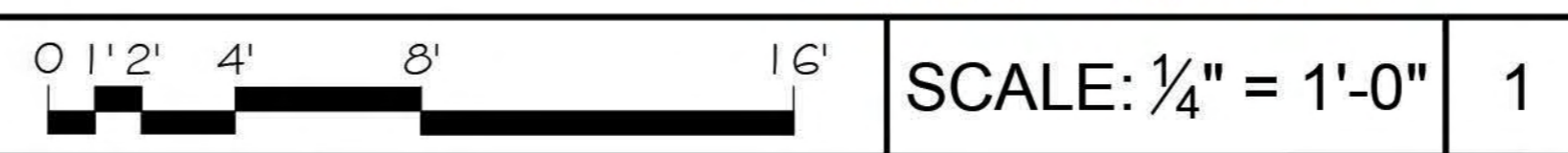
- 1- GRADE FOR PURPOSE OF ESTABLISHING DAYLIGHT PLANE SHALL BE AN AVERAGE OF THE GRADE AT THE MIDPOINT OF THE BUILDING AND GRADE AT THE CLOSEST POINT ON THE ADJACENT LOT.
 - 2- BOTTOM OF FLOOD VENT SHALL BE NO HIGHER THAN 12" FROM ADJACENT GRADE.
 - 3- THE INTERIOR CONTINUOUS FOOTING IN THE CRAWLSPACE TO HAVE 36" BY 14" MINIMUM OPENING FOR THE CROSS FLOW.
 - 4- THE MATERIAL SHALL BE NON-COMBUSTIBLE.
 - 5- THE MATERIAL USED SHALL BE CORROSION RESISTANT.
 - 6- VENT PER CRC 408.
- NOTES FOR MATERIAL TO BE USED BELOW THE BASE ELEVATION. (B.F.E.)
- 1- ALL FIRST FLOOR TO BE PRESSURE TREATED (P.T.D.F.)
 - 2- ALL MUD SILL AND POST BELOW FIRST FLOOR SHALL BE PRESSURE TREATED. (P.T.D.F.)
 - 3- ALL 2X OR 3X STUDS BELOW B.F.E.(ALL CRIPPLE STUDS BELOW FIRST FLOOR SUB-FLOOR AND AT CRAWL SPACE TO BE PRESSURE TREATED.
 - 4- ALL STUD WALLS AT THE EXTERIORS WALL OD THE GARAGE TO BE PRESSURE TREATED.
 - 5- ALL PLYWOOD (EXTERIOR AND INTERIOR BELOW FIRST FLOOR SUB-FLOOR TO BE PRESSURE TREATED.
 - 6- BOTTOM OF FLOOD VENT SHALL BE HIGHER THAN 12" FROM ADJACENT GRADE.
 - 7- ELECTRICAL, HEATING, VENTILATION, PLUMBING, AND AIR CONDITIONING EQUIPMENT MUST BE ELEVATED.

SYMBOL LEGEND

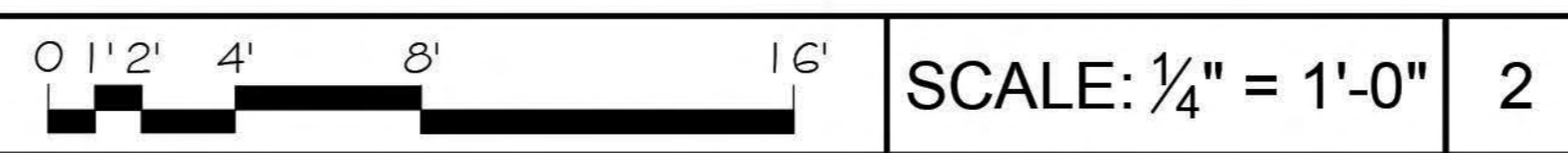
- A CONCRETE WALL
- B WOOD SIDING FACADE COLOR: WALNUT
- C CEMENT GRAY PLASTER / SMOOTH STUCCO (STEEL TROWEL SMOOTH) VENETIAN PLASTER
- ALUMINUM FRAME WINDOW AND DOORS COLOR: BLACK



NORTH ELEVATION



SOUTH ELEVATION



18
PATTERSON AVE
MENLO PARK, CA
94025

APN: 070-270-070

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△	REVISION DATE	BY
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SHEET TITLE:
PROPOSED NORTH AND SOUTH ELEVATION

PROJECT ID: _____
DATE: _____
SCALE: _____
DRAWN BY: _____

SHEET NUMBER:
A-05

OWNERSHIP:
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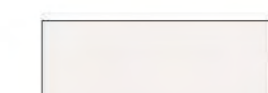



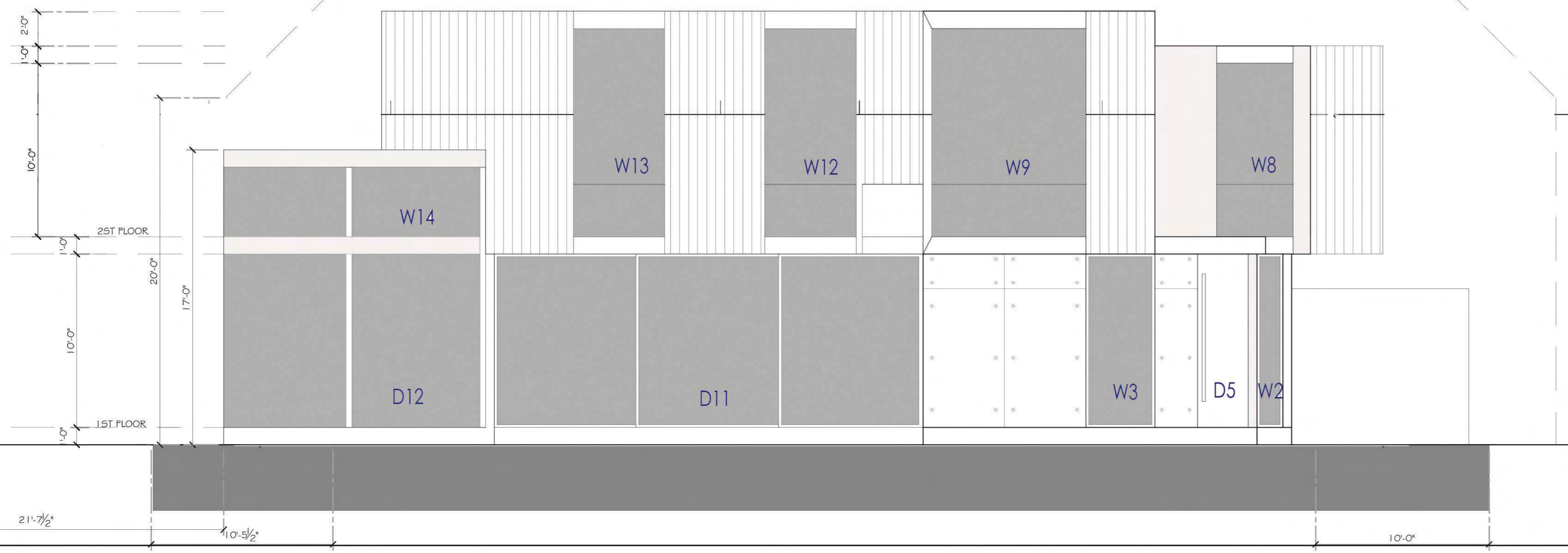
Tommy

NOTES:

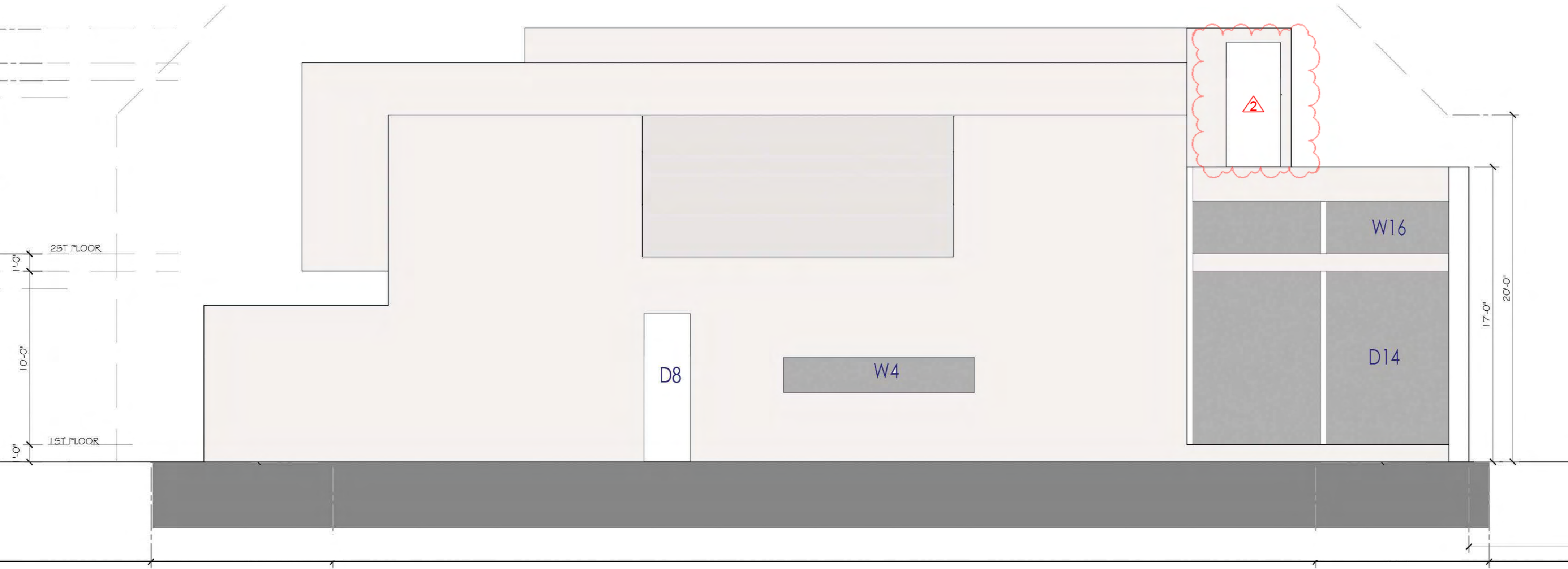
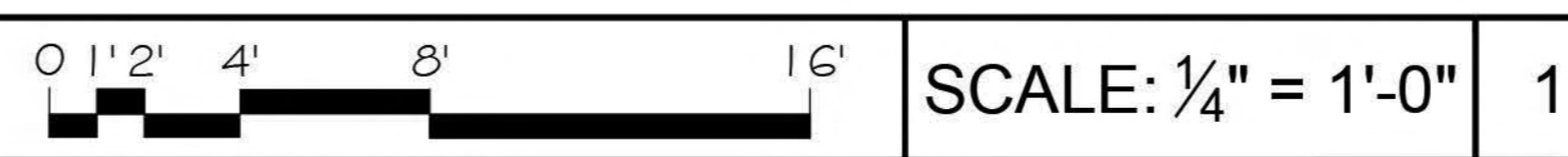
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 - 7- ELECTRICAL, HEATING, VENTILATION, PLUMBING, AND AIR CONDITIONING EQUIPMENT MUST BE ELEVATED

