

1580 MAPLE STREET PSH

SB-35 APPLICATION SUBMITTAL

SEPTEMBER 2023



STUDIO
T SQUARE

: Architecture
: Planning
: Urban Design

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1580 MAPLE STREET PSH
REDWOOD CITY, CA

Sheet Title:
COVER PAGE

Job No. 22016
Date: 09/15/2023
Scale: AS NOTED
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Sheet No:

G0.0

VICINITY MAP



PROJECT SUMMARY

The proposed project is located within the waterfront neighborhood in Redwood City. The site formerly had a single-story structure which was used as a homeless shelter, which has been relocated, and the vacant structure is slated for demolition. The site is adjacent to the planned Blomquist Street Extension, which proposes to connect Maple Street with Bair Island Road, while also raising the grades of the roadway and adjacent parcels for future flood-proofing.

The design proposes a three to four-story permanent supportive housing as a social response to housing needs in the city. A total of 108 studio units and two 2-bedroom manager units are proposed, yielding a density of 72 units per acre. The building is paired with two single-story amenity buildings, and they surround the central courtyard. The building height is up to approximately 54.5', with 4-story residential on the Northeast wing and steps down to 3-story tall on the Southwest wing.

The single-story freestanding amenity buildings sit along the Blomquist Street Extension frontage, with the intent to activate the pedestrian realm with active uses. Amenities in the buildings include a community room, art room, and flex space, all of which open entirely to the courtyard and creating an integrated indoor-outdoor environment for residents.

The site is served by connections to the Blomquist Street Extension forming a full internal loop, which also provides the required fire access. The internal driveway has a minimum of 26 feet in width, is double loaded for efficiency, and will be lined with landscaping. Besides efficiency, the vehicle circulation also sets back the proposed building from the adjacent townhomes on the north, respecting the transition in scale of development compared to the adjacent block.

PROJECT DATA

PLANNING AND BUILDING CODE DATA	
ADDRESS	1580 MAPLE STREET, REDWOOD CITY, CA 94063
APN	052-532-020
EXISTING LAND USE DESIGNATIONS	
GENERAL PLAN DESIGNATION	MIXED USE - WATERFRONT NEIGHBORHOOD
ZONING DESIGNATION	SUBMITTED AS TP (TIDAL PLAIN DISTRICT); CURRENTLY ZONED TO MUW (MIXED-USE WATERFRONT).
EXISTING USE	
VACANT FORMER HOMELESS SHELTER	
PROPOSED LAND USE DESIGNATIONS	
GENERAL PLAN DESIGNATION	MIXED USE - WATERFRONT NEIGHBORHOOD
ZONING DESIGNATION	MUW (MIXED-USE WATERFRONT)
PROPOSED USE	110 PERMANENT SUPPORTIVE HOUSING (PSH) UNITS
BUILDING CODE	CONSTRUCTION INTENDED TO COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE.
CONSTRUCTION TYPE	TYPE VA
OCCUPANCY GROUP	R2
SPRINKLERED	YES; NFPA-13 FOR AMENITY BUILDING, AND NFPA-13R FOR RESIDENTIAL BUILDING
LOT AREA	1.52 AC/ 66,015 SF
GROSS BUILDING AREA	56,473 SF
PROPOSED DENSITY	72 DU/AC
BUILDING HEIGHT	54.5 FT, 4-STORY

SUMMARY OF WAIVERS/ CONCESSIONS REQUESTED

SUMMARY OF WAIVERS REQUESTED
1. OPEN SPACE
 REDUCTION FROM 300 SF PER UNIT TO 75 SF PER UNIT.

SUMMARY OF CONCESSIONS REQUESTED
1. ELECTRIC VEHICLE (EV) PARKING
 GRANDFATHERING REQUIREMENTS OF ORDINANCE 2487
2. DISTANCE BETWEEN BUILDINGS
 REDUCTION FROM 20 FT DOWN TO 15.5 FT.
3. PREVIOUS AREA OF LOT
 REDUCTION FROM 30% DOWN TO 22%.

DENSITY & UNIT MIX

PROPOSED DENSITY
 110 UNITS PROPOSED (72 DU/AC) (INCLUDING 2 MANAGER UNITS)

PSH UNITS	QUAN.	N.S.F.	UNIT MIX	PARKING RATIO
STUDIO	108	295	100%	
TOTAL PSH UNITS	108	295	100%	

MANAGER UNITS	QUAN.	N.S.F.	UNIT MIX	PARKING RATIO
2BR	2	773		
TOTAL MANAGER UNITS	2	773		

TOTAL UNITS	110	304	0.70
* 100% OF UNITS TO BE VERY LOW AFFORDABLE UNITS			

PARKING	REQUIRED	PROVIDED
RESIDENT	1.5 CARS/ UNIT *	54
GUEST	0	23
ADA	6	8***
EV	100% REQ. PARKING	**
TOTAL		77

* NOT REQUIRED FOR PROJECTS THAT QUALIFY FOR SB-35.
 ** 10% OF DWELLING UNITS WITH PARKING SPACE(S) ARE PROVIDED WITH LEVEL 2 EV READY SPACE;
 THE REMAINING DWELLING UNITS WITH PARKING SPACE(S) ARE PROVIDED WITH LEVEL 1 EV READY SPACE.
 *** REQUIRED ADA PARKING SPACES INCLUDED IN TOTAL

PROJECT AREA SUMMARY					
	RESIDENTIAL	AMENITY	CIRCULATION	UTILITY	TOTAL
LEVEL 1	7,683	4,847	3,485	2,624	18,639
LEVEL 2	10,651	208	3,300	930	15,089
LEVEL 3	10,651	208	3,374	297	14,530
LEVEL 4	5,696		2,222	297	8,215
TOTAL	34,681	5,263	12,381	4,148	56,473

OTHER REQUIREMENTS (PER TCAC)
LAUNDRY ROOM
 NO FEWER THAN ONE WASHER/DRYER PER 15 UNITS
 7 WASHER/DRYER MIN. REQUIRED
 7 WASHER DRYER PROVIDED
COMMON AREA
 OVER 100 TOTAL UNITS SHALL PROVIDE 1,800 SF MIN. COMMON AREA AMENITIES
 890 SF COMMUNITY ROOM + 642 SF ART ROOM + 415 SF LOUNGE = 1,947 SF COMMON AREA AMENITY PROVIDED

SITE DEVELOPMENT STANDARDS

SITE DEVELOPMENT STANDARDS - REFER TO ZONING CODE STANDARDS				
CATEGORY	STANDARD	REQUIRED	PROPOSED	COMPLIES
AFFORDABLE HOUSING (UNITS/%)	VERY LOW	5% (6 UNITS)	100% (108 UNITS)	YES
	LOW	5% (6 UNITS)	0%	YES
	MODERATE	10% (11 UNITS)	0%	YES
DENSITY	DU/AC	40 DU/AC MAX	72 DU/AC	NO*
	FAR	60% MAX (FOR COMMERCIAL USES ONLY)	N/A	YES
HEIGHT	MAX HEIGHT	55 FT MAX	54.5 FT	YES
	NUMBER OF STORIES	-	4 STORIES	YES
SETBACKS	FRONT	NO MIN	5 FT	YES
	LEFT SIDE	NO MIN	N/A	YES
	RIGHT SIDE	NO MIN	N/A	YES
	REAR	NO MIN	63.5 FT	YES
PARKING	VEHICLES	NO MIN	77 SPACES (0.7 SPACE PER UNIT)	YES
	BICYCLES	1 SPACE PER 3 UNITS	38 SPACES	YES
	MOTORCYCLES	5% OF EVERY PARKING AREA WITH PARKING FOR 100 CARS OR MORE	N/A	YES
	ELECTRIC CHARGING	60% OF DWELLING UNITS WITH PARKING SPACE(S) ARE PROVIDED WITH LEVEL 2 EVCS INSTALLED SPACE, THE REMAINING DWELLING UNITS WITH PARKING SPACE(S) ARE PROVIDED WITH LEVEL 1 EV READY SPACE(S)	10% OF PARKING SPACE(S) ARE PROVIDED WITH LEVEL 2 EV READY SPACE, THE REMAINING PARKING SPACE(S) ARE PROVIDED WITH LEVEL 1 EV READY SPACE(S)	NO*
OPEN SPACE	COMMON	300 SF PER UNIT	75 SF PER UNIT	NO*
	PRIVATE	A RATIO OF 3 SF OF PRIVATE OPEN SPACE FOR EVERY 2 SF OF COMMON OPEN SPACE	N/A	NO*
DRAINAGE	LOT COVERAGE	60% MAX	27%	YES
	PERVIOUS AREA	30% MIN	22%	NO*

* SEE SUMMARY OF WAIVERS/ CONCESSIONS REQUESTED

PROJECT TEAM

APPLICANT:
 MidPen Housing
 303 Vintage Park Dr., Suite 250
 Foster City, CA 94404
 Contact: Mollie Naber
 Phone: 650.339.6181

ARCHITECT / PLANNER:
 Studio T-Square
 1970 Broadway, Suite 408
 Oakland, CA. 94612
 Contact: Chek Tang, Principal
 Phone: 510.451.2850

LANDSCAPE ARCHITECT:
 The Guzzardo Partnership Inc.
 181 Greenwich Street,
 San Francisco, CA 94111
 Contact: Paul T. Lettieri
 Phone: 415.433.4673

CONTRACTOR:
 Devcon
 690 Gibraltar Dr.,
 Milpitas, CA 95035
 Contact: Tony Taormino
 Phone: 408.942.8200

CIVIL ENGINEER:
 BKF Engineers
 150 California St., Suite 600
 San Francisco, CA 64111
 Contact: Mike O'Connell
 Phone: 415.660.6360

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 REDWOOD CITY, CA

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PROJECT INFORMATION

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FIRE DEPARTMENT COMMENTS FOR BUILDING PERMITS AND DEFERRED SUBMITTALS

F1 Construction Permits

Individual building and fire code permit reviews will be required on all demolitions, remodels, tenant improvements and new construction in accordance with the legally adopted codes and standards in place at the time of permit application. Projects submitted for building permit after January 1, 2023, shall be subject to the 2022 editions of the California construction codes. Comments included herein are based on the 2019 edition of the codes and are subject to change.

F4 Emergency Responder Radio Signal Coverage

Emergency responder radio signal coverage into and out of the building is required based upon the existing public safety communication network coverage levels. [CFC §510.1 and §1103.2]

A third-party radio signal coverage analysis shall be required before occupancy. If the constructed building cannot meet the minimum inbound and outbound signal strength, a radio signal enhancement system shall be installed prior to occupancy.

F8 Standpipes

A Class I wet standpipe system is required for the building. [CBC/CFC §§905.3.1] The hose outlets shall be located in the intermediate landings of the stairways and as otherwise required by the California Fire Code.

F9 Fire Sprinklers

The buildings shall be protected by an approved automatic fire sprinkler system. The amenity building shall be protected in accordance with CBC/CFC §903.3.1.1 (NFPA 13 design). The residential building shall be protected in accordance with either CBC/CFC §903.3.1.1 (NFPA 13 design) or CBC/CFC §903.3.1.2 (NFPA 13R design).

F10 Fire Alarm Systems

A manual and/or automatic fire alarm system in accordance with CBC/CFC 907.2.9 is required. The system shall be fully addressable and supervised by a UL-certified central station. The system shall include a remote annunciator in an approved location adjacent to the main building entrance. Audible low-frequency alarm notification appliances are required to be installed in all sleeping areas and in areas that might be used for sleeping. [NFPA 72:18.4.5.3]

F12 Construction Egress and Standpipes

Where building construction exceeds 40 feet in height above the lowest level of fire department vehicle access, a temporary or permanent stairway shall be provided. As construction progresses, the stairway shall be extended to within one floor of the highest point of construction having secured decking or flooring.

Not less than one Class I standpipe shall be provided for use during construction. Such standpipes shall be installed prior to construction exceeding 40 feet in height above the lowest level of fire department vehicle access. The standpipe(s) shall be provided with fire department hose connections at locations adjacent to the stairways and shall be extended to within one floor of the highest point of construction having secured decking or flooring. [CFC §§3311.1 and 3313.1]

F15 Elevator Cab Size

The elevator shall meet the requirements of a gurney elevator as required by California Building Code 3002.4(a).

F16 Portable Fire Extinguishers: Common Hazards

Portable fire extinguishers suitable to protect the hazard shall be installed in accordance with California Title 19, Divisions 1, §3.29(a) (d).

F17 Public Address System

Public Address System In buildings four or more stories in height, a public address system shall be installed for the exclusive use of Fire Department personnel, peace officers, or other City enforcement personnel according to specifications approved by the Fire Prevention Bureau. Controls for, and access to, such system shall be installed on the ground floor of the building at a location subject to the approval of the fire code official.

The system shall be designed in accordance with NFPA 72, National Fire Alarm and Signaling Code (2016 edition) as an in-building fire emergency voice alarm communication system. Voice appliances and systems shall be capable of 520 Hz ± 10 percent with the appropriate harmonics. In residential occupancies, family and living rooms are considered sleeping rooms. [CFC 907.2.12 and Redwood City Code of Ordinances §12.23]

F18 Public Safety Key Boxes

Approved Knox® key boxes shall be provided adjacent to each building entrance. Public safety key boxes shall be recessed and installed adjacent to each entrance within 60 to 72 inches of the finished walking surface There shall be four sets of keys: each set containing building access, fire equipment room access, fire cache room, elevator keys, utility room keys and other keys essential for emergency operations. [CFC §506.1]

F19 Solar PV and Energy Storage Systems

Solar photovoltaic and energy storage systems shall be submitted under separate fire code permits and shall comply with the California Building Code and California Fire Code.