SYMBOL LEGEND

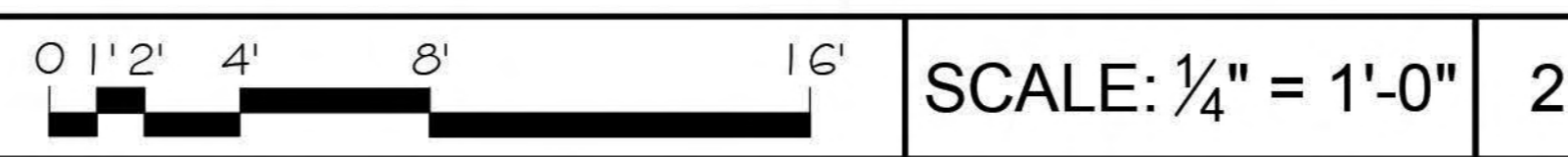
-  **A** CONCRETE WALL
-  **B** WOOD SIDING FACADE COLOR: WALNUT
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-  ALUMINUM FRAME WINDOW AND DOORS COLOR: BLACK



WEST ELEVATION



EAST ELEVATION



18
PATTERSON AVE
MENLO PARK, CA
94025

APN: 070-270-070

REVISION TABLE:		
NO.	REVISION DATE	BY
2	9/13/22	Babak H

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE AMS DESIGN'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY AMS DESIGN IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM AMS DESIGN PRIOR TO PROCEEDING WITH ANY RELATED WORK.

SHEET TITLE:
PROPOSED WEST AND EAST ELEVATIONS

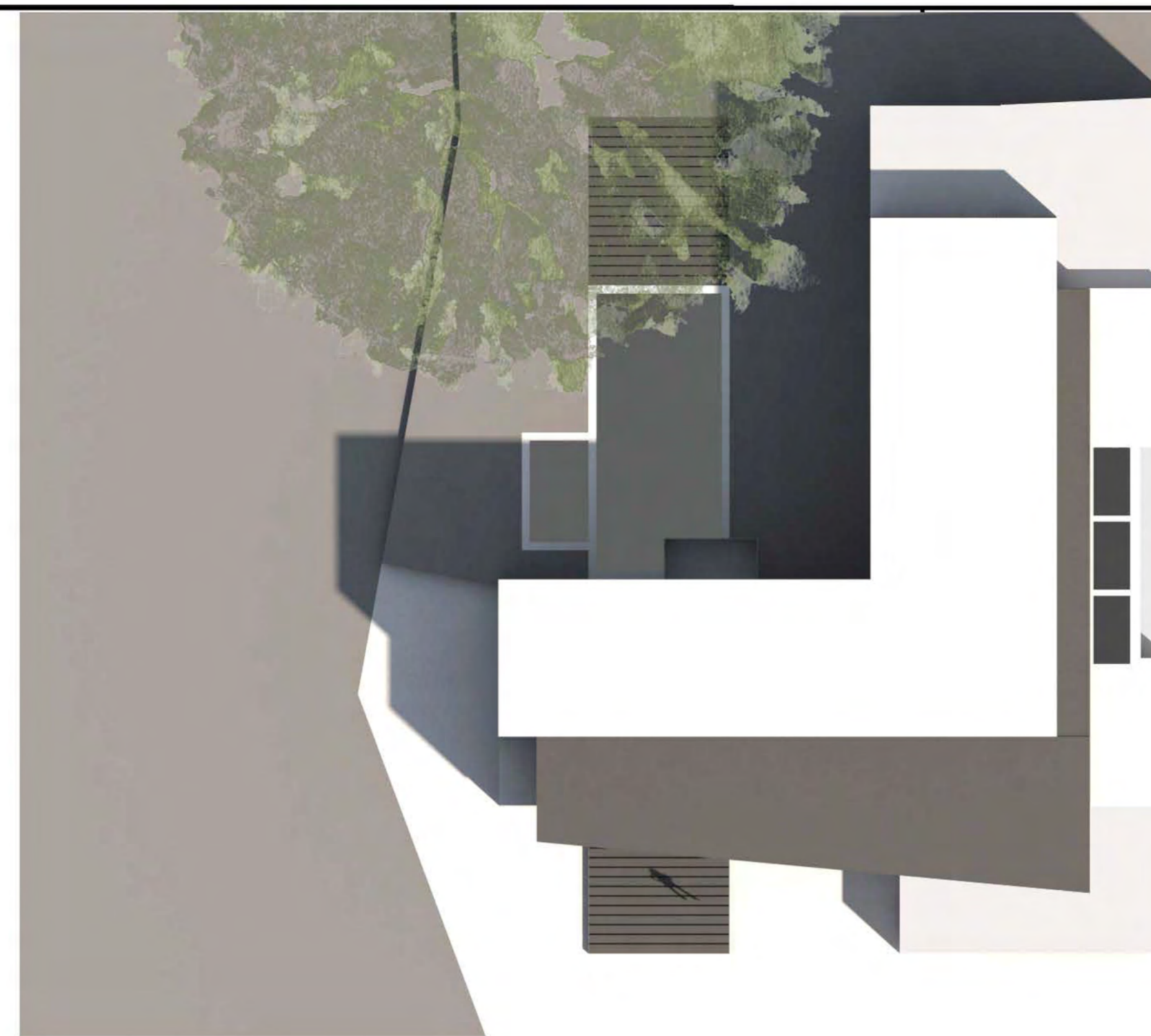
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DATE: _____
SCALE: _____
DRAWN BY: _____

SHEET NUMBER:
A-06

OWNERSHIP:
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Main Elevation



Site Plan



Utopia
Construction
Licence# 075174



www.utopiadc.net
408-329-3296

Tommy

18
PATTERSON AVE
MENLO PARK, CA
94025

APN: 070-270-070

REVISION TABLE:

REVISION DATE	BY

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SHEET TITLE:

PERSPECTIVE

PROJECT ID: _____

DATE: _____

SCALE: _____

DRAWN BY: _____

SHEET NUMBER:

A-07

OWNERSHIP:
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Howdy

18
PATTERSON AVE
MENLO PARK, CA
94025

APN: 070-270-070

REVISION	REVISION DATE	BY
1	5/13/22	Babak H

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SHEET TITLE:
PROPOSED SECTIONS

PROJECT ID: _____
DATE: _____
SCALE: _____
DRAWN BY: _____





SHEET NUMBER:
A-08

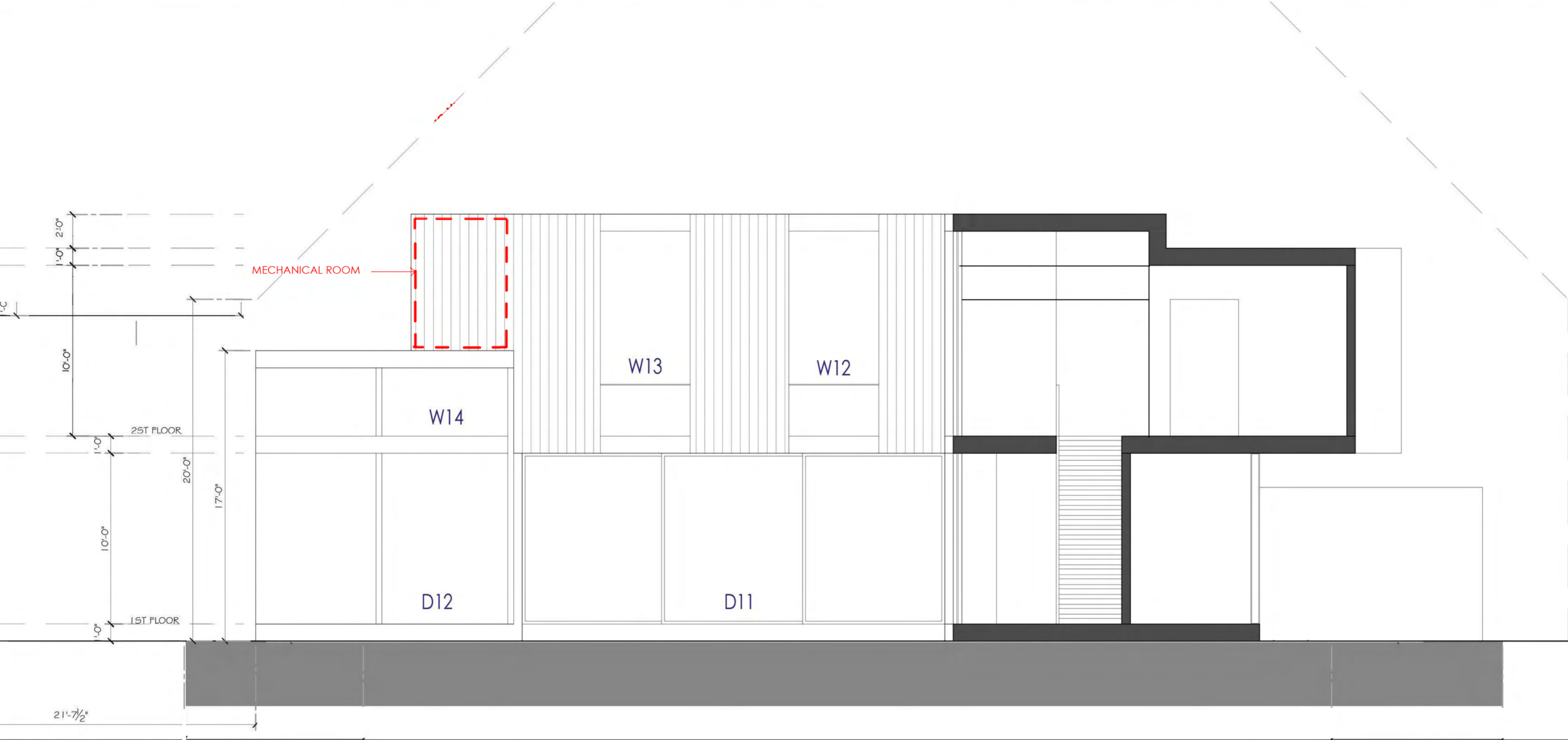
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SYMBOL LEGEND

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-  **B** WOOD SIDING FACADE COLOR: WALNUT
-  **C** CEMENT GRAY PLASTER / SMOOTH STUCCO (STEEL TROWEL SMOOTH) VENETIAN PLASTER
-  ALUMINUM FRAME WINDOW AND DOORS COLOR: BLACK



SECTION A-A



4. ONE-HOUR FIRE-RATED FLOOR-CEILING ASSEMBLIES SEPARATING THE TWO DWELLING UNITS. FLOOR/CEILING ASSEMBLIES SHALL EXTEND TO AND BE TIGHT AGAINST THE EXTERIOR WALL. CRC SECTION R302.3. SEE DETAIL 14/A9.1.
5. REQUIRED ONE-HOUR FIRE-RATED WALL ASSEMBLY SEPARATING THE TWO DWELLING UNITS. WALL ASSEMBLIES SHALL EXTEND TO AND BE TIGHT AGAINST THE EXTERIOR WALL AND EXTEND FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF/CEILING ABOVE. CRC SECTION R302.3 SEE DETAIL 13/A9.1.