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FIRE
DEPARTMENT
NOTES

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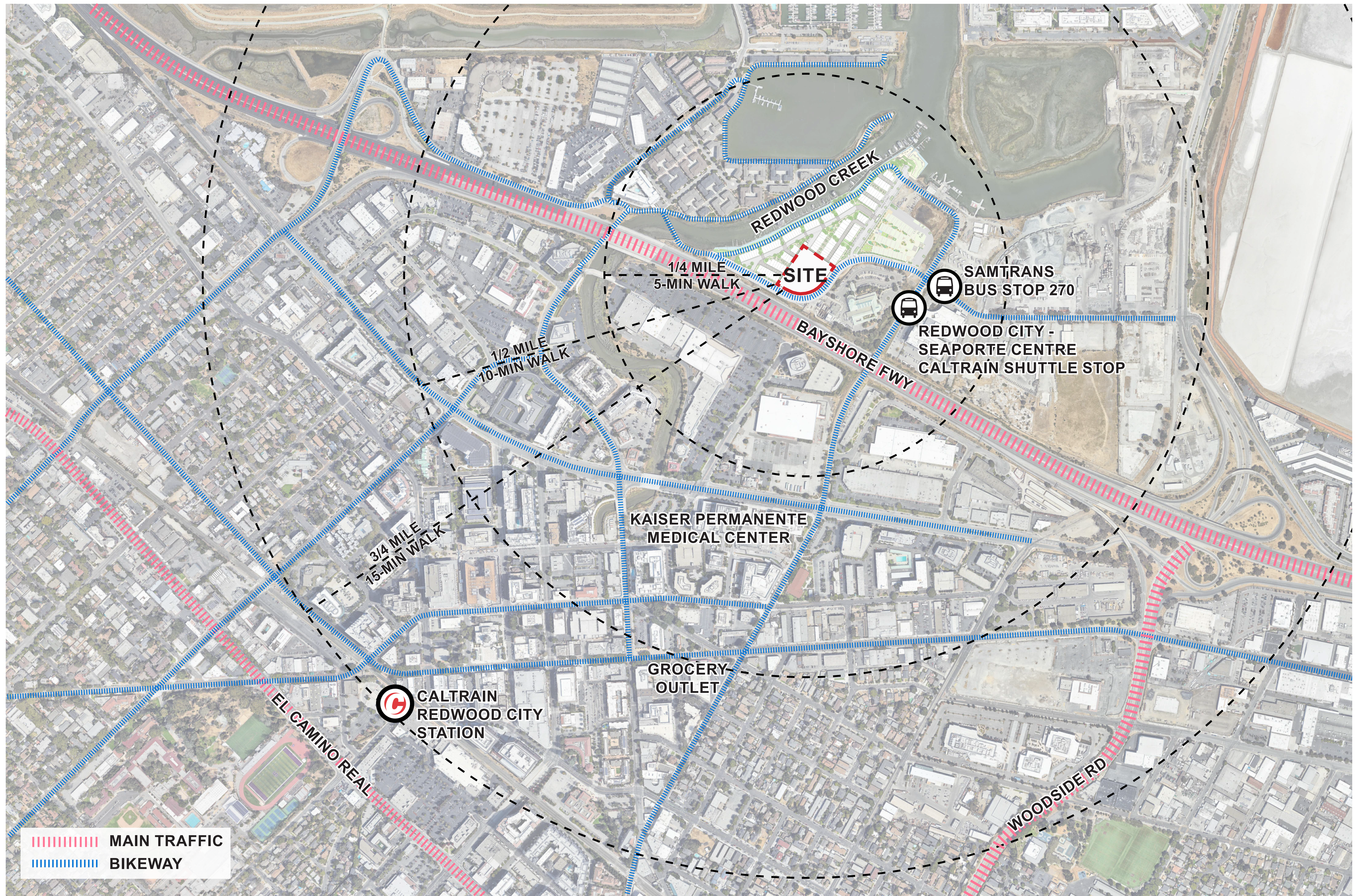


1580 MAPLE STREET PSH
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Sheet Title:
**EXISTING SITE
CONDITIONS**

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REDWOOD CITY, CA

Sheet Title:
**NEIGHBORHOOD
CONTEXT**

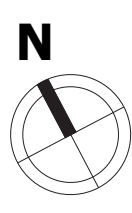
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NEIGHBORHOOD CONTEXT
SCALE: 1" = 300' - 0" @ 22" x 34"

1



1580 MAPLE STREET

SCHEMATIC DESIGN

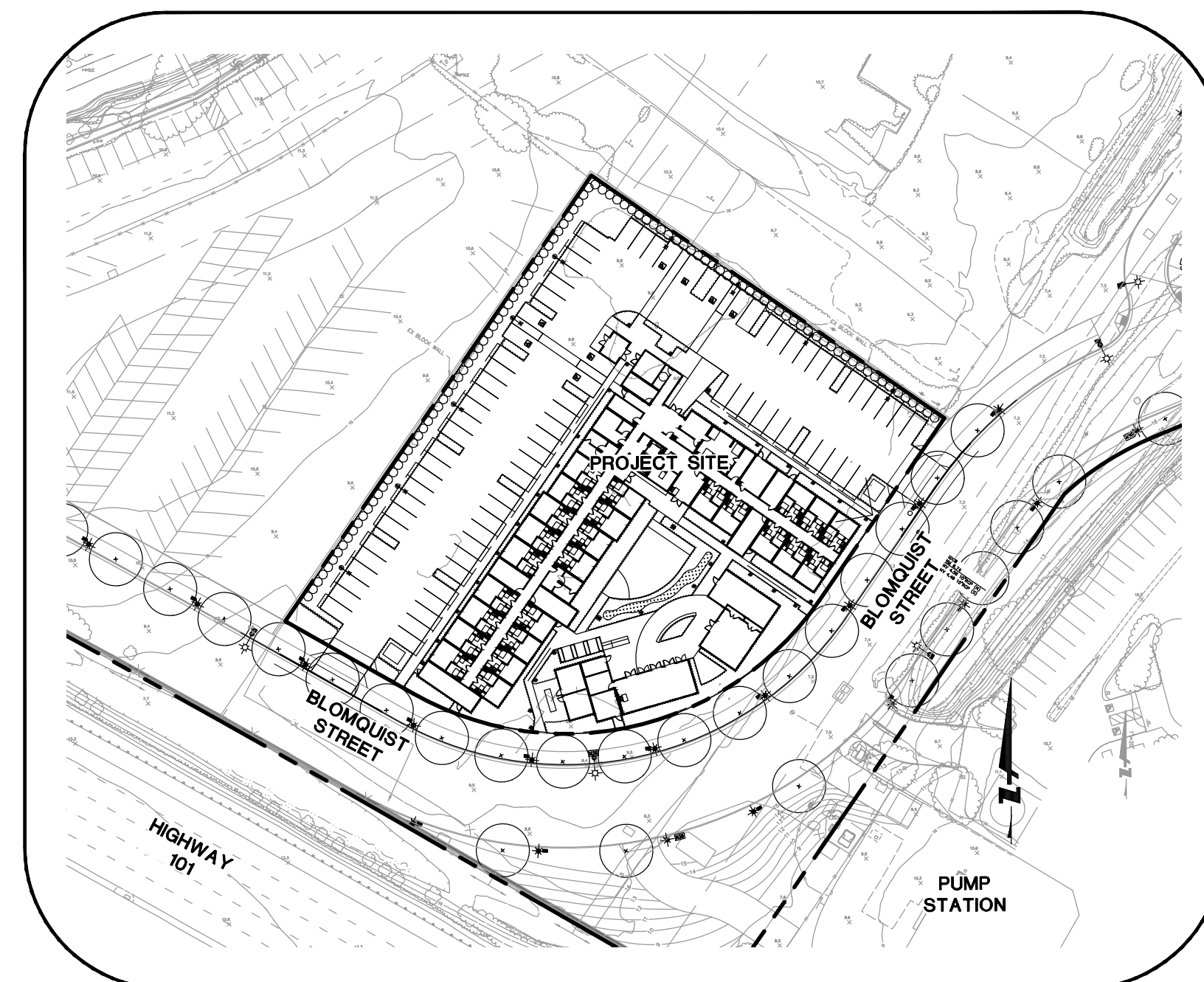
CITY OF REDWOOD CITY, SAN MATEO COUNTY, CALIFORNIA

PROJECT SUMMARY

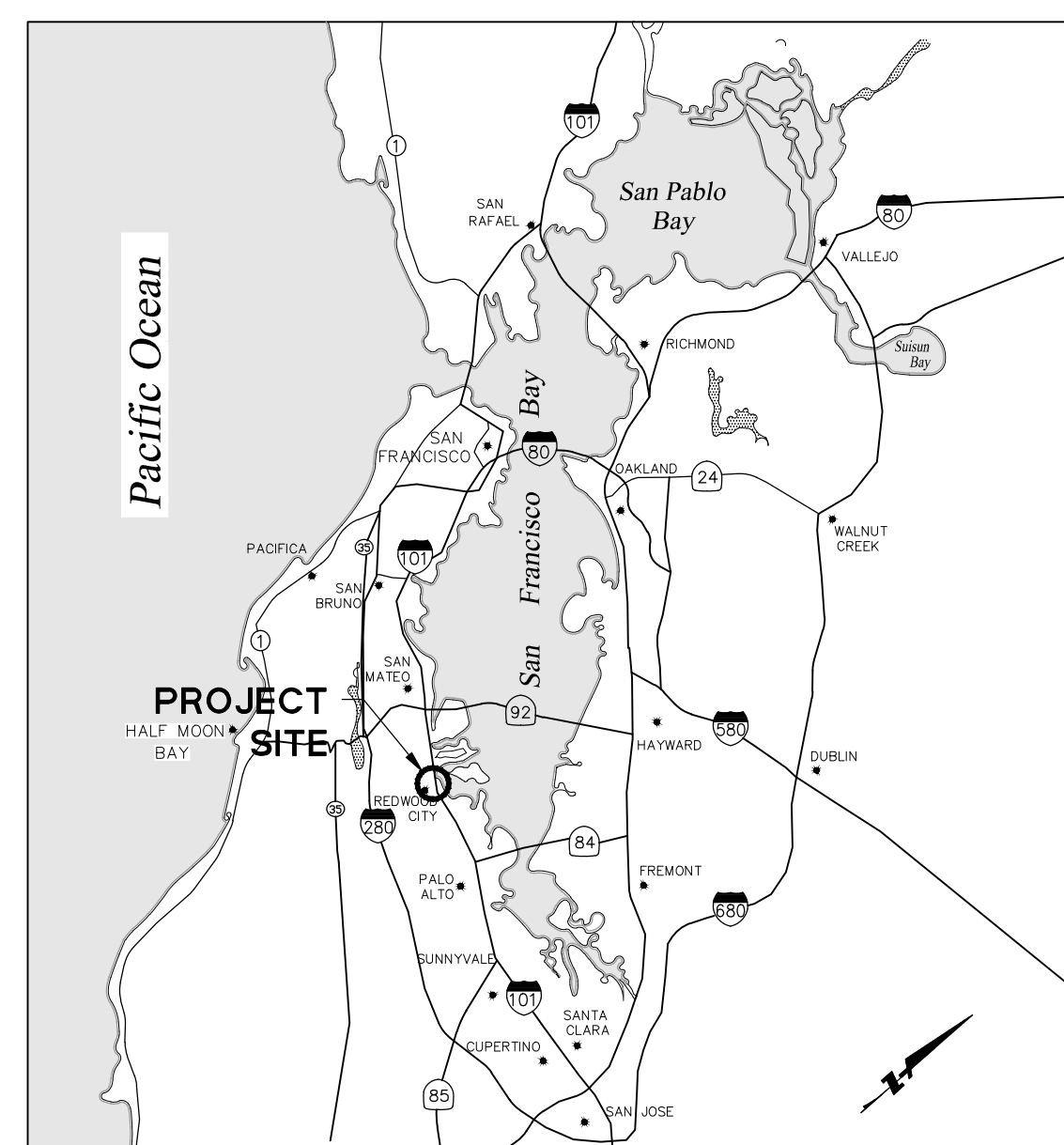
<u>APPLICANT</u>	MIDPEN HOUSING CORPORATION 303 VINTAGE PARK DR., SUITE 250 FOSTER CITY, CA 94404 650.356.2936 CONTACTS: SUSAN MA/MOLLIE NABER
<u>ARCHITECT</u>	STUDIO T-SQ., INC. 1970 BROADWAY, SUITE 408 OAKLAND, CA 94612 510.451.2850 CONTACTS: HOWAI LAI
<u>LANDSCAPE ARCHITECT</u>	THE GUZZARDO PARTNERSHIP, INC. 181 GREENWICH STREET SAN FRANCISCO, CA 94111 415.433.4673 CONTACTS: JAMES WINSTEAD
<u>CIVIL ENGINEER</u>	BKF ENGINEERS 150 CALIFORNIA STREET, SUITE 600 SAN FRANCISCO, CA 94111 415.930.7900 CONTACTS: MIKE O'CONNELL/ALYSSA JACOBSON
<u>OWNER</u>	CITY OF REDWOOD CITY 1017 MIDDLEFIELD RD REDWOOD CITY, CA 94063
<u>APN #</u>	052-532-020
<u>TOTAL AREA</u>	66,015 SF (1.52 AC)
<u>EXISTING ZONING</u>	MUW (MIXED USE - WATERFRONT) DISTRICT
<u>PROPOSED ZONING</u>	MUW (MIXED USE - WATERFRONT) DISTRICT
<u>EXISTING LAND USE</u>	PARK
<u>PROPOSED LAND USE</u>	PARK
<u>UTILITIES</u>	
<u>WATER SUPPLY:</u>	CITY OF REDWOOD CITY
<u>FIRE PROTECTION:</u>	CITY OF REDWOOD CITY
<u>SEWAGE DISPOSAL:</u>	CITY OF REDWOOD CITY
<u>STORM DRAIN:</u>	CITY OF REDWOOD CITY
<u>GAS & ELECTRIC:</u>	PACIFIC GAS & ELECTRIC
<u>TELEPHONE:</u>	COMCAST, AT&T
<u>CABLE TELEVISION:</u>	COMCAST, AT&T

PROJECT DESCRIPTION

NEW SUPPORTIVE HOUSING COMMUNITY INCLUDING A NEW MODULAR RESIDENTIAL BUILDING WITH 110 UNITS, 1,947 SQUARE FOOT COMMUNITY BUILDING, APPROXIMATELY 14,295 SQUARE FEET OF OPEN SPACE, AND UP TO 77 PARKING SPACES.



SITE PLAN
SCALE: 1" = 80'



VICINITY MAP
NTS

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C7.00	FIRE ACCESS PLAN

PROJECT BENCHMARK

BENCHMARK BM62.
TOP OF DISK SET ON HEADWALL OF CULVERT IN FRONT OF REDWOOD CITY POLICE DEPARTMENT, NORTH SIDE OF CULVERT, 11 FEET FROM FIRE HYDRANT, MAPLE STREET AT CHEMICAL WAY.
ELEVATION = 10.818 FEET BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

BASIS OF BEARINGS

THE BEARING NORTH 55°13'12" WEST OF THE CENTER LINE OF BLOMQUIST STREET, BETWEEN FOUND MONUMENTS, AS SHOWN ON FINAL MAP NO. 2019-002, FILED FOR RECORD ON JULY 19, 2021 IN VOLUME 143 OF MAPS AT PAGES 43 THROUGH 47, RECORDS OF SAN MATEO COUNTY, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

APPROVALS

ENGINEER'S STATEMENT

THESE IMPROVEMENT PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

MIKE O'CONNELL, P.E.
SENIOR ASSOCIATE PRINCIPAL
BKF ENGINEERS



09/15/2023
DATE



150 CALIFORNIA STREET
SUITE 600
SAN FRANCISCO, CA 94111
(415) 930-7900
www.bkf.com

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GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF REDWOOD CITY REQUIREMENTS AND SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE CITY OF REDWOOD CITY STANDARD SPECIFICATIONS AND DETAILS, THE GEOTECHNICAL REPORT AND ON-SITE SPECIFICATIONS PREPARED FOR THIS PROJECT. MEASUREMENT AND PAYMENT REFERENCES SHALL NOT APPLY TO THIS PROJECT.
- AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO THE START OF ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY OR A PUBLIC UTILITIES EASEMENT INCLUDING, BUT NOT LIMITED TO THE INSTALLATION OF SEWERS OR OTHER UTILITIES, SIDEWALK, CURB AND GUTTER, DRIVEWAY, WALL, FENCE, OR OTHER CONSTRUCTION. AN ENCROACHMENT PERMIT IS ALSO REQUIRED FOR THE PLACEMENT OF DEBRIS BOXES, STORAGE CONTAINERS, OR CONSTRUCTION MATERIALS WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL GIVE THE CITY ENGINEER AT LEAST TWO (2) WORKING DAYS ADVANCE NOTICE FOR INSPECTION SERVICES.
- THE CONTRACTOR SHALL REQUEST STAKING SERVICES FROM THE DESIGN ENGINEER AT LEAST TWO (2) WORKING DAYS PRIOR TO STAKING.
- ALL REVISIONS TO THESE PLANS MUST BE REVIEWED AND APPROVED IN WRITING BY THE CITY ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED ITEMS. REVISIONS SHALL BE ACCURATELY SHOWN ON REVISED PLANS.
- ALL CONSTRUCTION AND RELATED ACTIVITIES SHALL BE ALLOWED DURING THE HOURS OF 7:00 AM TO 8:00 PM ON WEEKDAYS AND 9:00 A.M. TO 8:00 PM ON WEEKENDS, IN ACCORDANCE WITH THE CITY'S NOISE CONTROL ORDINANCE (CHAPTER 9.30 OF THE MUNICIPAL CODE). CONSTRUCTION SHALL BE PROHIBITED ON THE FOLLOWING HOLIDAYS: NEW YEAR'S DAY (JANUARY 1), MARTIN LUTHER KING JUNIOR DAY (JANUARY 18), PRESIDENT'S DAY (FEBRUARY 15), MEMORIAL DAY (MAY 30), INDEPENDENCE DAY (JULY 4), LABOR DAY (SEPTEMBER 5), VETERAN'S DAY (NOVEMBER 11), THANKSGIVING DAY (NOVEMBER 24), AND CHRISTMAS DAY (DECEMBER 25). IF WORK IS PROPOSED TO BE PERFORMED BETWEEN OCTOBER AND APRIL, THE CITY ENGINEER MUST APPROVE THE TIME FRAME IN ACCORDANCE WITH SECTION 12.08.165 OF THE MUNICIPAL CODE.
- EXISTING CURB AND GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER PUBLIC IMPROVEMENTS WITHIN THE PROJECT LIMITS THAT ARE DAMAGED OR DISPLACED SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, EVEN IF THE DAMAGE OR DISPLACEMENT WAS NOT CAUSED BY ACTUAL WORK PERFORMED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL RESTORE WALLS, FENCES, SERVICES, UTILITIES, PAVEMENT & CURB MARKINGS IMPROVEMENTS OR FEATURES OF WHATEVER NATURE WHICH ARE DAMAGED DUE TO THE CONTRACTOR'S WORK TO THEIR PREVIOUS CONDITION, TO THE SATISFACTION OF THE CITY ENGINEER.
- EXISTING PEDESTRIAN WALKWAYS, BIKEPATHS AND ADA ACCESS PATHWAYS SHALL BE MAINTAINED DURING CONSTRUCTION TO THE SATISFACTION OF THE CITY ENGINEER.
- CONTRACTOR SHALL MAINTAIN TRAFFIC ON ADJACENT CITY STREETS FOR EMERGENCY RESPONSES UNLESS OTHERWISE AUTHORIZED BY THE CITY 48 HOURS PRIOR TO CLOSURE.
- TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING CITY STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING AND/OR HOT-MIX ASPHALT AS REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF EVERY WORK DAY.
- PRIOR TO FINAL PREPARATION OF THE SUBGRADE AND PLACEMENT OF BASE MATERIALS FOR STREETS, ALL UNDERGROUND UTILITY MAINS SHALL BE INSTALLED AND SERVICE CONNECTIONS STUBBED OUT UNLESS OTHERWISE APPROVED BY CITY ENGINEER. STUB-OUTS SHALL BE INSTALLED IN A MANNER WHICH WILL NOT DISTURB THE STREET PAVEMENT, CURB AND GUTTER, AND SIDEWALKS WHEN SERVICE CONNECTIONS ARE MADE.
- EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEATHED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEATHING, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE/SHE/THEY SHALL COMPLETE NECESSARY REPAIRS OR RECONSTRUCTION AT HIS/HER/THEIR OWN EXPENSE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH, AND/OR STRUCTURE IS FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL PROVIDE SHEATHING, SHORING AND BRACING IN CONFORMANCE WITH THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL COMPLY WITH OSHA REQUIREMENTS AT ALL TIMES.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR THE ENTIRE PROJECT SITE AT ALL TIMES. THE SITE SHALL BE SPRINKLED AS NECESSARY TO PREVENT DUST NUISANCE. IN THE EVENT OF DUST, THE CITY RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR SPECIFIED IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER, BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- WHEN SPECIFICATIONS OR STANDARDS FROM DIFFERENT AUTHORITIES DIFFER FOR THE SAME SUBJECT MATTER, THE MORE STRINGENT SHALL GOVERN.
- UPON SATISFACTORY COMPLETION OF THE WORK, THE ENTIRE WORK SITE SHALL BE CLEANED UP AND LEFT WITH A SMOOTH AND NEATLY GRADED SURFACE FREE OF CONSTRUCTION WASTE AND RUBBISH OF ANY NATURE BY THE CONTRACTOR TO THE SATISFACTION OF THE CITY ENGINEER.
- ARTICLE 87 OF THE CFC SHALL BE FOLLOWED FOR ALL AREAS UNDER CONSTRUCTION. CONTACT THE CITY FIRE DEPARTMENT

FOR SPECIFIC REQUIREMENTS FOR BUILDING UNDER CONSTRUCTION.

- THE CONTRACTOR SHALL COORDINATE HIS/HER/THEIR WORK WITH THE INSTALLATION OF PG&E, AT&T, CABLE TV, AND CAL WATER FACILITIES.
- AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE CITY RIGHT-OF-WAY OR EASEMENT AND MUST BE OBTAINED PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL CONFORM TO ALL ENCROACHMENT PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT PRIOR AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO START OF WORK TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. THE UTILITIES SHOWN ON THESE PLANS ARE BASED ON RECORD INFORMATION, HOWEVER THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY OR ACTUAL LOCATIONS.
- THE CONTRACTOR SHALL LEAVE A 24-HOUR EMERGENCY TELEPHONE NUMBER WITH POLICE, FIRE AND PUBLIC WORKS DEPARTMENTS, AND KEEP THEM INFORMED DAILY OF ANY DETOURS.
- THE CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS OF THE STATE OF CALIFORNIA CONSTRUCTION SAFETY ORDERS PERTAINING TO EXCAVATIONS AND TRENCHES.
- THE CONTRACTOR SHALL PERFORM TESTS AS NECESSARY IN ACCORDANCE WITH CITY STANDARDS ON NEWLY INSTALLED STORM DRAINS, SEWER, AND WATER SYSTEMS ONLY AFTER TRENCHES ARE BACKFILLED AND STREET BASE IS IN PLACE, COMPACTED AND READY FOR ASPHALT PAVING.
- THE CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL EXISTING AND/OR NEW MANHOLES, CURB INLETS, CATCH BASINS, VALVES, MONUMENT COVERS, AND OTHER CASTINGS WITHIN THE WORK AREA UNLESS NOTED OTHERWISE.
- A NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM PERMIT (NPDES), WASTE DISCHARGE IDENTIFICATION NUMBER (WDID NO.), CONSTRUCTION PERMIT, IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND MONITORING PLAN ARE REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES RELATED TO THIS SITE. ANY DISCHARGE, DURING CONSTRUCTION, OF GROUNDWATER INTO THE DOWNSTREAM STORM SYSTEM MUST BE UNCONTAMINATED WATER. THE CONTRACTOR MUST MAKE THIS DETERMINATION PRIOR TO ANY DISCHARGE.
- THE CONTRACTOR SHALL MEET AND FOLLOW ALL NPDES REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.
- IF ARCHAEOLOGICAL MATERIALS ARE UNCOVERED DURING DEMOLITION WORK, NOTIFY ENGINEER AND STOP ALL WORK WITHIN 100 FEET OF THESE MATERIALS UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY (SCA) AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY (SOPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY.
- THE CONTRACTOR SHALL POST ON SITE EMERGENCY TELEPHONE NUMBERS FOR CITY ENGINEER, AMBULANCE, POLICE, FIRE DEPARTMENTS, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF THE JOB SITE. THESE NUMBERS SHALL BE POSTED ON ALL SIDES OF THE SITE.
- PUBLIC SAFETY AND TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND AS DIRECTED BY THE CITY ENGINEER.
- IF PAVING AND STORM DRAIN IMPROVEMENTS ARE NOT COMPLETED BY OCTOBER 1, TEMPORARY SILT AND EROSION CONTROL FACILITIES SHALL BE INSTALLED TO CONTROL AND CONTAIN SILT DEPOSITS AND TO PROVIDE FOR THE SAFE DISCHARGE OF STORMWATER INTO EXISTING STORM DRAINAGE FACILITIES.
- ALL TRAFFIC SIGNS AND STREET NAME SIGNS SHALL BE HIGH REFLECTIVE GRADE AND CONFORM TO CALTRANS AND CITY SPECIFICATIONS.
- REVIEW OF THESE PLANS BY THE CITY ENGINEER DOES NOT RELIEVE THE PERMITTEE OR HIS/HER/THEIR ENGINEER FROM THE RESPONSIBILITY FOR THE DESIGN OF THE IMPROVEMENTS AND ANY DEFICIENCIES RESULTING FROM THE DESIGN THEREOF.
- ALL CITY STANDARD DETAILS REFERENCED ON THE PLANS SHALL BE THE CURRENT VERSION AVAILABLE FROM THE PUBLIC WORKS DEPARTMENT. THE MOST CURRENT CITY DETAILS CAN BE FOUND ON THE CITY'S WEBSITE.
- A LICENSED LAND SURVEYOR SHALL BE RETAINED TO ESTABLISH ALL LINES, LEVELS, GRADES, AND LOCATIONS OF ALL IMPROVEMENTS AND TO VERIFY THE PROPER INSTALLATION OF ALL IMPROVEMENTS. A STATE OF CALIFORNIA REGISTERED CIVIL ENGINEER SHALL BE RETAINED TO UPDATE CONTRACT PLANS AND TO SUBMIT RECORD DRAWINGS INDICATING ALL FINAL IMPROVEMENTS, WITH APPROVED REVISIONS, INSTALLED.
- SUBMITTALS SHALL BE SUBMITTED TO THE CITY FOR APPROVAL AT LEAST TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION OF AN IMPROVEMENT REQUIRING THEM.
- THE CONTRACTOR SHALL PLACE A "S" (FOR SEWER) IN THE WET CONCRETE CURB TOP AT ALL NEW SEWER LATERAL LOCATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.