SECTION B-B



NOTE:
Exterior Wall Insulation R-value = 19
ceiling Insulation R-value = 38

GRADING AND DRAINAGE PLAN
NEW SINGLE FAMILY HOUSE WITH ATTACHED A.D.U.
18 PATTERSON AVE., MENLO PARK, CA 94025
GRADING AND DRAINAGE PLANS

Revisions:



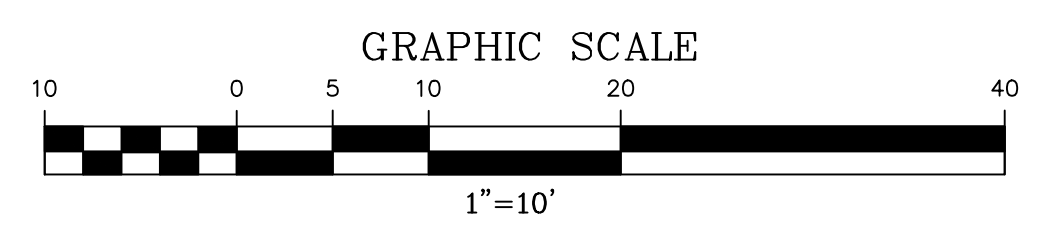
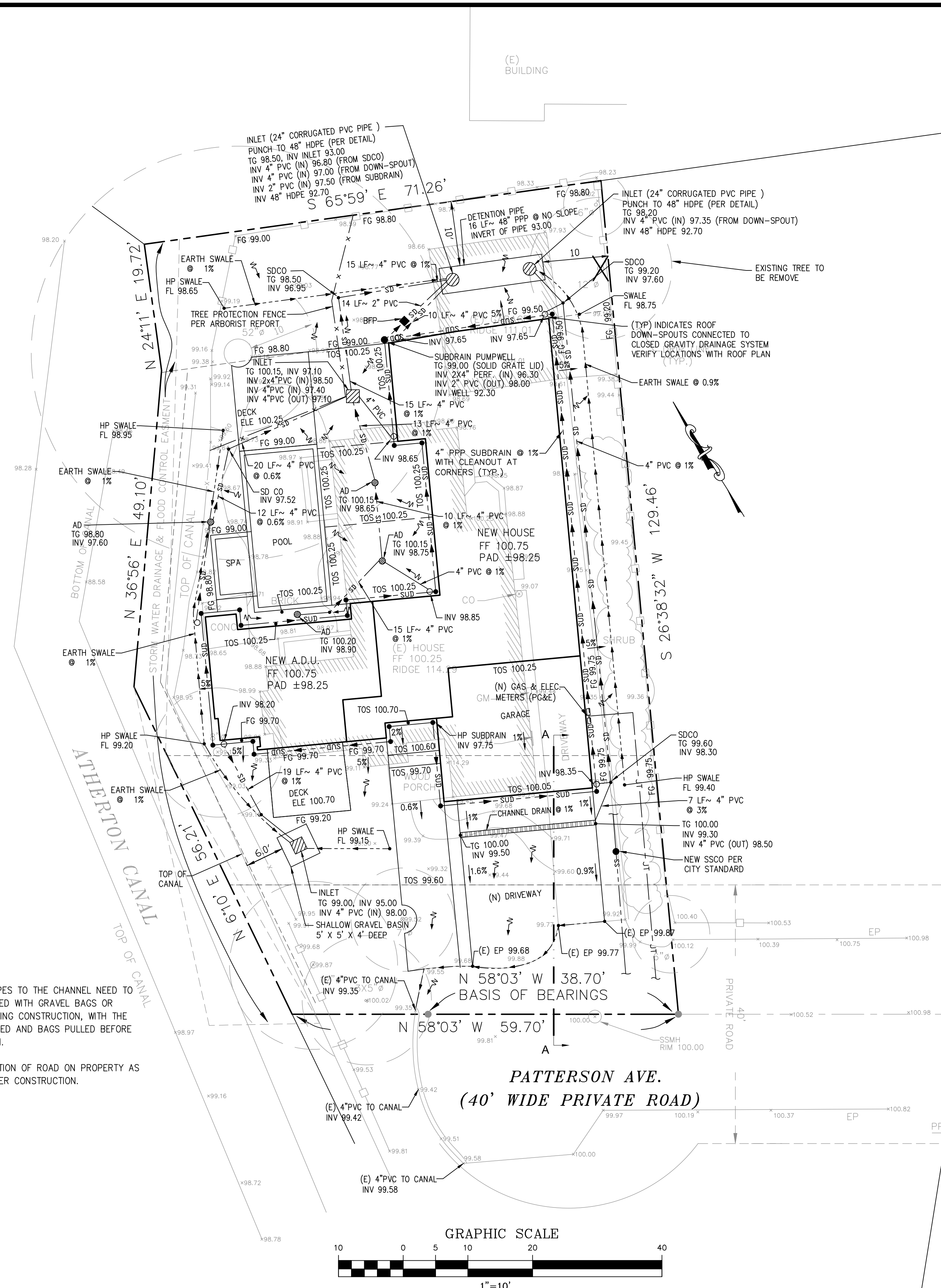
Saeed Razaavi