LAYOUT NOTES

- ALL CURB RETURN RADII AND CURB DATA ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

EXISTING CONDITIONS

- EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON A TOPOGRAPHIC SURVEY PERFORMED SEPTEMBER 28, 2022 BY BKF ENGINEERS. GRADES ENUNCIATED MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND SPECIFICATIONS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
- INFORMATION REGARDING EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES SHOWN ON THESE PLANS WAS TAKEN FROM RECORD DATA KNOWN TO THE DESIGN ENGINEER AND IS NOT MEANT TO BE A FULL CATALOG OF EXISTING CONDITIONS. CONTRACTOR SHALL CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES (WHETHER SHOWN ON THESE PLANS OR NOT) PRIOR TO THE COMMENCEMENT OF WORK. CONTRACTOR SHALL NOTIFY THE CITY ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD AND INFORMATION SHOWN ON THESE PLANS.
- ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION AFFECTING SAID LINES.
- GRADING**
- ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE NOTES AND THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE SOILS REPORT.
- REFER TO THE GEOTECHNICAL REPORT "PRELIMINARY GEOTECHNICAL INVESTIGATION" PREPARED BY XXX, DATED XXXX.
- THE GEOTECHNICAL ENGINEER SHALL BE PRESENT AT THE SITE DURING GRADING OPERATIONS AND SHALL PERFORM ALL TESTING DEEMED NECESSARY. THE GEOTECHNICAL ENGINEER SHALL OBSERVE GRADING OPERATIONS AND IDENTIFY THOSE CONDITIONS WITH RECOMMENDED CORRECTIVE MEASURES TO THE CONTRACTOR AND THE CONSTRUCTION MANAGER.
- EARTHWORK AND SITE DRAINAGE, INCLUDING PIER FOUNDATION EXCAVATIONS, RETAINING WALL BACKFILL, SUBGRADE PREPARATION BENEATH HARDSCAPE PLACEMENT, AND COMPACTION OF ENGINEERED FILL BENEATH HARDSCAPE AND INSTALLATION OF SURFACE AND SUBSURFACE DRAINAGE SYSTEMS SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. THE GEOTECHNICAL ENGINEER SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTIFICATION OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND/OR TEST AS NECESSARY THE EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.
- EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEETED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEETING, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE CONTRACTOR SHALL EFFECT NECESSARY REPAIRS OR RECONSTRUCTION AT HIS/HER/THEIR OWN EXPENSE. WHERE THE EXCAVATION FOR A TRENCH, STRUCTURE AND/OR BORING OR JACKING PIT IS 5 FIVE FEET OR MORE IN DEPTH THE CONTRACTOR SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL COMPLY WITH OSHA REQUIREMENTS AT ALL TIMES.
- CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITHIN TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTOR SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT NO EXTRA COST TO THE OWNER.
- CONTRACTOR TO MAKE ARRANGEMENTS WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY TIE-IN, ABANDONMENT OF, OR WORK WITH THEIR FACILITIES.
- A MINIMUM OF TWELVE (12) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN ADJACENT UTILITY PIPES AT ALL UTILITY CROSSINGS WHERE POSSIBLE.
- CONTRACTOR SHALL PROTECT ALL UTILITIES FROM DAMAGE DURING COMPACTION OF ROADWAY SUBGRADE AND PRIOR TO PLACEMENT OF THE FINAL PAVEMENT SECTION.
- ALL UTILITY BOXES, LIDS AND GRATES IN PAVED AREAS SHALL ACCEPT H=20 LOADS. UNLESS OTHERWISE NOTED THE ENTIRE BOX, NOT JUST THE LID OR GRATE, MUST ACCEPT H=20 LOADS.
- CONTRACTOR IS CAUTIONED THAT PVC PIPE DERIVES ITS STRENGTH FROM THE COMPACTED BEDDING MATERIAL BELOW AND BESIDE THE PIPE HAUNCHES. CARE SHOULD BE EXERCISED IN THE PLACEMENT AND COMPACTION OF THIS MATERIAL AND THE INSERTION AND REMOVAL OF SHORING ADJACENT TO IT. CONTRACTOR SHALL USE CAUTION WHEN OPERATING EQUIPMENT ON SUBGRADE NEAR PVC PIPE INSTALLATIONS.
- BACKFILL FOR UTILITY TRENCHES AND OTHER EXCAVATIONS IS ALSO CONSIDERED FILL, AND SHOULD BE PLACED AND COMPACTED ACCORDING TO THE GRADING RECOMMENDATIONS. IF IMPORTED CLEAN SAND OR GRAVEL (DEFINED AS SOIL WITH LESS THAN 10 PERCENT FINES) IS USED AS BACKFILL, IT SHALL BE COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION. JETTING OF TRENCH BACKFILL IS NOT PERMITTED.
- BEFORE DISCONNECTING UTILITY SERVICE TO ANY ESTABLISHMENT, CONTRACTOR SHALL GIVE ADVANCE NOTICE TO ESTABLISHMENT BEFORE THEIR UTILITY SHUT DOWN, MAKE ARRANGEMENTS WITH THOSE ESTABLISHMENTS FOR A SCHEDULED SHUT DOWN AND COORDINATE DATE OF SHUT DOWN, DURATION, INCONVENIENCE, DELAYS, ETC. WITH A REPRESENTATIVE OF THE CITY.
- WHERE COVER OF PROPOSED UTILITIES IS LESS THAN 3 FEET, TRENCH BACKFILL SHALL BE CEMENT SLURRY IN ACCORDANCE WITH SECTION 19-3.062 OF THE CALTRANS STANDARD SPECIFICATIONS EXCEPT THAT THE CEMENT CONTENT SHALL BE NOT LESS THAN 94 NOR MORE THAN 100 POUNDS PER CUBIC

YARD OF MATERIAL PRODUCED.

- TRACER WIRE AND TRACER TAPE SHALL BE INSTALLED WITH THE WATER MAIN. THE WIRE SHALL BE PLACED IMMEDIATELY UNDER THE PIPE AND EXTENDED TO THE STREET OR GROUND SURFACE AT EVERY VALVE BOX. THE TAPE SHALL BE 2" INCHES WIDE NON-METALLIC AS DIRECTED BY THE CITY ENGINEER AND PLACED NOT LESS THAN 6 INCHES BELOW THE SUBGRADE AND NOT LESS THAN 12 INCHES ABOVE THE PIPE.
- ALL IRRIGATION SLEEVES REQUIRED BY LANDSCAPING PLANS SHALL BE INSTALLED BY THIS CONTRACTOR PRIOR TO CONSTRUCTING SURFACE IMPROVEMENTS. REFER TO LANDSCAPE PLANS FOR REQUIRED SIZE AND QUANTITY OF IRRIGATION SLEEVES. THEY SHALL EXTEND A MINIMUM TWELVE (12) INCHES BEHIND THE BACK OF CURB OR BACK OF WALK AT A MINIMUM DEPTH OF THIRTY-SIX (36) INCHES BELOW GRADE.
- PROJECT IS REQUIRED TO INSTALL RECYCLED WATER LINE IN ACCORDANCE WITH CITY OF REDWOOD CITY PUBLIC WORKS STANDARDS.

UTILITIES

- CONTRACTOR TO MAKE ARRANGEMENTS WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY TIE-IN, CUT AND CAP, DEMOLITION, ABANDONMENT OF OR WORK WITH THEIR FACILITIES.
- CONTRACTOR TO MAKE ARRANGEMENTS WITH CITY AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY TIE-IN AND ANY TASK IN WHICH PARTICIPATION BY CITY AND RESPECTIVE UTILITY AGENCIES FORCES IS NECESSARY; THE CITY'S WATER SYSTEM IS OWNED AND OPERATED BY THE CITY.
- A MINIMUM OF TWELVE (12) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN ADJACENT UTILITY PIPES AT ALL UTILITY CROSSINGS UNLESS OTHERWISE NOTED.
- ALL IRRIGATION SLEEVES REQUIRED BY LANDSCAPING PLANS SHALL BE INSTALLED BY THIS CONTRACTOR PRIOR TO CONSTRUCTING SURFACE IMPROVEMENTS. IRRIGATION SLEEVES SHALL BE FOUR (4) INCH PVC (SCHEDULE 40) PIPE AND SHALL EXTEND A MINIMUM TWELVE (12) INCHES BEHIND THE BACK OF CURB OR BACK OF WALK AT A MINIMUM DEPTH OF THIRTY-SIX (36) INCHES BELOW GRADE. SEE LANDSCAPE PLANS FOR LOCATIONS.
- CONTRACTOR SHALL PROTECT ALL UTILITIES FROM DAMAGE DURING COMPACTION OF ROADWAY SUBGRADE AND PRIOR TO PLACEMENT OF THE FINAL PAVEMENT SECTION.
- ALL UTILITY BOXES AND LIDS IN PAVED AREAS SHALL ACCEPT H=20 LOADS. THE ENTIRE BOX, NOT JUST THE LID, MUST ACCEPT H=20, LOADS UNLESS OTHERWISE NOTED.
- CONTRACTOR IS CAUTIONED THAT PVC PIPE DERIVES ITS STRENGTH FROM THE COMPACTED BEDDING MATERIAL BELOW AND BESIDE THE PIPE HAUNCHES. CARE SHOULD BE EXERCISED IN THE PLACEMENT AND COMPACTION OF THIS MATERIAL AND THE INSERTION AND REMOVAL OF SHEET PILING ADJACENT TO IT. CONTRACTOR SHALL USE CAUTION WHEN OPERATING EQUIPMENT ON SUBGRADE NEAR PVC PIPE INSTALLATIONS.
- CONTRACTOR SHALL STENCIL STORM DRAIN INLETS WITH NPDES STATEMENT. CONTRACTOR SHALL CONTACT THE CITY OF REDWOOD CITY ENGINEERING DIVISION TO OBTAIN THE STENCIL TEMPLATE AND COORDINATE COLOR AND APPLICATION PROCEDURE.
- BEFORE DISCONNECTING UTILITY SERVICE TO ANY ESTABLISHMENT, CONTRACTOR SHALL GIVE ADVANCE NOTICE TO ESTABLISHMENT BEFORE THEIR UTILITY SHUT DOWN, MAKE ARRANGEMENTS WITH THOSE ESTABLISHMENTS FOR A SCHEDULED SHUT DOWN AND COORDINATE DATE OF SHUT DOWN, DURATION, INCONVENIENCE, DELAYS, ETC. WITH A REPRESENTATIVE OF THE CITY AND/OR RESPECTIVE UTILITY AGENCY.
- WHERE COVER OF PROPOSED UTILITIES IS LESS THAN 3 FEET TRENCH BACKFILL SHALL BE CEMENT SLURRY IN ACCORDANCE WITH SECTION 19-3.062 OF THE CALTRANS STANDARD SPECIFICATIONS EXCEPT THAT THE CEMENT CONTENT SHALL BE NOT LESS THAN 94 POUNDS NOR MORE THAN 100 POUNDS PER CUBIC YARD OF MATERIAL PRODUCED.

STORM DRAIN NOTES

- ALL STORM DRAIN WORK SHALL BE PERFORMED IN ACCORDANCE WITH PART 5 OF THE CITY OF REDWOOD CITY DESIGN GUIDELINES. MOST RECENT EDITION. THE DESIGN GUIDELINES ARE AVAILABLE ON THE CITY OF REDWOOD CITY PUBLIC WORKS ENGINEERING DIVISION WEBSITE.
- PUBLIC STORM DRAIN LINES 15-INCH MIN SHALL BE REINFORCED CONCRETE PIPE (RCP), AND 12-INCH MIN SHALL BE C900 POLYVINYL CHLORIDE (PVC) CLASS 150 PIPE PER CITY STANDARD DESIGN CRITERIA. PIPE SPIGOT AND SOCKET JOINTS SHALL CONFORM TO ELASTOMERIC GASKET JOINTS IN SECTION 207-17 OF THE "GREEN BOOK." INSTALLATION OF STORM SEWER PIPES AND FITTINGS AS WELL AS TESTING SHALL CONFORM TO SECTION 306 OF THE "GREEN BOOK".
- IN AREAS OF SHALLOW COVER, REINFORCED CONCRETE PIPE (RCP) SHALL BE USED. REFER TO UTILITY PLAN FOR SPECIFIC LOCATIONS.

WATER SERVICE INSTALLATION NOTES

- ALL BACKFLOW PREVENTION ASSEMBLIES MUST BE APPROVED BY THE CITY OF REDWOOD CITY'S WATER QUALITY DIVISION.
- EACH WATER LINE REQUIRES AN APPROVED REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER

RECORD DRAWINGS

- CONTRACTOR SHALL KEEP ACCURATE RECORD DRAWINGS WHICH SHOW THE FINAL LOCATION, ELEVATION AND DESCRIPTION OF ALL WORK. CONTRACTOR SHALL ALSO NOTE THE LOCATION AND ELEVATION OF ANY EXISTING IMPROVEMENTS ENCOUNTERED. RECORD DRAWINGS SHALL BE "REDLINED" ON A SET OF PRINTS. THE REDLINED PRINTS SHALL BE DELIVERED TO THE CONSTRUCTION MANAGER.

BASIS OF SURVEY

- BENCHMARK BM62.

TOP OF DISK SET ON HEADWALL OF CULVERT IN FRONT OF REDWOOD CITY POLICE DEPARTMENT, NORTH SIDE OF CULVERT, 11 FEET FROM FIRE HYDRANT. MAPLE STREET AT CHEMICAL WAY.

ELEVATION = 10.818 FEET BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

UNAUTHORIZED CHANGES AND USES

- THE DESIGN ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

STATEMENT OF RESPONSIBILITY

- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL AND CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES; AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, OSHA AND INDUSTRIAL ACCIDENT COMMISSION RELATING TO SAFETY AND CHARACTER OF WORK EQUIPMENT AND LABOR PERSONNEL.
- THE CONTRACTOR SHALL REFER TO THE SCOPE OF WORK OF EACH CONSULTANT. ANY REFERENCES TO IMPROVEMENTS WITHIN THE SCOPE OF OTHER CONSULTANTS ARE SHOWN ON THE CIVIL DRAWINGS FOR REFERENCE ONLY.

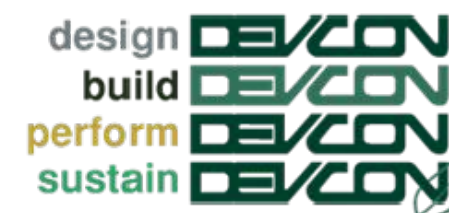
EROSION & SEDIMENT CONTROL

- CONTRACTOR SHALL IMPLEMENT MEASURES AS DETAILED IN THE APPROVED EROSION CONTROL PLAN INCLUDED HEREIN.
- CONTRACTOR IS REQUIRED TO OBTAIN ALL REQUIRED BATCH-WASTE WATER DISCHARGE PERMITS FROM DEWATERING ACTIVITIES.
- MEASURES SHOWN IN THE EROSION CONTROL PLAN ARE MINIMUM REQUIREMENTS AND ADDITIONAL MEASURES SHOULD BE INCORPORATED AS NECESSARY FOR COMPLIANCE.
- CONTRACTOR MAY ADJUST MEASURES AS SITE CONDITION CHANGES.