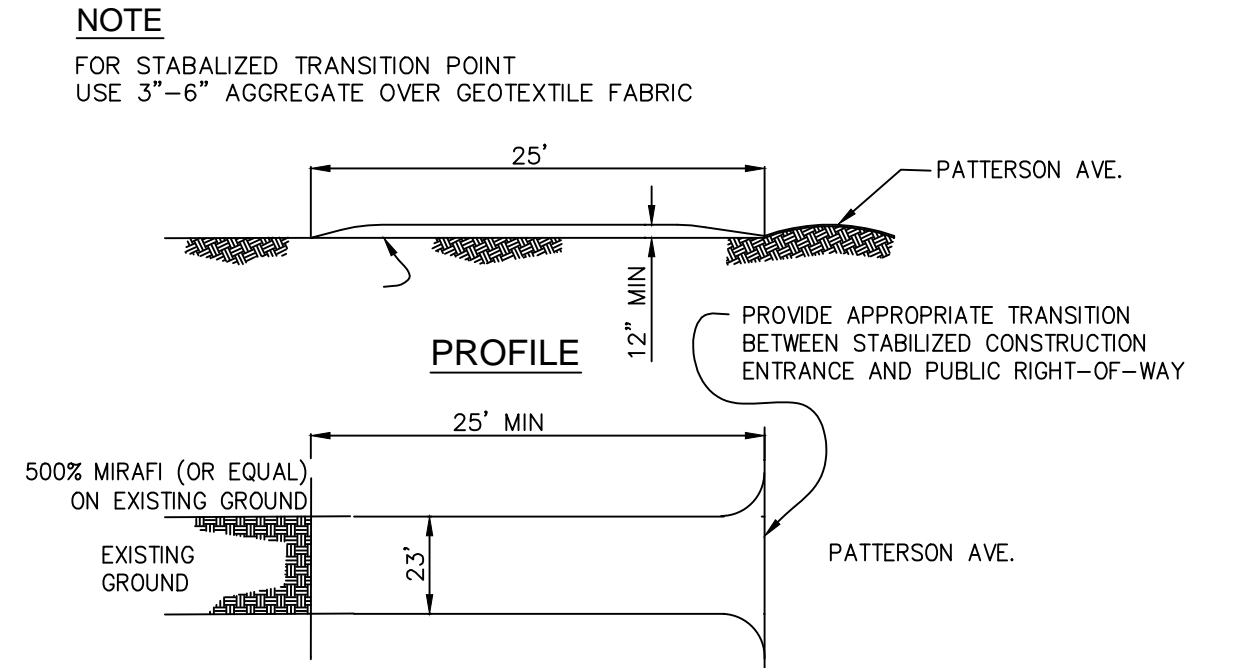
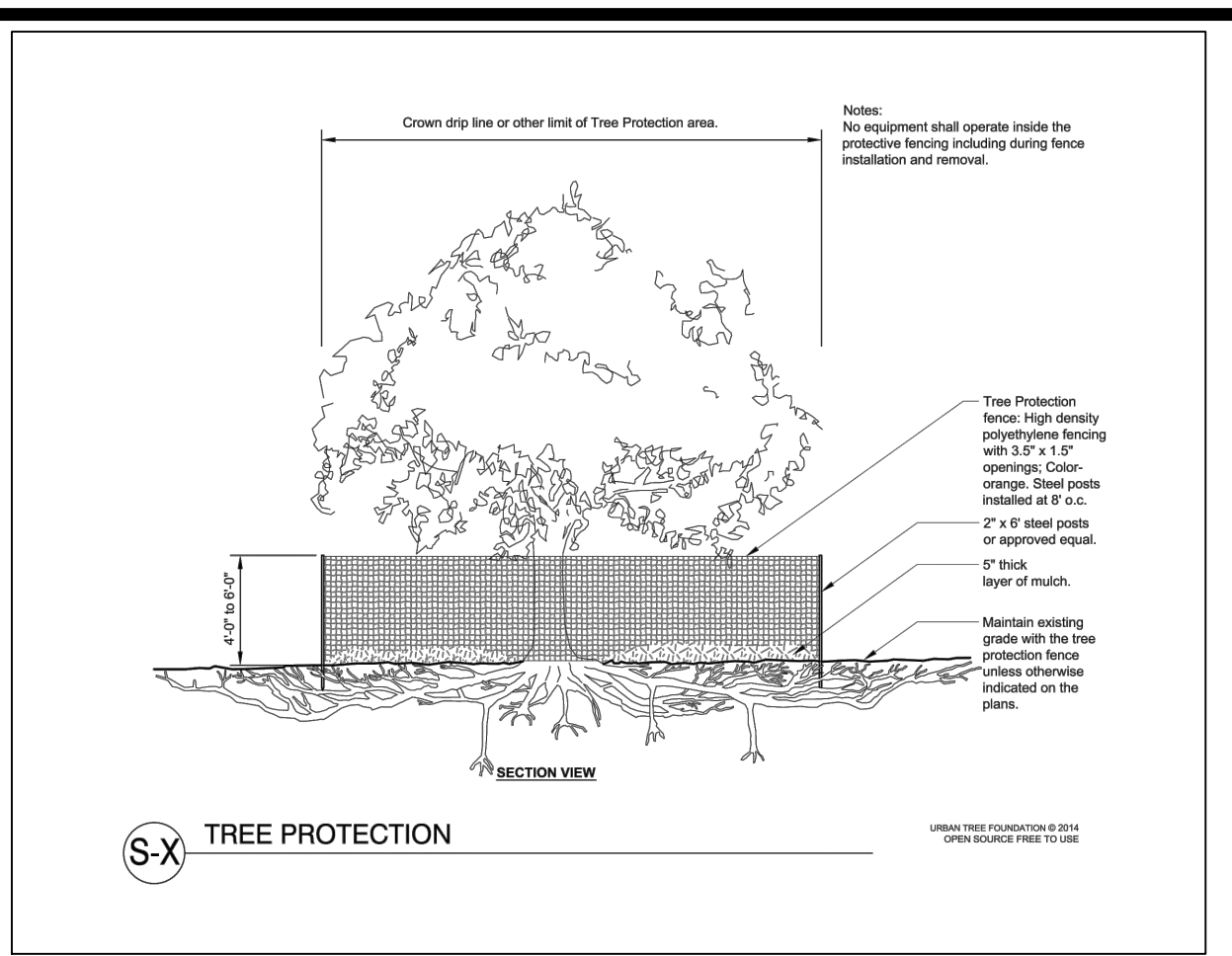
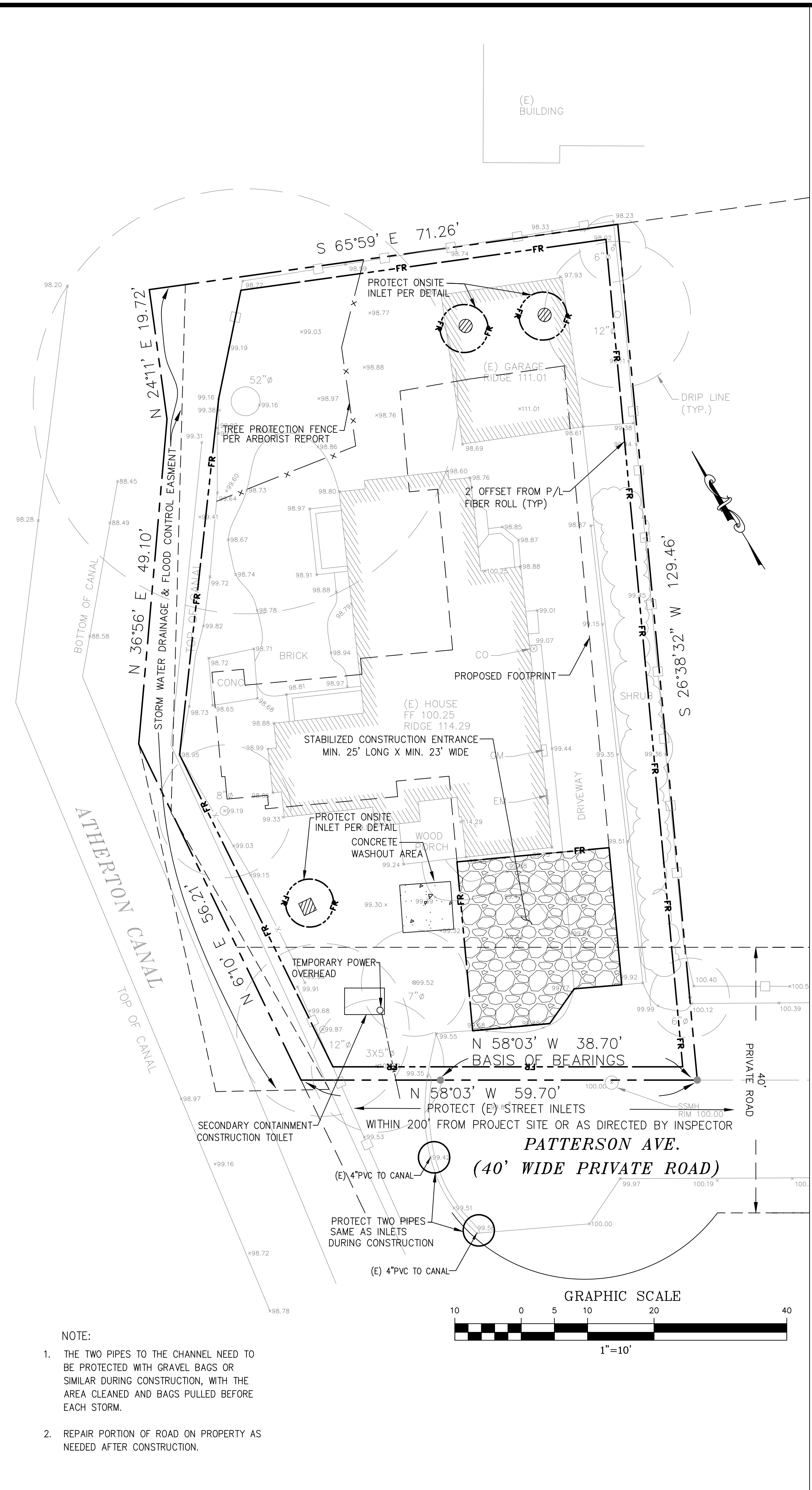
Date: 11/02/2022
 Scale: 1" = 10'
 PREPARED BY: S.S.
 CHECKED BY: S.R.
 Job #: 220064

Sheet: **2 OF 6**
C-2

- NOTE:
1. THE TWO PIPES TO THE CHANNEL NEED TO BE PROTECTED WITH GRAVEL BAGS OR SIMILAR DURING CONSTRUCTION, WITH THE AREA CLEANED AND BAGS PULLED BEFORE EACH STORM.
 2. REPAIR PORTION OF ROAD ON PROPERTY AS NEEDED AFTER CONSTRUCTION.

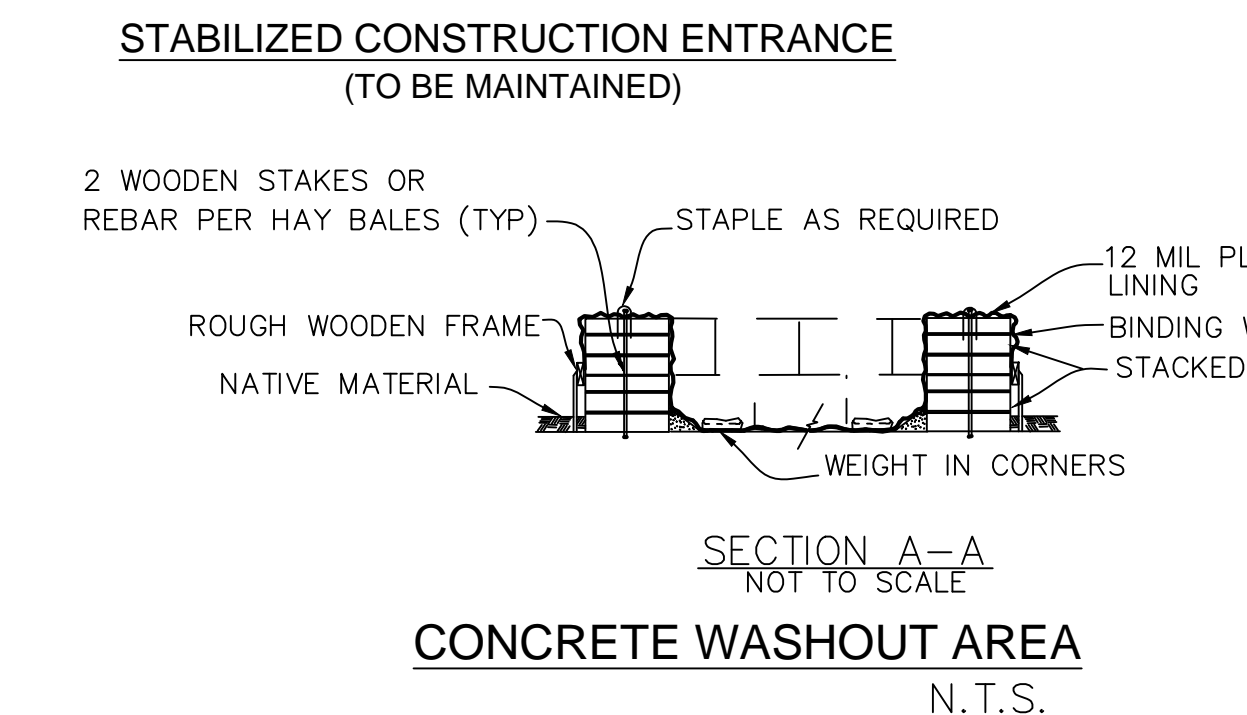
NOTE:
 KEEP ALL UNDERGROUND UTILITIES AS FAR AS POSSIBLE FROM THE TRUNK OF THAT OAK TREE. 22 FEET FROM TRUNK WOULD BE OPTIMAL. THIS IS SIX TIMES THE TRUNK DIAMETER.





Maintenance

- The entrance shall be maintained in a condition that will prevent tracking or flowing sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand, and repair and/or clean out any measures used to trap sediment.
- All sediment spilled, dropped, washed, or tracked onto public rights-of-way shall be removed immediately.
- When necessary, wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. This shall be done at an area stabilized with crushed stone, which drains into an approved sediment trap or sediment basin.



NOTES

PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.

MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.

STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.

CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.

USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN Dewatering SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.

AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.

LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.

LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.

AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.

TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.

PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS ARE REQUIRED ON WEEKENDS AND DURING RAIN EVENTS: PER PLAN

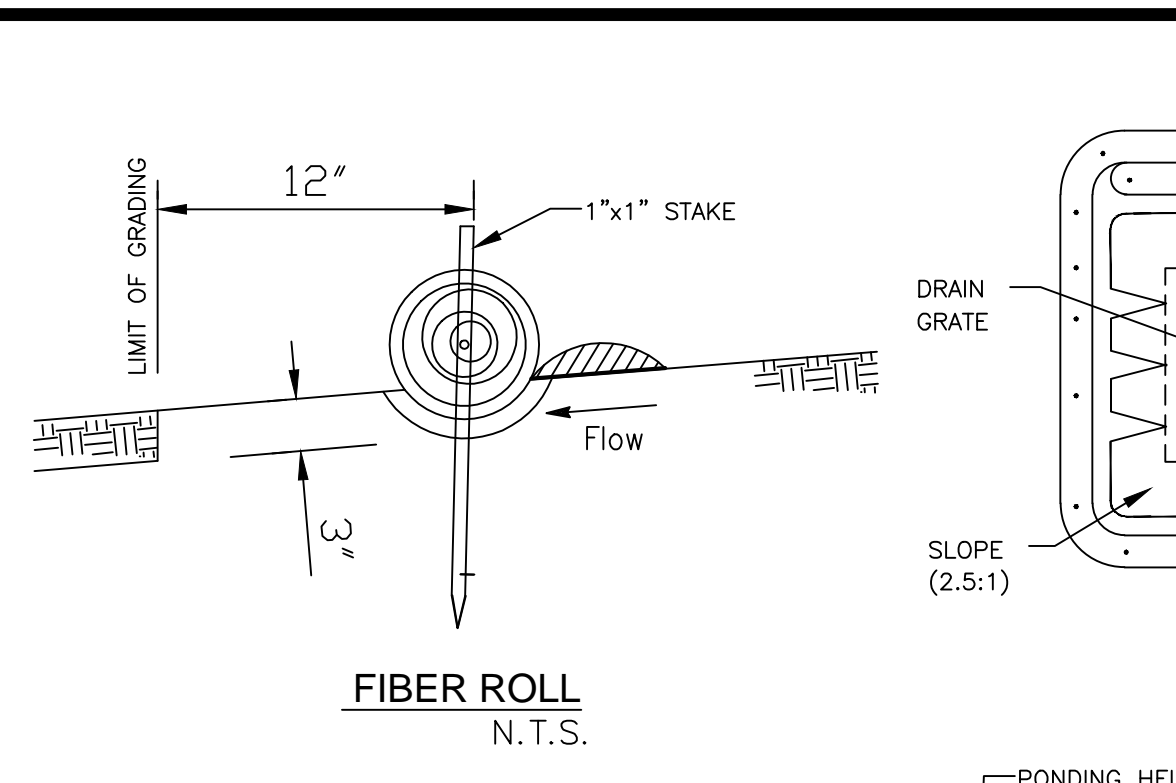
THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER."

CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON." DUST CONTROL IS REQUIRED YEAR-ROUND.

EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.

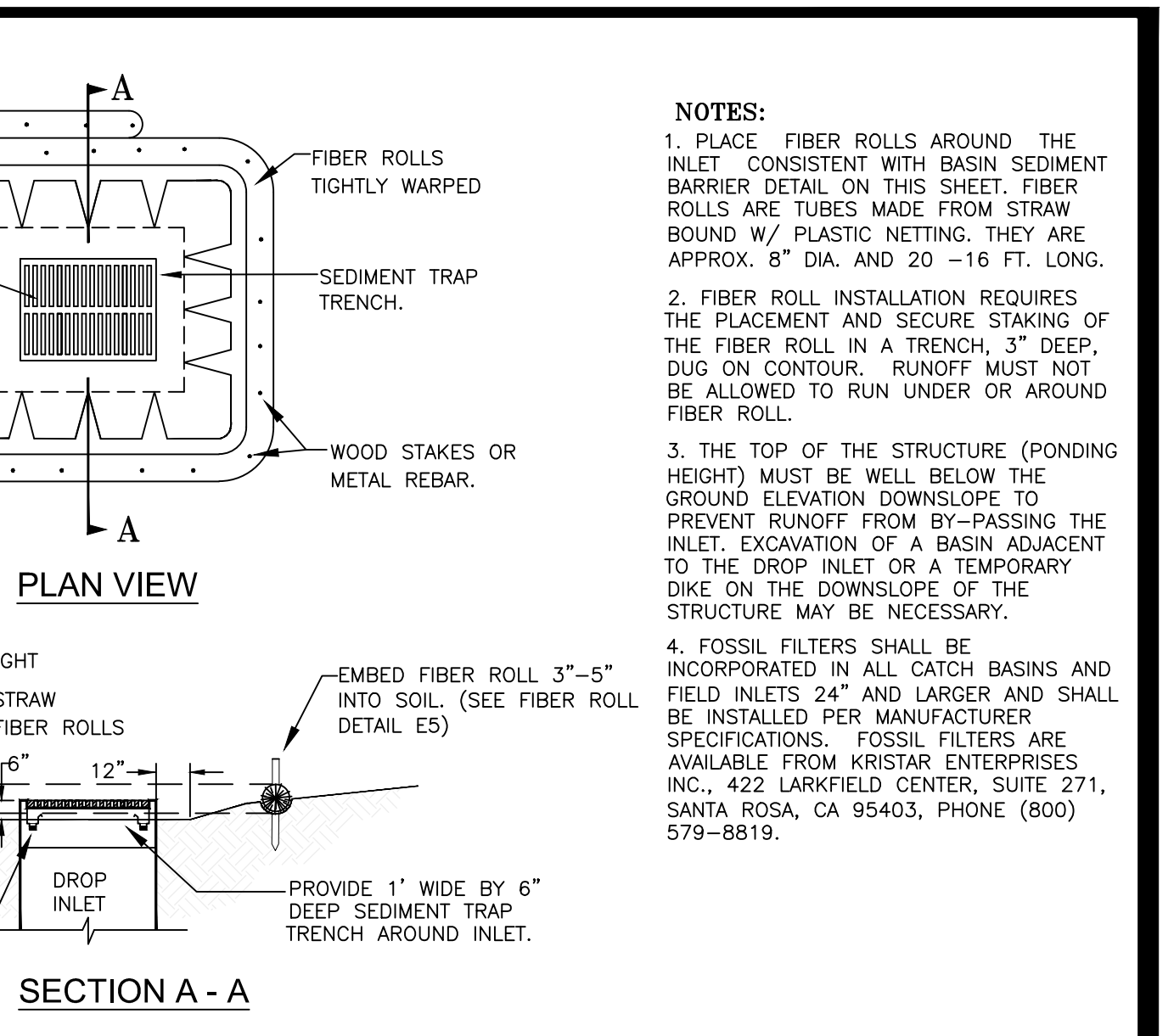
USE OF PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30 IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.

TREE PROTECTION SHALL BE IN PLACE BEFORE ANY DEMOLITION, GRADING, EXCAVATING OR GRUBBING IS STARTED



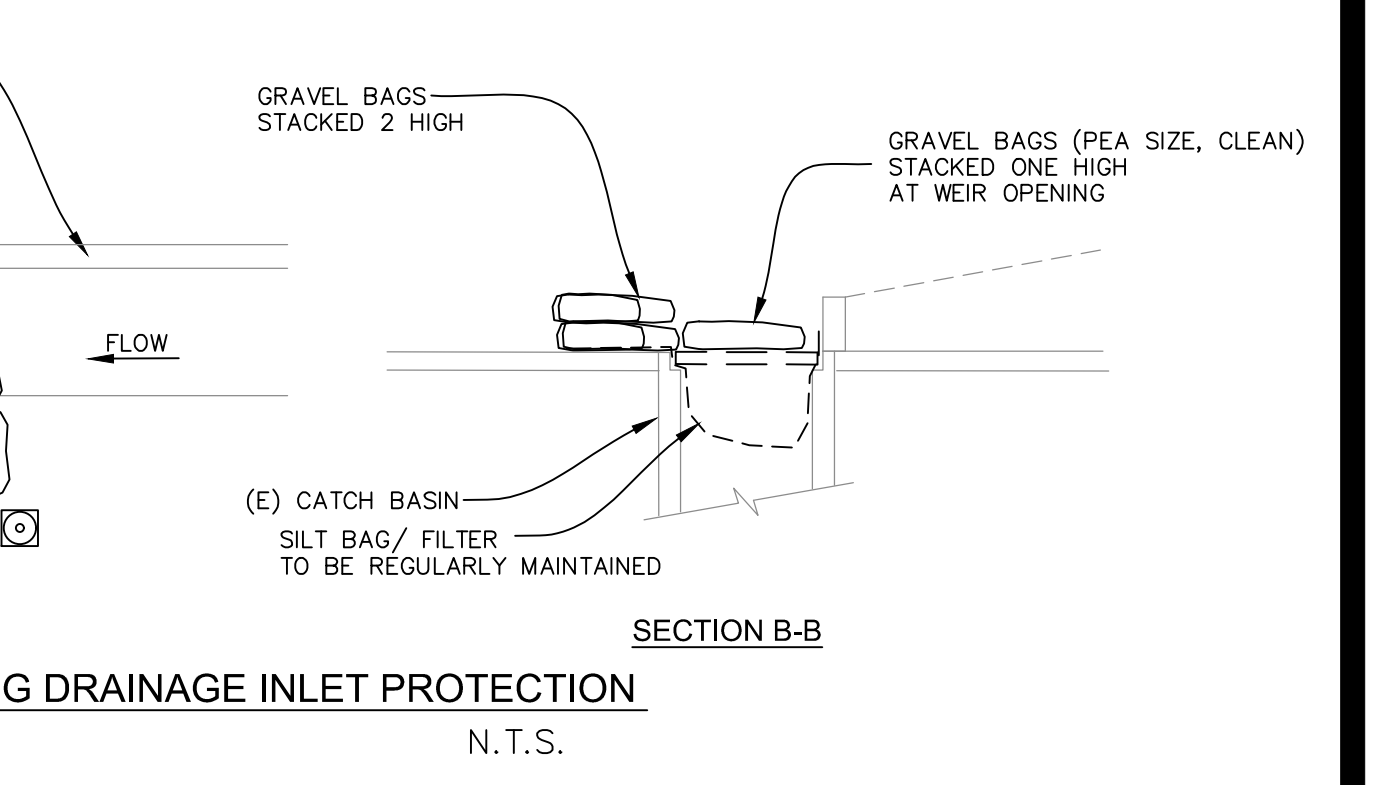
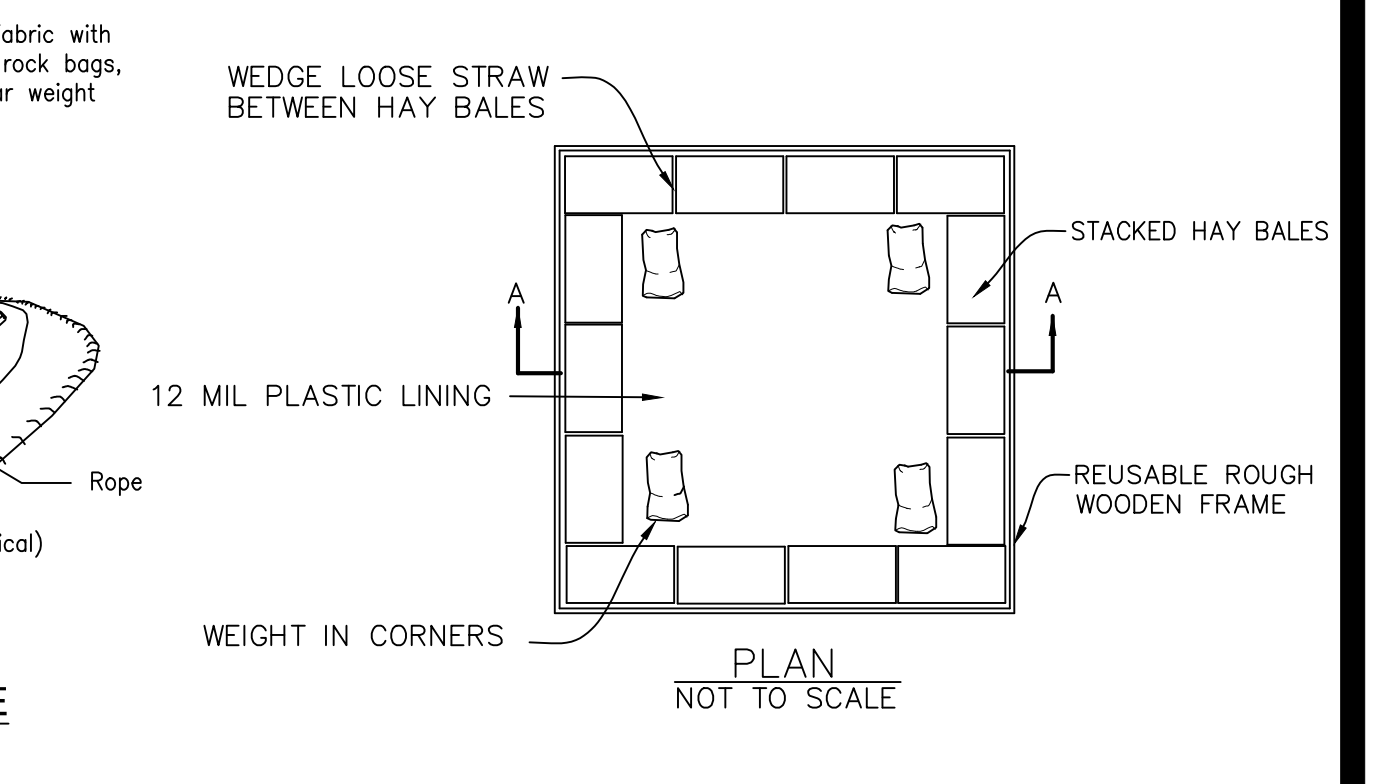
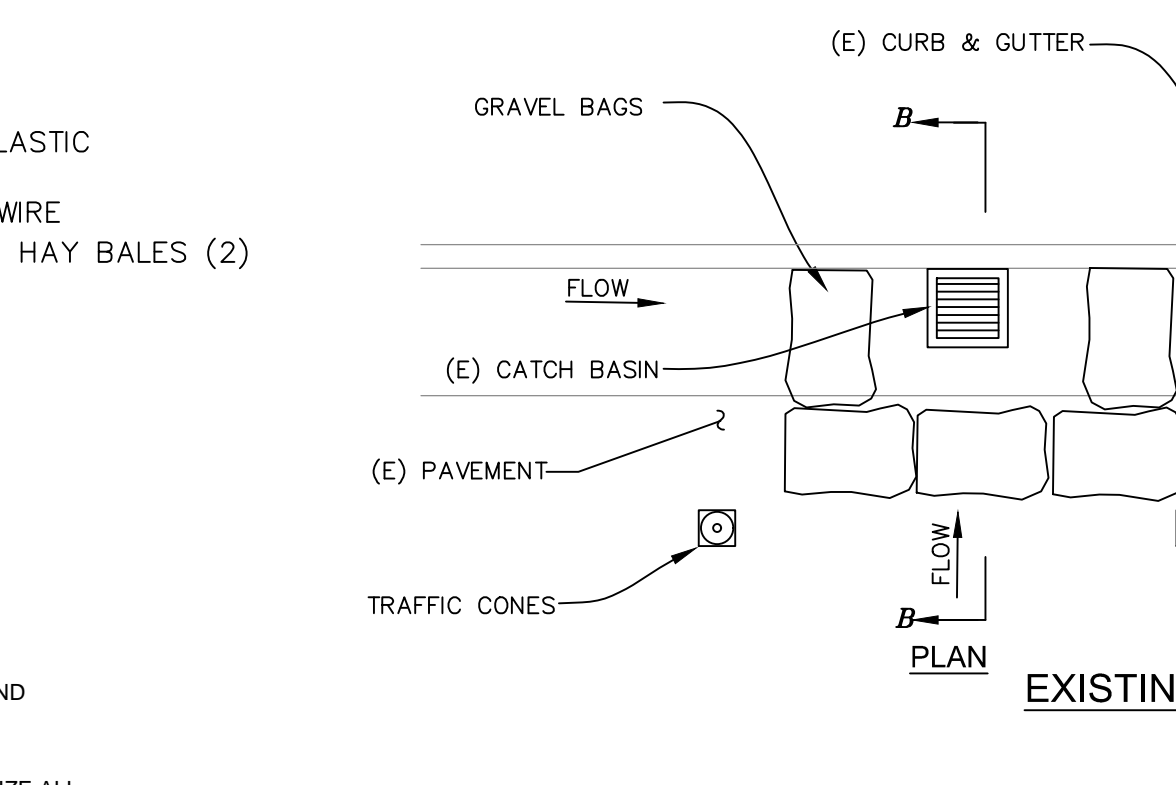
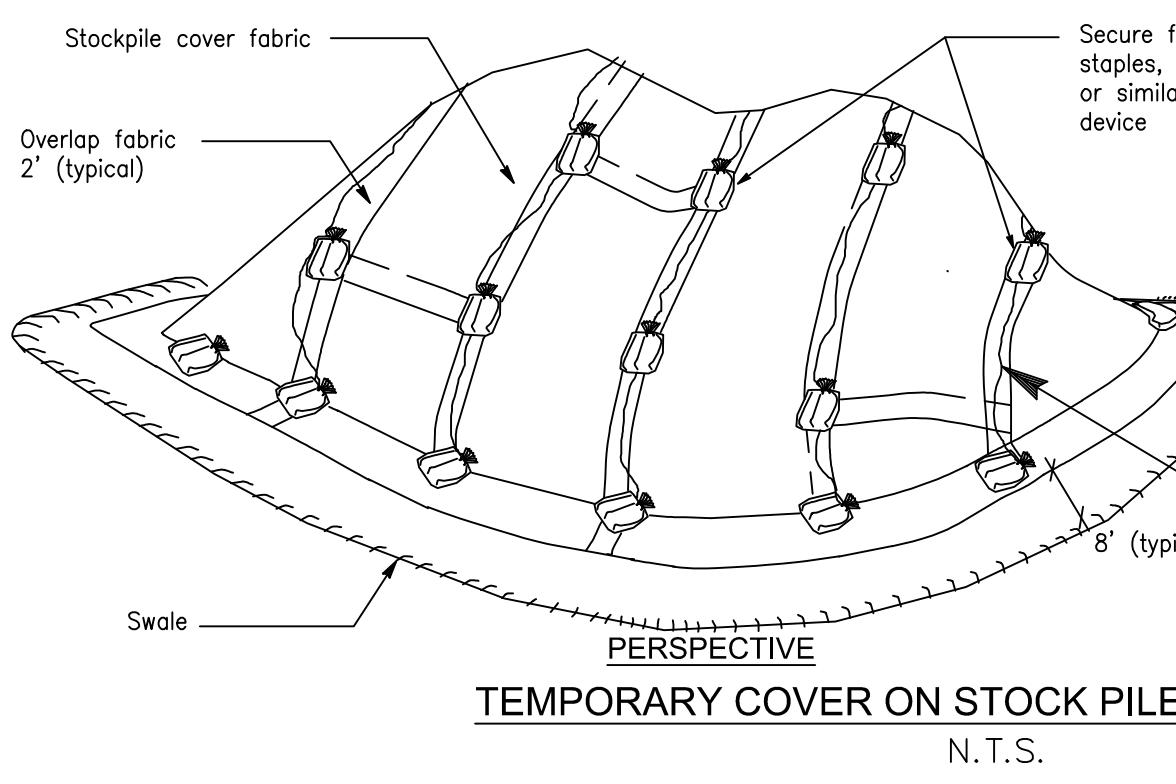
FIBER ROLL NOTES

1. Place fiber roll in key trench 3" deep and place excavated soil on uphill or flow side of the roll.
2. On slopes and hillsides, fiber rolls shall be abutted at the ends and not overlapped. Place alternate stakes on both sides of the roll, every 6'.
3. Install fiber roll 12" from limit of grading



NOTES:

1. PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH BASIN SEDIMENT BARRIER DETAIL ON THIS SHEET. FIBER ROLLS ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING. THEY ARE APPROX. 8" DIA. AND 20 -16 FT. LONG.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
4. FOSSIL FILTERS SHALL BE INCORPORATED IN ALL CATCH BASINS AND FIELD INLETS 24" AND LARGER AND SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS. FOSSIL FILTERS ARE AVAILABLE FROM KRISTAR ENTERPRISES INC., 422 LARKFIELD CENTER, SUITE 271, SANTA ROSA, CA 95403, PHONE (800) 579-8819.



EROSION AND SEDIMENT CONTROL NOTES AND MEASURES

1. The facilities shown on this Plan are designed to control Erosion and sediment during the rainy season, October 1st to April 30. Facilities are to be operable prior to October 1 of any year. Grading operations during the rainy season, which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes.
2. This plan covers only the first winter following grading with assumed site conditions as shown on the Erosion Control Plan. Prior to September 15, the completion of site improvement shall be evaluated and revisions made to this plan as necessary with the approval of the city engineer. Plans are to be resubmitted for city approval prior to September 1 of each subsequent year until site improvements are accepted by the city.
3. Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entrances.
4. Contractor shall maintain stabilized entrance at each vehicle access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the city.
5. If hydroseeding is not used or is not effectively 10/10, then other immediate methods shall be implemented, such as Erosion control blankets, or a three-step application of: 1) seed, mulch, fertilizer 2) blown straw 3) tackifier and mulch.
6. Inlet protection shall be installed at open inlets to prevent sediment from entering the storm drain system. Inlets not used in conjunction with erosion control are to be blocked to prevent entry of sediment.
7. Lots with houses under construction will not be hydroseeded. Erosion protection for each lot with a house under construction shall confirm to the Typical Lot Erosion Control Detail shown on this sheet.
8. This erosion and sediment control plan may not cover all the situations that may arise during construction due to unanticipated field conditions. Variations and additions may be made to this plan in the field. Notify the city representative of any field changes.
9. This plan is intended to be used for interim erosion and sediment control only and is not to be used for final elevations or permanent improvements.
10. Contractor shall be responsible for monitoring erosion and sediment control prior, during, and after storm events.

11. Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris, paper or any other substance over any public street, alley or other public place. Should any blow, spill, or track over and upon said public or adjacent private property, immediately remedy shall occur.

12. Sanitary facilities shall be maintained on the site.

10. During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment laden runoff to any storm drainage systems, including existing drainage swales and water courses.