150 CALIFORNIA STREET
SUITE 600
SAN FRANCISCO, CA 94111
(415) 930-7900
www.bkf.com

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1580 MAPLE STREET PSH
REDWOOD CITY, CA

Sheet Title:

GENERAL NOTES

Job No. 22016
Date: 09/15/2023
Scale: AS SHOWN
Drawn By: DD/HBI

Sheet No:

C1.01

ATTACHMENT A - 1

GENERAL NOTES

1. Elevations and locations of all existing utility crossings shall be verified by the contractor prior to start of any construction affecting said lines. Contact USA at (800) 642-2444 at least two working days prior to excavation.
2. All applicable work and materials shall be done in accordance with the City of Redwood City Standard Technical Specifications and Details, prepared in the office of Engineering and Transportation, including modifications contained herein.
3. The Contractor shall restore all damaged, removed or otherwise disturbed walls, fences, services, utilities, improvements or features of whatever nature, due to contractor's work.
4. The Contractor shall coordinate his work with the installation of facilities by PG&E, Pacific Bell, and Cable TV installation. Valve boxes and manholes, and structures to be set to grade in concrete after paving.
5. All street monuments and other permanent monuments disturbed during the process of construction shall be replaced before acceptance of the improvements by the City Engineer.
6. The Contractor shall give the City Engineer two working days advance notice for inspection. (650) 780-7380.
7. No trees 12" diameter or larger measured between 6" and 36" above grade, shall be removed without the written consent of the City Engineer. Tree removals, if necessary, shall conform to the Heritage Tree Ordinance, Ordinance, No. 1536.
8. For lane closures, the Contractor shall prepare a traffic control plan and obtain approval of the City Engineer before commencing work. The Contractor shall provide flagmen, cones or barricades, as necessary to control traffic and prevent hazardous conditions per the California Standard Plans, Specifications, and Manual on Traffic Control Devices, latest edition.
9. Pedestrian, public accesses, wheelchair accesses shall be maintained during the construction to the satisfaction of the City Engineer.
10. No trenches or holes shall be left open overnight; use steel plating or hot-mix asphalt as required to protect open trenches overnight.
11. The Contractor shall control dust at all times and sweep streets as often as necessary during construction as required by the City Engineer.
12. All revisions to this plan must be reviewed and approved by the City Engineer prior to construction and shall be accurately shown on revised plans stamped and signed by City Engineer prior to the installation of the improvements.
13. All construction staking for curb, gutter, sidewalk, sanitary sewers, storm drains, water lines, fire hydrants, electroliers, etc., shall be done by a registered Civil Engineer or licensed Land Surveyor.

XII-1

ATTACHMENT A - 2

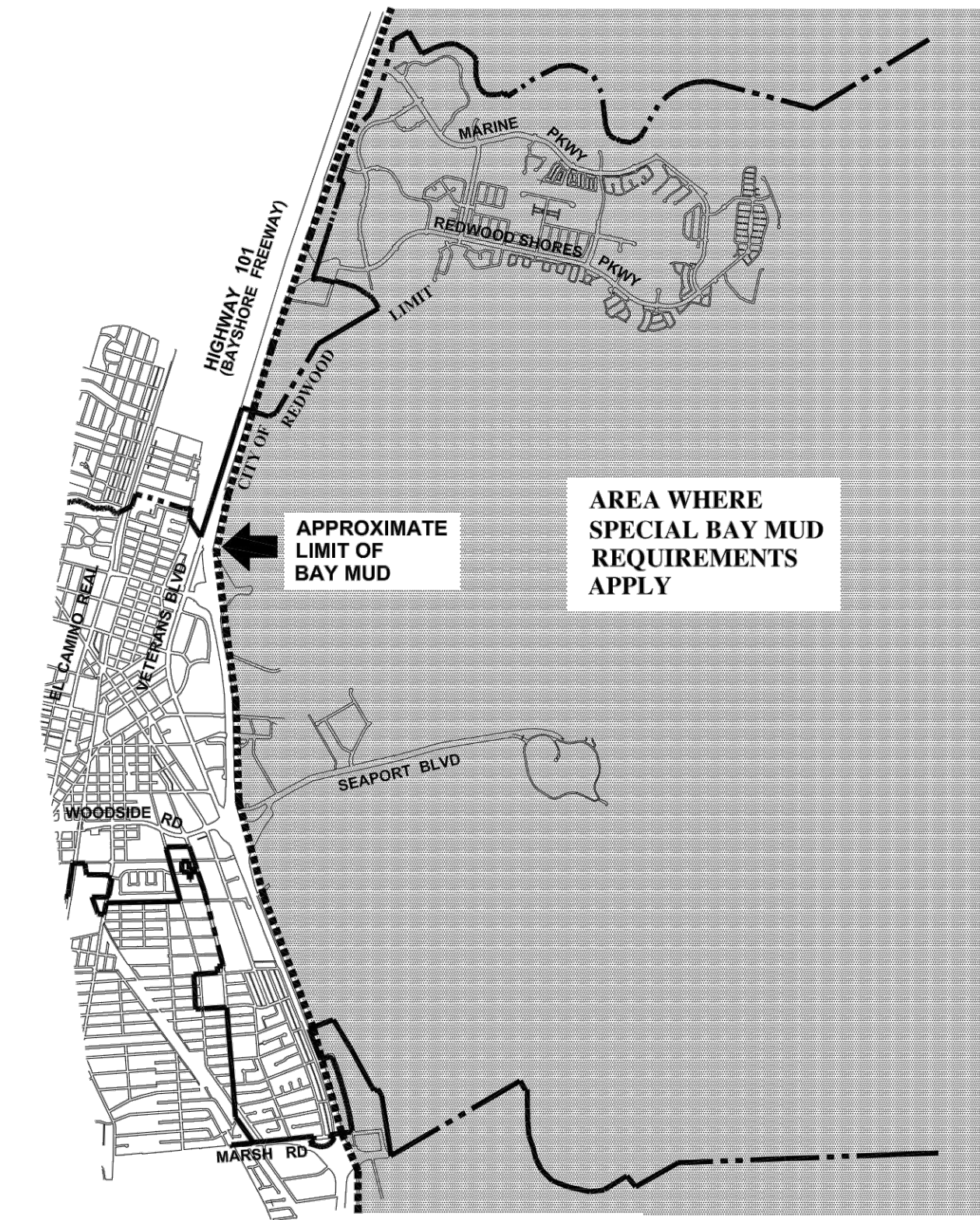
WATER NOTES

1. All labor and materials shall meet requirements of the City of Redwood City.
2. City of Redwood City Inspector must be notified at (650) 780-7380, at least two full working days prior to excavating or connecting to existing water system. Only the City shall operate existing system valves.
3. Standard Thrust block shall be provided at all bends greater than 10 degrees and at all crosses, tees, wyes, caps, plugs, valves and hydrants. See Standard Detail W7, W7A and W8.
4. Provide 36 inch minimum cover from roadway surface over mains; maintain a one foot minimum vertical clearance from new water main to other crossing utilities, and a five foot minimum horizontal clearance from other utility mains. Water mains shall be installed above, and a ten foot minimum distance away from, sanitary sewers.
5. Contractor shall use hand tools when excavating near all water, sewer, storm, gas, electric, communication and cable lines.
6. All tapped connections (domestic and fire) shall be "wet-tapped". Wet taps will be performed by the City of Redwood City at the contractor's expense. Contractor shall furnish and install Smith Blair 663-316SS, all 316 stainless steel tapping sleeve, Mueller Flange X Mechanical Joint tapping valve, or approved equal; per City Standards, and do all excavating, installing thrust blocks and backfilling.
7. Compaction, testing and inspection costs shall be paid for by the Contractor.
8. Pressure, chlorination and leakage tests shall be performed by contractor. Sampling points will be selected by the City. Bacteriological tests shall be performed by an approved commercial testing laboratory. Bacteriological and disinfection tests shall be paid for by the owner, developer, or contractor.
9. Contractor shall contact Engineering and Transportation at (650) 780-7364 for an estimated cost of water meter and wet tap.
10. Meters are installed by the City of Redwood City upon payment of meter charge by owner/developer.

XII-2

ATTACHMENT B

AREA WHERE SPECIAL BAY MUD REQUIREMENTS APPLY



XII-4



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SUITE 600
SAN FRANCISCO, CA 94111
(415) 930-7900
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1580 MAPLE STREET PSH
REDWOOD CITY, CA

Sheet Title:
**REDWOOD CITY
STANDARD
NOTES**

Job No. 22016
Date: 09/15/2023
Scale: AS SHOWN
Drawn By: DD/HBI

Sheet No:

C1.02

LEGEND

	PROPOSED	EXISTING
SITE BOUNDARY		
COUNTY BOUNDARY		
LOT LINE		
CONTOUR LINE		
FENCE		
STORM DRAIN		
SANITARY SEWER		
WATER MAIN		
RECYCLED WATER MAIN		
FIRE WATER MAIN		
GAS LINE		
JOINT TRENCH		
FIBER OPTIC		
SANITARY SEWER CLEAN OUT		
SANITARY SEWER MANHOLE		
STORM DRAIN CURB INLET		
STORM DRAIN MANHOLE		
DETECTOR CHECK & METER		
COMPOUND METER		
FIRE DEPARTMENT CONNECTION		
FIRE HYDRANT		
WATER VALVE		
MONUMENT		
TRANSFORMER		
BIKE RACK		
STREET LIGHT		
INLET PROTECTION		
POLE LIGHT		
STORM DRAIN CLEAN OUT		
STORM DRAIN AREA DRAIN		
STORM DRAIN CATCH BASIN		
OVERHEAD WIRES		
STREET SIGN		
SPOT ELEVATION		
FRESH AIR INLET		
WATER METER		
BACK FLOW PREVENTER		
JOINT POLE		
TREE		

SYMBOL LEGEND

SYMBOL	DESCRIPTION
	SECTION A ON SHEET C1.01
	DETAIL A ON SHEET C1.01

ABBREVIATIONS

Δ	DELTA	OD	OUTSIDE DIAMETER
AB	AGGREGATE BASE	OH	OVERHEAD
AC	ASPHALT CONCRETE	OR, O.R.	OFFICIAL RECORD
ACP	ASBESTOS CEMENT PIPE	PCC	PORTLAND CEMENT CONCRETE
AD	AREA DRAIN	PRC	POINT OF REVERSE CURVATURE
ADJ	ADJACENT	PCL	PARCEL
APP	APPENDIX	PERF	PERFORATED
APN	ACCESS POINT NAME	PG&E	PACIFIC GAS & ELECTRIC
AWSS	AUXILIARY WATER SUPPLY SYSTEM	PKG	PARKING
B/W, BW	BACK OF WALK	PL	PROPERTY LINE
BC	BEGINNING OF CURVE	POC	POINT OF CONNECTION
BCR	BEGINNING CURB RETURN	PR	PROPOSED
BFP	BACKFLOW PREVENTER	PRC	POINT OF COMPOUND CURVE
BLD, BLDG	BUILDING	PUE	PUBLIC UTILITY EASEMENT
BOV	BLOW OFF VALVE	PVC	POLYVINYL CHLORIDE
BTM	BOTTOM	PVI	POINT OF VERTICAL INFLECTION
BRC	BOTTOM OF RETAINING CURB	RCP	RADIUS, RIGHT OF ALIGNMENT LINE
BVCE	BEGIN VERTICAL CURVE ELEVATION	RCP	REINFORCED CONCRETE PIPE
BVCS	BEGIN VERTICAL CURVE STATION	RIM	RIM ELEVATION
BSW	BACK OF SIDEWALK	RC	RELATIVE COMPACTION
C&G	CURB AND GUTTER	RFL	ROOF LEADER
CB	CATCH BASIN	RW,ROW	RIGHT OF WAY
CCP	CONCRETE CYLINDER PIPE	RWC	REDWOOD CITY
CL, C	CENTER LINE	S	SLOPE, SOUTH
CLR	CLEARANCE	SAN.	SANITARY
CO	CLEANOUT	SD	STORM DRAIN
CONC	CONCRETE	SDCB	STORM DRAIN CATCH BASIN
COR	CORNER	SF	SQUARE FEET
CS	COMBINED SEWER	SFDPW	SF DEPARTMENT OF PUBLIC WORKS
CSMH	COMBINED SEWER MANHOLE	SFPUC	SF PUBLIC UTILITIES COMMISSION
CATV, CTV	CABLE TELEVISION	S.E.P.	SEE ELECTRICAL PLANS
DSDA	DOUBLE CHECK DETECTOR ASSEMBLY	S/W	SIDEWALK
DI	DROP INLET	S.A.D.	SEE ARCHITECTURAL DRAWINGS
DIA	DIAMETER	SD	STORM DRAIN
DMA	DRAINAGE MANAGEMENT AREA	SDAD	STORM DRAIN AREA DRAIN
DOC, DU	DOCUMENT	SDCO	STORM DRAIN CLEANOUT
DW	DOMESTIC WATER	SDDI	STORM DRAIN DROP INLET
DWG	DRAWING	SDMH	STORM DRAIN MANHOLE
DWY	DRIVEWAY	S.F.P.P.	SEE FIRE PROTECTION PLAN
E	EAST	SMGP	SOIL & GROUNDWATER MONITORING PLAN
E, ELEC	ELECTRIC	S.J.T.P.	SEE JOINT TRENCH PLANS
EASE, ESMT	EASEMENT	SL	STREET LIGHT
EB	ELECTRIC BOX	SLB	STREET LIGHT BOX
EC	END OF CURVE	S.L.P.	SEE LANDSCAPE PLANS
ECC	EXTRUDED CONCRETE CURB	S.P.P.	SEE PLUMBING PLANS
ECR	END CURB RETURN	SS	SANITARY SEWER
EG	EXISTING GROUND	SSCO	SANITARY SEWER CLEANOUT
EL, ELEV	ELEVATION	SSMH	SANITARY SEWER MANHOLE
EM	ELECTRIC METER	ST	STREET
EP	EDGE OF PAVEMENT	STA	STATION
EVCE	END VERTICAL CURVE ELEVATION	STD	STANDARD
EVCS	END VERTICAL CURVE STATION	T&G	TONGUE AND GROOVE
EX, EXIST	EXISTING	T, TEL, TELE	TELEPHONE
FC	FACE OF CURB	TBD	TO BE DETERMINED
FDC	FIRE DEPARTMENT CONNECTION	TC	TOP OF CURB
FF	FINISHED FLOOR	TP	TOP OF PAVEMENT
FG	FINISHED GRADE	TRANS	TRANSFORMER
FH	FIRE HYDRANT	TRC	TOP OF RETAINING CURB
FL	FLOWLINE	TTC	THEORETICAL TOP OF CURB
FNC	FENCE	TWELL	TREE WELL
FO	FIBER OPTIC CABLE	TYP	TYPICAL
FS	FIRE SERVICE	VC	VERTICAL CURVE
FT	FEET	V, VERT	VERTICAL
FW	FIRE WATER	VG	VALLEY CUTTER
G	GAS	UB	UTILITY BOX
GB	GRADE BREAK	U.C.D.	UNDERGROUND COMMERCIAL DISTRIBUTION
GM	GAS METER	USA	UNDERGROUND SERVICE ALERT
GND	GROUND	W	WATER, WEST
GPM	GALLONS PER MINUET	WM	WATER METER
GR	GRATE, GRATE ELEVATION	WV	WATER VALVE
GV	GATE VALVE	W/	WITH
HASP	HEALTH & SAFETY PLAN		
HCAP	HANDICAPPED		
HC, HCR	HANDICAP RAMP		
HDPE	HIGH DENSITY POLYETHYLENE		
HP	HIGH POINT		
H, HORZ	HORIZONTAL		
ID	INNER DIAMETER		
INV	INV		
IRR	IRRIGATION		
JP	JOINT POLE		
JT	JOINT TRENCH		
L	LENGTH		
L/C, LS	LANDSCAPE		
LF	LINEAR FEET		
LG	LIP OF GUTTER		
LID	LOW IMPACT DEVELOPMENT		
LOW	LIMIT OF WORK		
LT	LIGHT		
LSCP	LANDSCAPE		
LT	LIGHT		
MAX	MAXIMUM		
MIN	MINIMUM		
MH	MANHOLE		
MPWD	MID-PENINSULA WATER DISTRICT		
N	NORTH		
NTS	NOT TO SCALE		
NO.	NUMBER		
OC	OFF CENTER		



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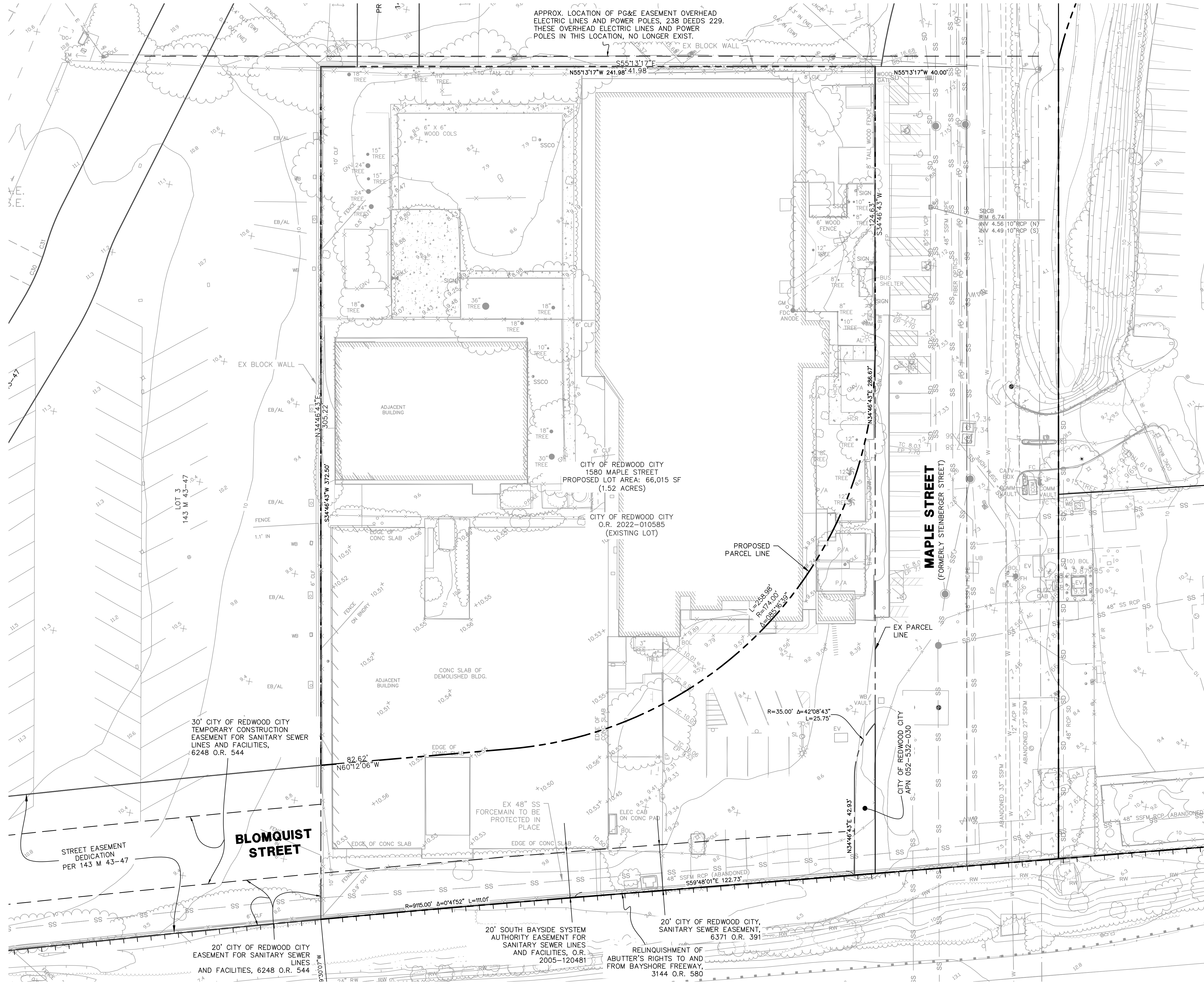


1580 MAPLE STREET PSH
REDWOOD CITY, CA

Sheet Title:
LEGEND & ABBRIVIATIONS

Job No. 22016
Date: 09/15/2023
Scale: AS SHOWN
Drawn By: DD/HBI

Sheet No:
C1.03



APPROX. LOCATION OF PG&E EASEMENT OVERHEAD ELECTRIC LINES AND POWER POLES, 238 DEEDS 229. THESE OVERHEAD ELECTRIC LINES AND POWER POLES IN THIS LOCATION, NO LONGER EXIST.

CITY OF REDWOOD CITY
1580 MAPLE STREET
PROPOSED LOT AREA: 66,015 SF
(1.52 ACRES)

CITY OF REDWOOD CITY
O.R. 2022-010585
(EXISTING LOT)

30' CITY OF REDWOOD CITY
TEMPORARY CONSTRUCTION
EASEMENT FOR SANITARY SEWER
LINES AND FACILITIES,
6248 O.R. 544

**BLOMQUIST
STREET**

20' CITY OF REDWOOD CITY
EASEMENT FOR SANITARY SEWER
LINES
AND FACILITIES, 6248 O.R. 544

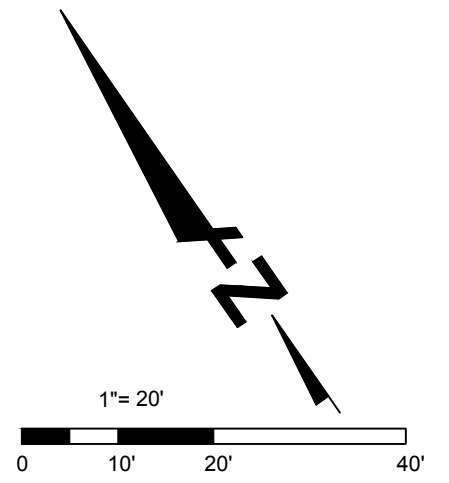
20' SOUTH BAYSIDE SYSTEM
AUTHORITY EASEMENT FOR
SANITARY SEWER LINES
AND FACILITIES, O.R.
2005-120481

RELINQUISHMENT OF
ABUTTER'S RIGHTS TO AND
FROM BAYSHORE FREEWAY,
3144 O.R. 580

20' CITY OF REDWOOD CITY,
SANITARY SEWER EASEMENT,
6371 O.R. 391

CITY OF REDWOOD CITY
S. APN 052-532-030

NOTES:
1. DEMOLITION OF EXISTING BUILDINGS AND HARDSCAPE PER SEPARATE PERMIT.



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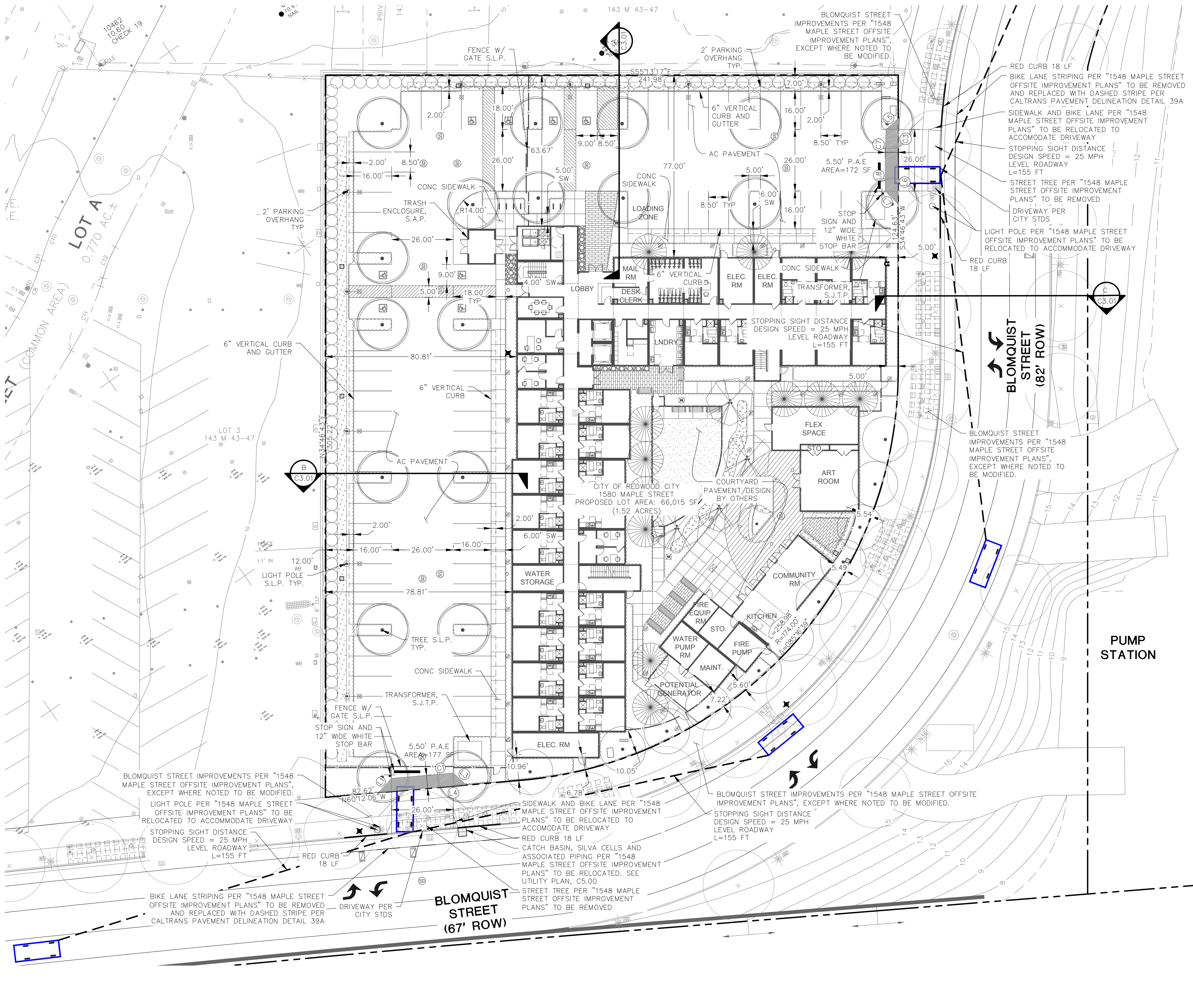


1580 MAPLE STREET PSH
REDWOOD CITY, CA

Sheet Title:
**EXISTING
CONDITIONS
PLAN**

Job No. 22016
Date: 09/15/2023
Scale: AS SHOWN
Drawn By: DD/HBI

Sheet No:
C2.00



NOTES

1. TOTAL NUMBER OF PARKING STALLS = 77
2. TOTAL NUMBER OF LOADING ZONES = 2

LEGEND

- PAE
- STOPPING SIGHT DISTANCE

LINE TABLE		
LINE NO.	LENGTH	DIRECTION
L1	8.24	N77°07'48"E
L3	7.55	S12°32'59"E
L4	37.25	N60°12'06"W
L5	7.80	N83°08'44"E
L6	18.60	S34°46'43"W
L7	7.79	N10°09'33"W
L8	13.09	N34°46'43"E

CURVE TABLE			
CURVE NO.	LENGTH	RADIUS	DELTA
C1	26.10	9187.50	000°09'46"
C3	18.11	248.00	004°11'04"
C7	12.92	253.53	002°55'10"