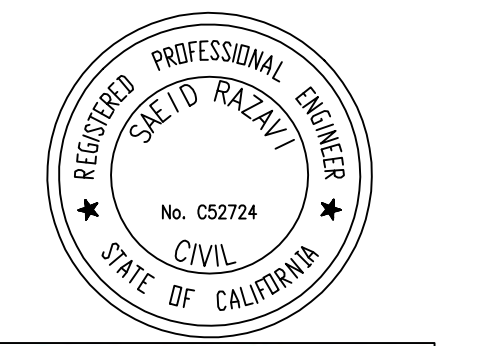
13. Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.

14. Contractors shall provide dust control as required by the appropriate federal, state, and local agency regulations.

13. With the approval of the city inspector, erosion and sediment controls may be removed after areas above them have been stabilized.

MAINTENANCE NOTES

1. Maintenance is to be performed as follows:
 - A. Repair damages caused by soil erosion or construction at the end of each working day.
 - B. Swales shall be inspected periodically and maintained as needed.
 - C. Sediment traps, berms, and swales are to be inspected after each storm and repairs made as needed.
 - D. Sediment shall be removed and sediment traps restored to its original dimensions when sediment has accumulated to a depth of one foot.
 - E. Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
 - F. Rills and gullies must be repaired.
2. All existing drainage inlets on St. George Lane within the limit of the project shall be protected with sand bags during construction. See detail. Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.
3. Existing concrete ditch sediment trap shall be cleaned out routinely during construction.



S. S. SRAZAVI



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D

CHAPTER 20. “S-92” DISTRICT (COMBINING DISTRICT – WEST MENLO PARK AREA)

SECTION 6300.8.00. REGULATIONS FOR “S-92,” COMBINING DISTRICT (WEST MENLO PARK). The following regulations shall apply in any single-family residential district with which the “S-92” District is combined.

In the case where a requirement, standard, or provision of this Chapter conflicts with another requirement, standard, or provision in the Zoning Regulations, including this Chapter, the most limiting provision shall take precedence and govern.

SECTION 6300.8.10. DEFINITIONS.

1. **Accessory Building.** An accessory building is a detached building whose use is incidental to the use of the main building on the parcel, e.g., a garage, shed, pool house. A detached second dwelling unit is not an accessory building.
2. **Building Floor Area.** The building floor area is the maximum amount of interior floor area. Building floor area includes: (1) the area of all stories of all buildings and accessory buildings (exceeding 80 sq. ft.) on a building site as measured from the outside face of all exterior perimeter walls; (2) the area of all decks, porches, balconies or other areas covered by a waterproof roof which extends four or more feet from exterior walls; and (3) the area of garages and carports, but excludes uninhabitable attics and uninhabitable sub-grade basements.

Where the first floor ceiling height, as measured at the plate line, exceeds 12 feet (excluding skylight wells) and the roof peak immediately above exceeds 20 feet, that portion of the floor area shall be doubled for the purposes of calculating building floor area.

3. **Building Height.** The building height is the maximum height of a building measured as the vertical distance from any point on the existing grade to a corresponding point immediately above at the top of the building. Chimneys, pipes, mechanical equipment, antennae, and other common facilities may extend beyond the respective maximum height to a maximum of 36 feet as required for safety or efficient operation.
4. **Building Setback.** A building setback is the minimum building distance as measured from a specified line parallel from the nearest parcel line. Building setback includes front, side, and rear (first and second story) setbacks.
5. **Building Site Coverage Ratio.** The building site coverage ratio is the maximum amount of parcel area that may be covered, expressed as a percentage of parcel size. Maximum building site coverage shall include all: (1) buildings, (2) accessory buildings, or (3) structures such as patios, decks, balconies, porches,

bridges, and other similar uses which are eighteen (18) inches or more above the ground, except fences/walls.

6. Daylight Plane. A daylight plane defines a three dimensional volume of space in which a building may be constructed. Daylight planes shall be measured as a specified maximum vertical distance from a specified point on existing grade to the topmost point of the wall where it intersects the roof immediately above and then inward at a specified angle until the maximum building height is reached.
7. Daylight Plane Protrusion. A daylight plane protrusion is the portion(s) of the building that protrudes into each daylight plane, e.g., gables, dormers, or other architectural features. Daylight plane protrusions may be continuous or combined, but do not include the space between protrusions, when calculating protrusion length. Protruding chimneys, eaves, skylights, and similar features are not considered protrusions and shall not be included when calculating protrusion length. The maximum height of a daylight plane protrusion shall be measured from existing grade.
8. Existing Grade. The existing grade is the grade level that exists prior to any new grading or construction.
9. Story. A story is a habitable space in a building between the surface of any floor and the surface of the floor or roof immediately above, but not including any attic, or basement or under-floor space that is three (3) feet or less above existing grade.
10. Uninhabitable Attic. An uninhabitable attic is the area located between the ceiling joists and the roof rafters immediately above that may not be inhabited. An uninhabitable attic shall be unfinished and shall meet the following criteria: (1) no wall or ceiling drywall covering, (2) attic area floor joists may only be covered with an unfinished floor surface, (3) access to the area is only from the inside of the building, (4) electricity to the area is limited to that necessary for adequate light and not more than one receptacle outlet, (5) no heating is provided to the area, and (6) no rough or finished plumbing is provided to the area.
11. Uninhabitable Basement. An uninhabitable basement is the area located between the first floor joists and the lower floor at grade level that may not be inhabited. An uninhabitable basement shall meet the following criteria: (1) its ceiling height is no greater than six feet, six inches (6'-6"), (2) its area does not contribute to the visible bulk of the building and is not more than 3 feet above existing grade at any point, (3) its floor area may not be more than 50% of the first floor area, and (4) it shall be unfinished.
12. Upper Building Side Wall Length. The upper building side wall length is the maximum combined front to rear length(s) of a building along a line less than ten

(10) feet inward from and parallel to a side setback line, measured at any point 17 feet or more above existing grade. Its rear-most point shall not extend beyond the second-story rear setback line.

SECTION 6300.8.20. BUILDING SITE WIDTH. The minimum building site width shall be an average of 50 feet.

SECTION 6300.8.30. BUILDING SITE AREA. The minimum building site area shall be 10,000 sq. ft.

SECTION 6300.8.40. DEVELOPMENT DENSITY. The maximum density of development shall be 6.0 dwelling units per net acre.

SECTION 6300.8.50. BUILDING SETBACKS. The minimum setbacks shall be:

Front: 20 feet

Sides: 10 feet

Rear: *First Story:*

20 feet

Second Story:

Parcel Length

Rear Setback

0 - 100 feet

20 feet

101 - 120 feet

40 - (121 - parcel length)

>120 feet

40 feet

SECTION 6300.8.60. BUILDING SITE COVERAGE AREA RATIO. The maximum building site coverage area ratio shall be .50 (50 percent).

SECTION 6300.8.70. BUILDING FLOOR AREA. The maximum building floor area shall be established according to the following table:

Building Site Area

Maximum Floor Area

>5,000 sq. ft.

.26 (building site area - 5,000)
+ 2,800 sq. ft.

SECTION 6300.8.80. PARCEL MERGER TO ESTABLISH MAXIMUM BUILDING FLOOR AREA. Contiguous parcels may be combined to establish a building site area to be used to calculate the maximum building floor area provided the parcels are merged pursuant to the merger provisions of the County Subdivision Regulations.

SECTION 6300.8.90. PARCEL DIVISION AND MAXIMUM BUILDING FLOOR AREA.

A parcel may not be divided if any resultant parcel has a building site area less than the minimum required to maintain conformity with the required building floor area requirements of this district.

SECTION 6300.8.100. BUILDING HEIGHT, DAYLIGHT PLANE, AND UPPER BUILDING WALL LENGTH (THREE OPTIONS).

Development plans must conform to one of the following three options that regulate building height, daylight plane, and upper building side wall length. Interchanging or mixing elements from the three options is prohibited.

1. Option 1

a. Requirements

(1) Building Height. Maximum building height shall be 28 feet, not to exceed two stories.

(2) Daylight Planes

(a) 20-foot/45° Daylight Plane. For all portions of the house located within that area regulated by the upper building side wall requirement, a 20-foot/45° daylight plane, beginning at the side setback lines, shall be required. The vertical portion of the daylight plane shall be determined by a wall height not to exceed 20 feet from the existing grade to that point where the wall intersects the roof, and then inward at an angle of 45° until reaching the maximum building height.

Pitched Roof. For that portion of the house regulated by this daylight plane, only hip, gambrel, and gable roofs shall be allowed. No sloped roof shall be less than 20°.

(b) 4/10-foot/45° Daylight Plane. For all portions of the house not regulated by the upper building side wall requirement, a 4/10-foot/45° daylight plane, beginning at the side facing building walls, shall be required as follows: The vertical portion of the daylight plane shall be determined by the combined heights of: (1) a maximum of 4 feet of under-floor/crawl space as measured from the existing grade to the top of the floor joist, and (2) a maximum of 10 feet of ceiling space as measured from the floor surface to that point where the wall intersects the roof or ceiling, and then inward at an angle of 45° until reaching the maximum building height.

- (3) Daylight Plane Protrusions. Daylight plane protrusions are prohibited.
- (4) Upper Building Side Wall Length. The length of each upper building side wall shall be as follows:

<u>Parcel Length</u>	<u>Maximum Upper Building Side Wall</u>
<130 feet	40 feet
>130 feet	45 feet

Its rear-most point shall not extend beyond the second-story rear setback line.

- b. Illustration. The regulatory limits of Option 1 requirements are illustrated on the diagram entitled: OPTION 1, BUILDING ENVELOPE.