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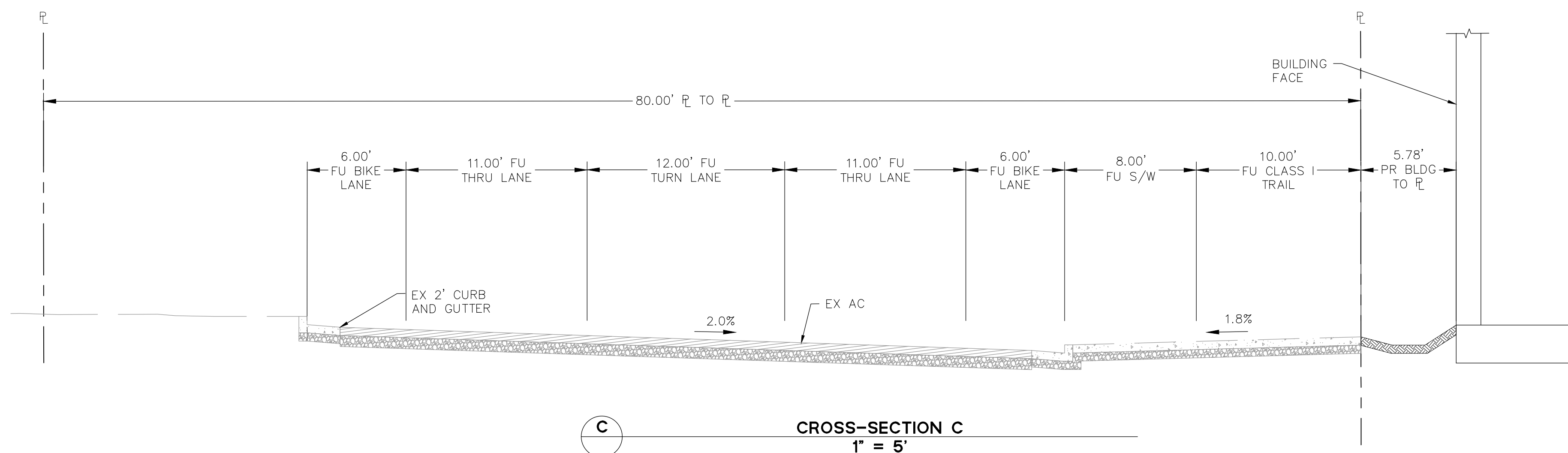
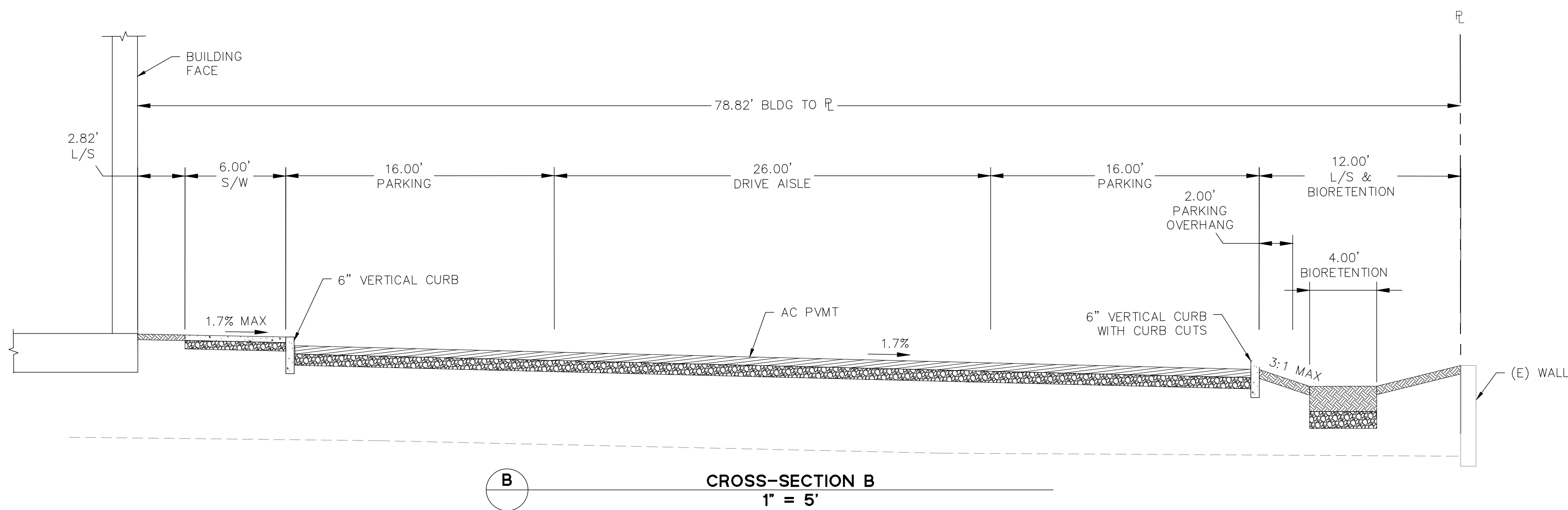
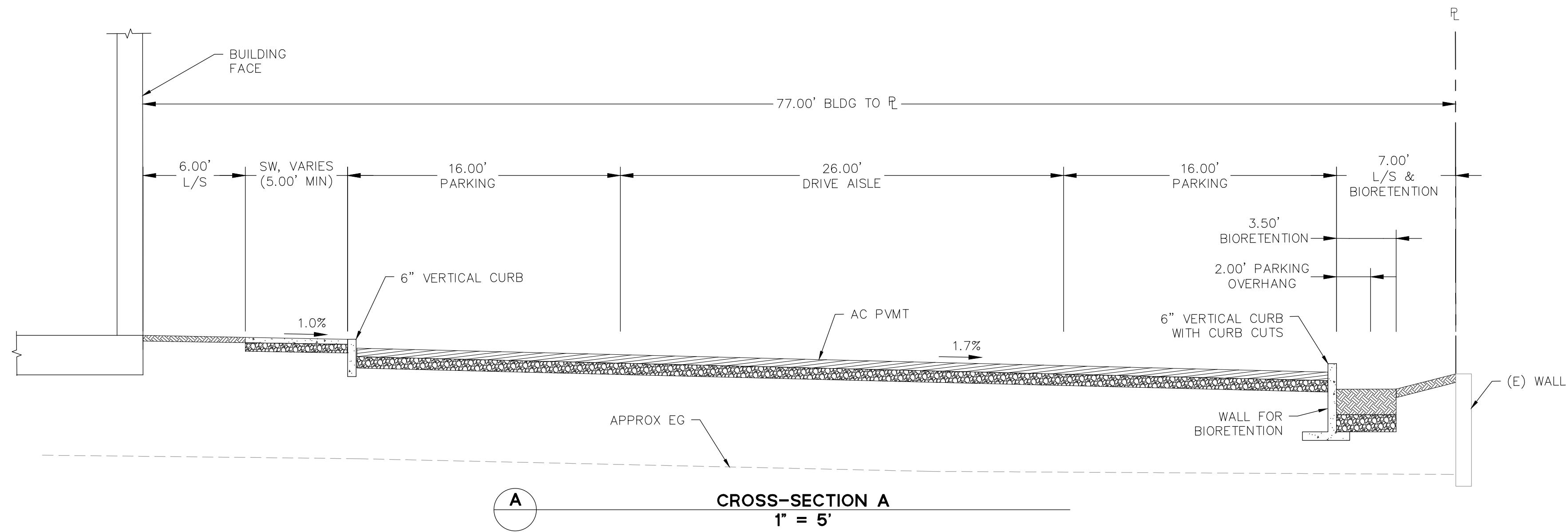
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REDWOOD CITY, CA

Sheet Title:
SITE PLAN

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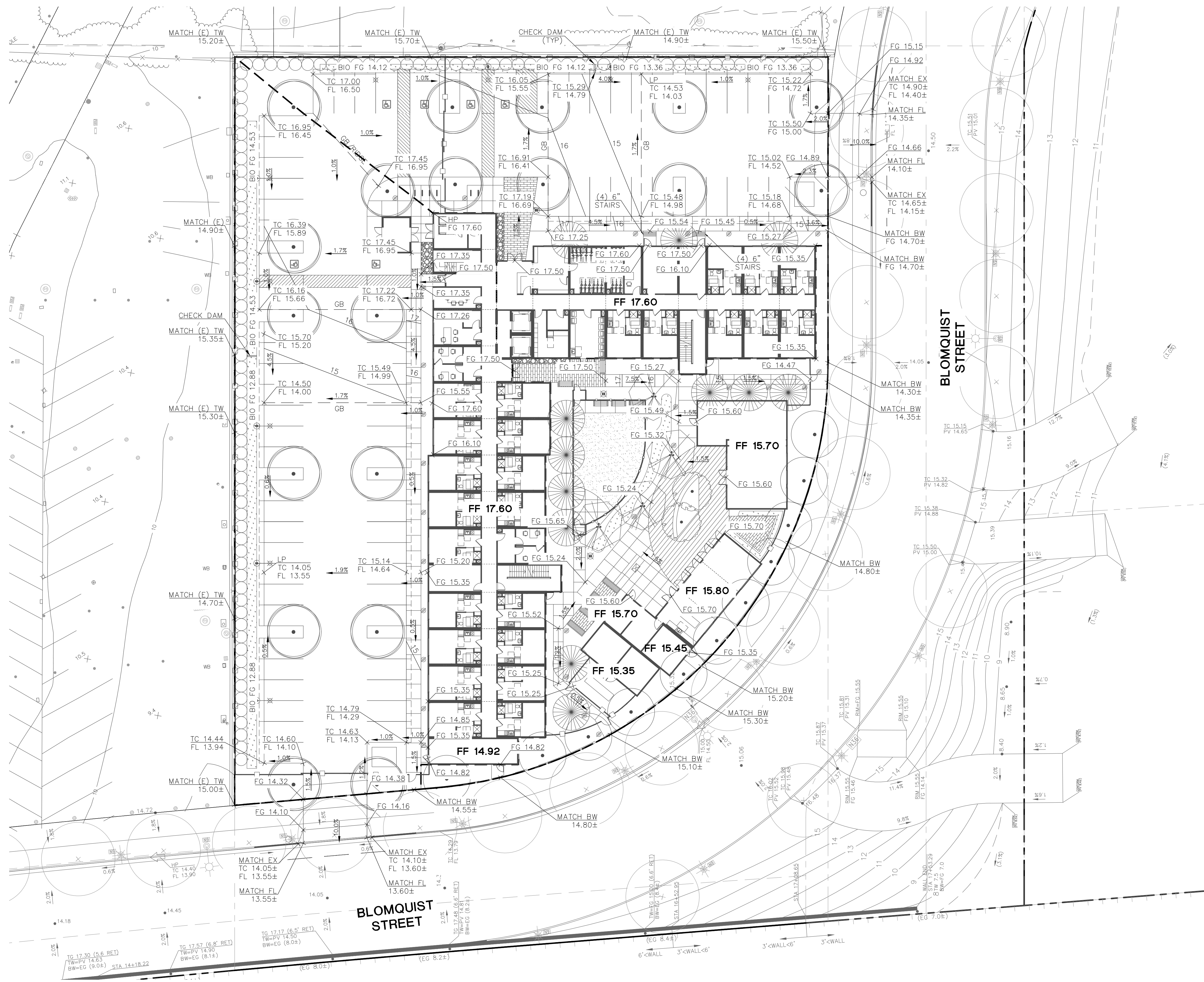


1580 MAPLE STREET PSH
REDWOOD CITY, CA

Sheet Title:
CROSS SECTIONS

Job No. 22016
Date: 09/15/2023
Scale: AS SHOWN
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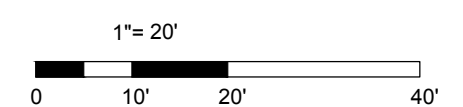
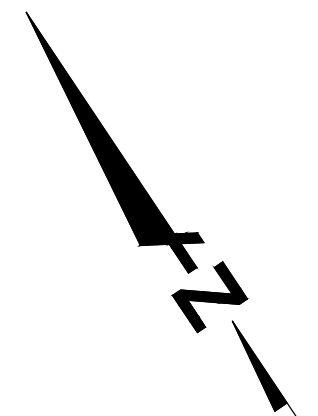