2. Option 2

a. Requirements

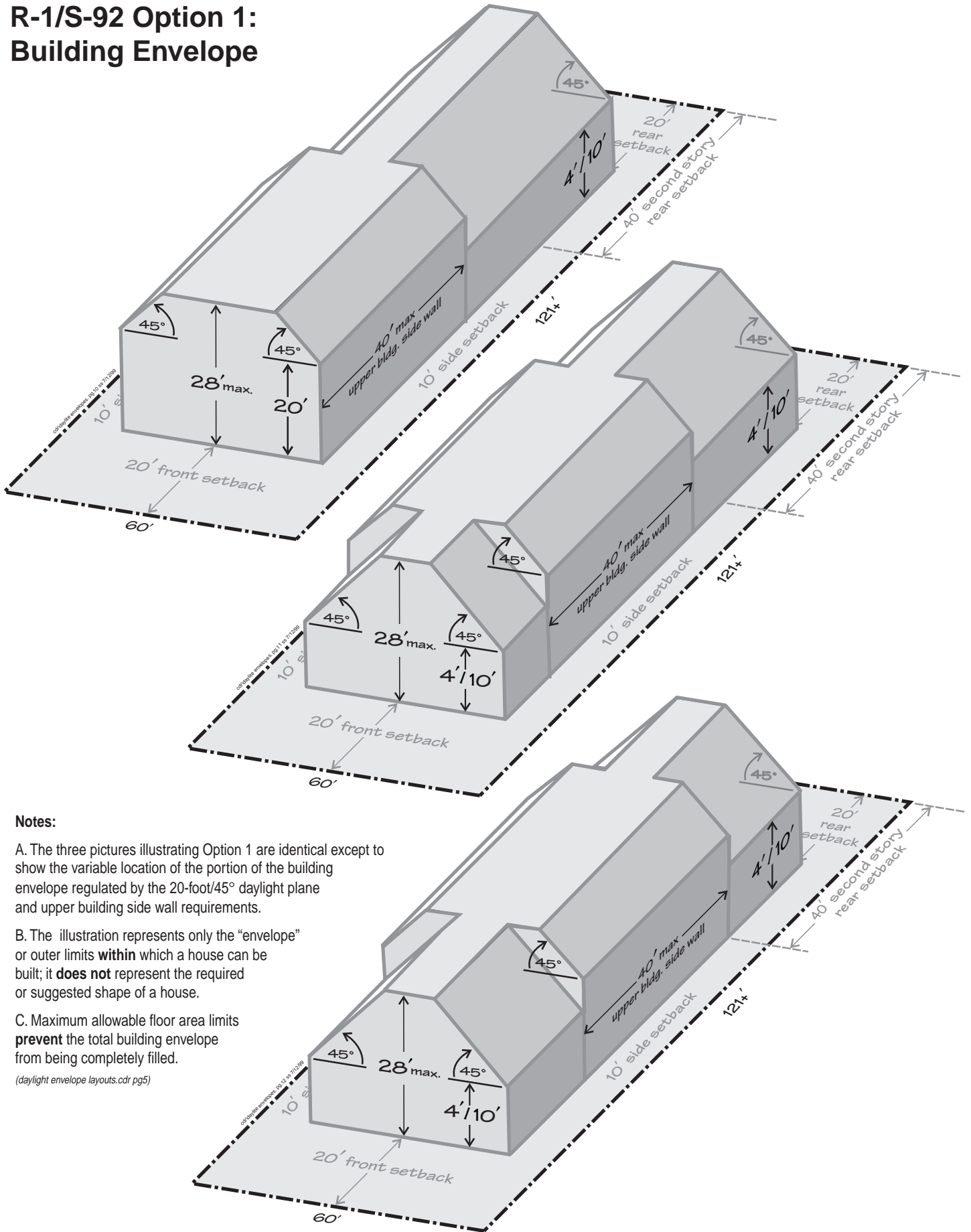
- (1) Building Height. Maximum building height shall be 28 feet, not to exceed two stories.

- (2) Daylight Planes

- (a) 20-foot/45° Daylight Plane. For all portions of the house located within that area regulated by the upper building side wall requirement, a 20-foot/45° daylight plane, facing the front and rear setback lines, shall be required. The vertical portion of the daylight plane shall be determined by a wall height not to exceed 20 feet from the existing grade to that point where the wall intersects the roof, and then inward at an angle of 45° until reaching the maximum building height.

Pitched Roof. For that portion of the house regulated by this daylight plane, only hip, gambrel, and gable roofs shall be allowed. No sloped roof shall be less than 20°.

R-1/S-92 Option 1: Building Envelope



Notes:

A. The three pictures illustrating Option 1 are identical except to show the variable location of the portion of the building envelope regulated by the 20-foot/45° daylight plane and upper building side wall requirements.

B. The illustration represents only the "envelope" or outer limits **within** which a house can be built; it **does not** represent the required or suggested shape of a house.

C. Maximum allowable floor area limits **prevent** the total building envelope from being completely filled.

(daylight envelope layouts.cdr pg5)

(b) 4/10-foot/45° Daylight Plane. For all portions of the house not regulated by the upper building side wall requirement, a 4/10-foot/45° daylight plane, beginning at the side facing building walls, shall be required as follows: The vertical portion of the daylight plane shall be determined by the combined heights of: (1) a maximum of 4 feet of under-floor/crawl space as measured from the existing grade to the top of the floor joist, and (2) a maximum of 10 feet of ceiling space as measured from the floor surface to that point where the wall intersects the roof or ceiling, and then inward at an angle of 45° until reaching the maximum building height.

(3) Daylight Plane Protrusions

(a) 20-foot/45° Daylight Plane. Where the 20-foot/45° daylight plane is required, daylight plane protrusions are allowed but shall not exceed 20 feet in length and 24 feet in height, and shall be no closer than 5 feet from a side setback line.

(b) 4/10-foot/45° Daylight Plane. Where the 14-foot/45° daylight plane is required, daylight plane protrusions are prohibited.

(4) Upper Building Side Wall Length. The length of each upper building side wall shall not exceed 35 feet.

b. Illustration. The regulatory limits of Option 2 requirements are illustrated on the diagram entitled: OPTION 2, BUILDING ENVELOPE.

3. Option 3

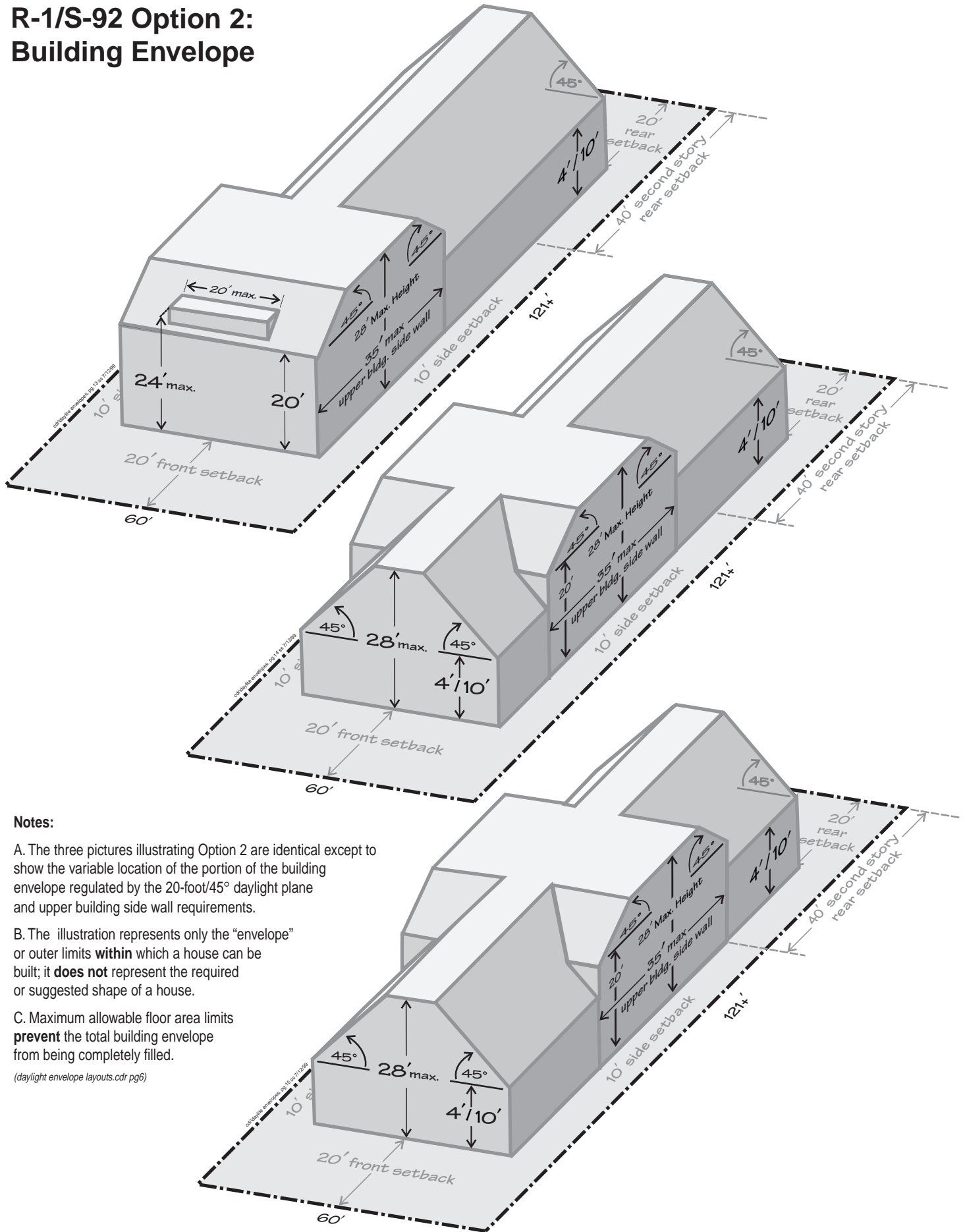
a. Requirements

(1) Building Height. Maximum building height shall be 30 feet, not to exceed two stories.

(2) 15-foot/45° Daylight Plane. For all portions of the house, a 15-foot/45° daylight plane, beginning at the side setback lines, shall be required. The vertical portion of the daylight plane shall be determined by a wall height not to exceed 15 feet from the existing grade to that point where the wall intersects the roof, and then inward at an angle of 45° until reaching the maximum building height.

(3) Daylight Plane Protrusions. Daylight plane protrusions are allowed but shall not exceed 20 feet in length and 24 feet in height.

R-1/S-92 Option 2: Building Envelope



Notes:

- A. The three pictures illustrating Option 2 are identical except to show the variable location of the portion of the building envelope regulated by the 20-foot/45° daylight plane and upper building side wall requirements.
- B. The illustration represents only the “envelope” or outer limits **within** which a house can be built; it **does not** represent the required or suggested shape of a house.
- C. Maximum allowable floor area limits **prevent** the total building envelope from being completely filled.

(daylight envelope layouts.cdr pg6)

(4) Floor Area Bonus. An additional 200 sq. ft. floor area bonus shall be granted in excess of the maximum building floor area or the maximum building site coverage ratio, whichever is less.

b. Illustration. The regulatory limits of Option 3 are illustrated on the diagram entitled: OPTION 3, BUILDING ENVELOPE.

SECTION 6300.8.110. DETACHED ACCESSORY BUILDINGS. Detached accessory buildings shall be limited to one story, with a maximum 10-foot plate height and 14-foot building height. The area above the horizontal plate shall be accessible only from within the building. Roof dormers are prohibited.

SECTION 6300.8.120. DETACHED SECOND UNITS. New detached second dwelling units (either freestanding or above a detached accessory building) shall maintain the setback requirements of the main building.

A detached second dwelling unit within an existing accessory building that conforms with existing zoning requirements shall require use permit approval.

Detached second dwelling units shall maintain the same height and daylight plane requirements of the main building.

(Section 6300.8 - Added by Ordinance No. 3319 - April 29, 1991)

(Section 6300.8 - Amended by Ordinance No. 3535 - January 25, 1994)