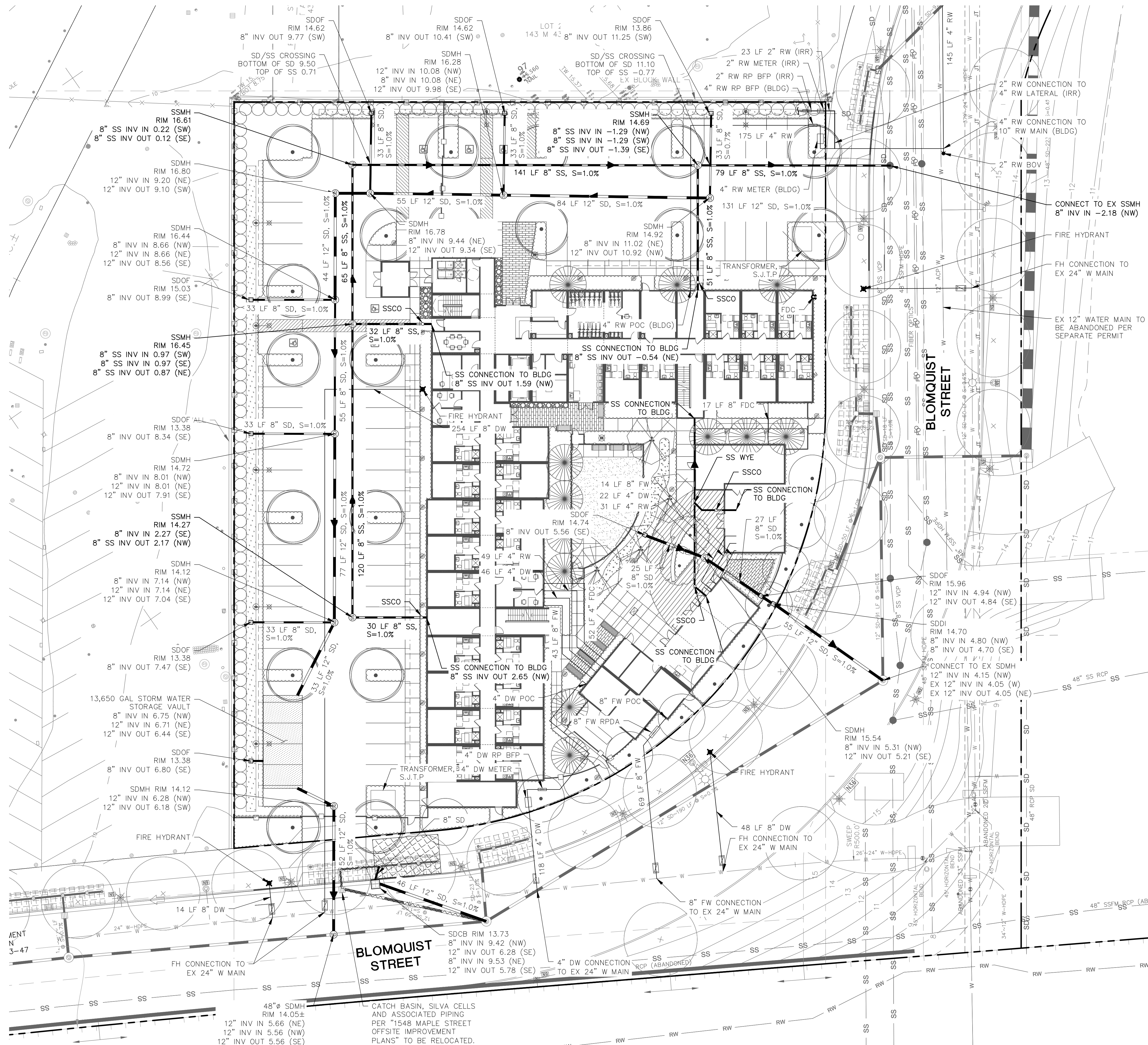
1580 MAPLE STREET PSH
REDWOOD CITY, CA

Sheet Title:
GRADING PLAN

Job No. 22016
Date: 09/15/2023
Scale: AS SHOWN
Drawn By: DD/HBI

Sheet No:
C4.00





UTILITY NOTES

- ALL UTILITY TRENCHING AND BACKFILLING MUST CONFORM TO THE PROJECT GEOTECHNICAL REPORT.
- CONTRACTOR SHALL MAINTAIN 12" VERTICAL CLEARANCE ABOVE OR BELOW EXISTING AND NEW UTILITIES CROSSING.
- HORIZONTAL CLEARANCE DIMENSION ARE TAKEN FROM OUTER EDGE OF PIPE TO OUTER EDGE OF PIPE.
- PROVIDE 5' MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER AND STORM DRAIN AND 10' MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER AND SANITARY SEWER.
- IF THERE IS LESS THAN 3' OF COVER ABOVE A WATER SERVICE, A CONCRETE CAP SHALL BE INSTALLED. THE CONCRETE CAP SHALL BE 8" THICK WITH REINFORCING STEEL BARS, #4, AT 12" EACH WAY. THE CAP SHALL EXTEND 1' BEYOND THE SIDES OF THE TRENCH.
- NEW POTABLE WATER MAINS AND SUPPLY LINES MUST BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM, AND ONE FOOT VERTICALLY ABOVE, ANY PARALLEL PIPELINE CONVEYING DISINFECTED TERTIARY RECYCLED WATER. ALL SEPARATIONS MUST BE MEASURED FROM THE OUTSIDE EDGE OF THE RESPECTIVE PIPES.
- IF CROSSING A PIPELINE CONVEYING RECYCLED WATER, THE POTABLE WATER MAIN MUST BE CONSTRUCTED NO LESS THAN 45-DEGREES TO AND AT LEAST ONE FOOT ABOVE THE RECYCLED WATER PIPELINE. NO CONNECTION JOINTS CAN BE MADE IN THE POTABLE WATER MAIN WITHIN EIGHT HORIZONTAL FEET OF A RECYCLED WATER PIPELINE.
- THE ONE-FOOT VERTICAL SEPARATION IS ONLY REQUIRED WHEN THE HORIZONTAL DISTANCE BETWEEN THE POTABLE AND RECYCLED WATER LINES IS LESS THAN TEN FEET.
- PROPOSED PIPE MATERIAL:
 - STORM DRAIN 10" OR SMALLER: PVC SDR-26, UNLESS OTHERWISE NOTED.
 - STORM DRAIN 12" OR LARGER: CLASS III RCP, UNLESS OTHERWISE NOTED. USE CLASS V CONCRETE WHERE LESS THAN 3' OF COVER.
 - SANITARY SEWER: PVC SDR-26.
 - WATER AND RECYCLED WATER SERVICE 2" OR SMALLER: PE 4710 TUBING.
 - WATER AND RECYCLED WATER SERVICE 4" OR LARGER: C900 PVC CLASS 305 (DR14).
- ALL BURIED POTABLE LINES DOWNSTREAM OF METER MUST BE IDENTIFIED BY CONTINUOUS LETTERING ON 3-INCH MINIMUM WIDTH BLUE TAPE WITH 1-INCH WHITE LETTERING BEARING THE WORDING "POTABLE WATER" PERMANENTLY AFFIXED CONTINUOUSLY ATOP ALL HORIZONTAL PIPING, LATERALS AND MAINS.
 - IDENTIFICATION TAPE MUST EXTEND TO ALL VALVE BOXES, VAULTS AND EXPOSED PIPING.
 - IDENTIFICATION TAPE IS NOT NECESSARY FOR EXTRUDED BLUE-COLORED PVC WITH CONTINUOUS WORDING "POTABLE WATER" PRINTED IN CONTRASTING LETTERING ON OPPOSITE SIDES OF THE PIPE.
- ALL BURIED RECYCLED WATER PIPING DOWNSTREAM OF METER MUST BE PURPLE COLORED AND CONTINUOUSLY MARKED WITH THE WORDING "RECYCLED WATER - DO NOT DRINK" ON OPPOSITE SIDES OF THE PIPE.
 - PURPLE TAPE THAT IS AT LEAST 3-INCHES IN WIDTH AND RUNS CONTINUOUSLY ALONG THE LENGTH OF THE PIPE CONTAINING THE WORDS "RECYCLED WATER - DO NOT DRINK" IS AN ACCEPTABLE ALTERNATIVE TO PRINTED PIPE.
 - THE LETTERS MUST BE AT LEAST 1-INCH IN HEIGHT AND EITHER BLACK OR WHITE CONTRASTING LETTERING.
 - THE PURPLE TAPE MUST BE PERMANENTLY SECURED TO THE TOP OF ALL PIPES, MAINS AND LATERALS.
- ALL FIRE HYDRANTS SHALL BE A MINIMUM OF 4' CLEAR OF ALL VINES, BUSHES, TREES, IVY, ETC.
- THE FIRE AND DOMESTIC WATER SYSTEMS SHALL BE PRIVATELY OWNED AND MAINTAINED BEYOND THE PUBLIC WATER METERS.
- APPROVED TRASH CAPTURE DEVICES ARE TO BE INSTALLED IN ALL PROPOSED CATCH BASINS.
- PLACE A FLEXIBLE CUSHION AROUND PIPE AT POC TO PROTECT THE PIPES FROM POTENTIAL DIFFERENTIAL SETTLEMENT PER THE GEOTECHNICAL REPORT. THE FLEXIBLE CUSHION MAY CONSIST OF COMPRESSIBLE WRAP OR FOAM.
- FEBCO LF860 OR APPROVED EQUAL REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER FOR 4" DOMESTIC WATER SERVICE WILL BE LOCATED AS SHOWN IN UTILITY PLANS.
- WILKINS 375 ADA OR APPROVED EQUAL REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER WITH WILKINS 975 XLD 3/4" BYPASS WITH 3/8" METER FOR FIRE WATER SERVICE WILL BE LOCATED AS SHOWN IN UTILITY PLANS.
- THE SERVICE PROTECTION RP BACKFLOW DEVICE FOR THE RECYCLED WATER IRRIGATION SERVICE SHALL BE A MODEL THAT CONSISTS OF A BRONZE OR NYLON VALVE BODY, AND IS LISTED IN THE CURRENT USC APPROVED BACKFLOW LIST.
- THE SERVICE PROTECTION RP BACKFLOW DEVICE FOR THE RECYCLED WATER DUAL-PLUMBED SERVICE SHALL BE A MODEL THAT CONSISTS OF A NON-STAINLESS STEEL VALVE BODY THAT IS INTERNALLY EPOXY-COATED, AND IS LISTED IN THE CURRENT USC APPROVED BACKFLOW LIST.
- ALL SOLID UTILITY STRUCTURE COVERS WITHIN THE VEHICULAR RIGHT-OF-WAY SHALL BE RATED FOR EMERGENCY VEHICLE LOADING.
- BURIED PIPE SEPARATION REQUIREMENTS FOR ON-SITE FACILITIES INCLUDES ALL APPURTENANCES AND PIPING DOWNSTREAM OF A CITY WATER METER:
 - HORIZONTAL PIPE SEPARATION: A HORIZONTAL SEPARATION MAINTAINED AT 10 FEET BETWEEN BURIED RECYCLED AND POTABLE WATER LINES IS PREFERRED. WHERE THIS SEPARATION IS NOT FEASIBLE, EITHER THE POTABLE PIPE OR THE RECYCLED WATER PIPE MUST BE SLEEVED. A HORIZONTAL SEPARATION OF LESS THAN FOUR FEET IS NOT PERMITTED.
 - VERTICAL PIPE SEPARATION: RECYCLED WATER PIPES MUST BE AT LEAST ONE FOOT BELOW POTABLE WATER PIPELINES. RECYCLED WATER LINES INSTALLED ABOVE A POTABLE WATER LINE MUST BE AT LEAST ONE FOOT ABOVE THE POTABLE WATER LINE, AND THE RECYCLED WATER LINE MUST BE SLEEVED A MINIMUM OF 10 FEET ON EITHER SIDE OF THE POTABLE WATER PIPE. RECYCLED WATER PIPES LESS THAN ONE FOOT BELOW OR LESS THAN ONE FOOT ABOVE A POTABLE WATER PIPELINE IS NOT PERMITTED.



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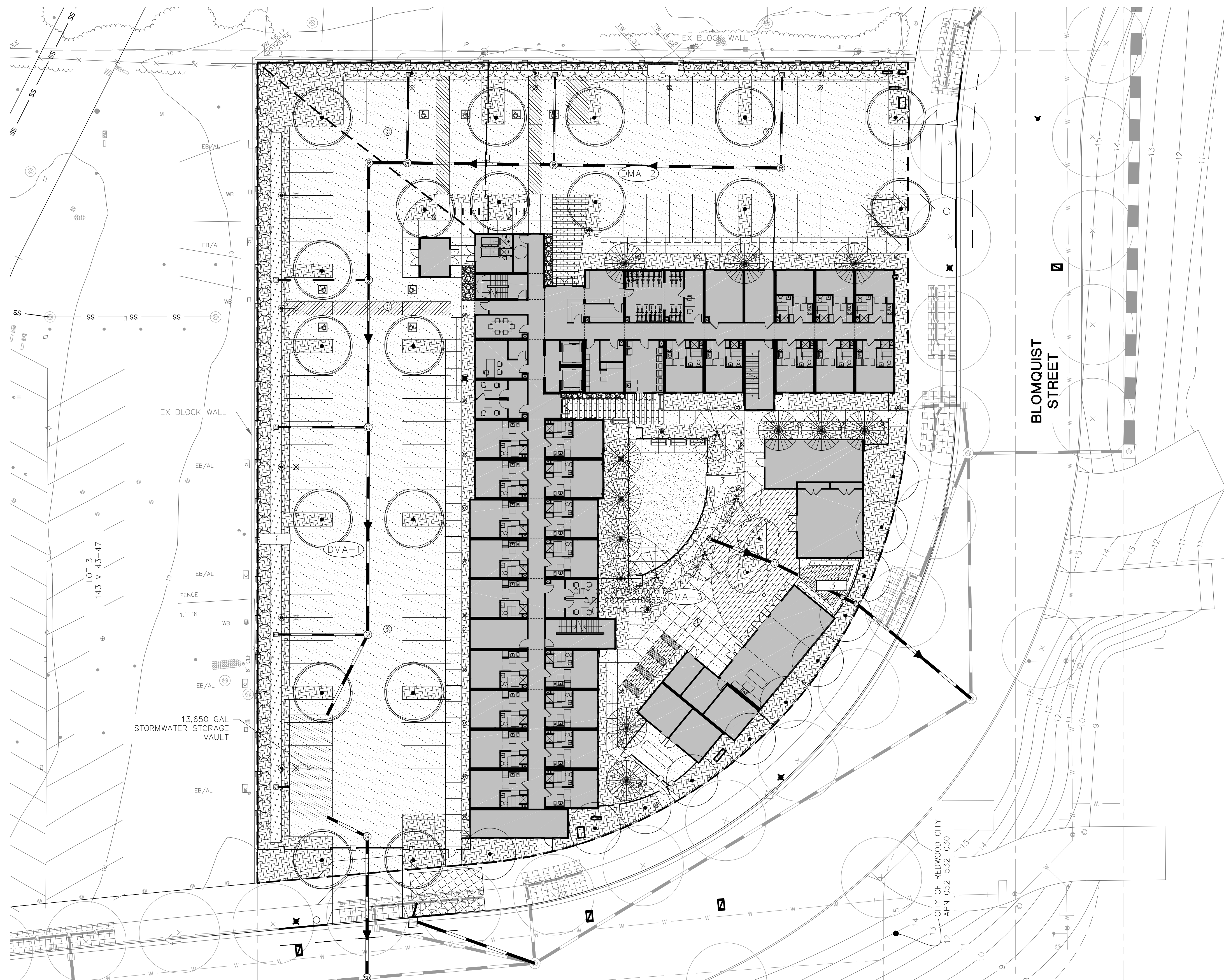
1580 MAPLE STREET PSH
REDWOOD CITY, CA

Sheet Title:
UTILITY PLAN

Job No. 22016
Date: 09/15/2023
Scale: AS SHOWN
Drawn By: DD/HBI

Sheet No:

C5.00



CONSTRUCTION STORMWATER BMP NOTES

1. PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
2. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
3. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
4. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
5. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
6. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
7. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
8. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
9. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
10. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
11. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
12. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
13. DUST CONTROL IS REQUIRED YEAR-ROUND.
14. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
15. ALL ON-SITE INLETS MARKED WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.

LEGEND

- LANDSCAPE
- DRAINAGE MANAGEMENT BOUNDARY
- ROOF
- FLOW-THROUGH PLANTER
- IMPERVIOUS AREA
- DRAINAGE MANAGEMENT AREA
- TREATMENT CONTROL MEASURE

ON-SITE DRAINAGE MANAGEMENT AREA TREATMENT CONTROL SIZING												
DRAINAGE MANAGEMENT AREA	TREATMENT CONTROL MEASURE	TREATMENT TYPE	ROOFS (SF)	PAVEMENT (SF)	LANDSCAPE (SF)	TOTAL AREA (SF)	TOTAL IMPERVIOUS AREA (SF)	TOTAL PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA* (SF)	TREATMENT AREA REQUIRED** (SF)	TREATMENT AREA PROVIDED (SF)	PONDING DEPTH (INCH)
1	1	Bioretention	9,292	15,666	5,780	30,738	24,958	5,780	25,536	1,021	1,055	6
2	2	Bioretention	5,970	11,113	2,640	19,723	17,083	2,640	17,347	694	700	6
3	3	Bioretention	2,744	5,897	5,875	14,516	8,641	5,875	9,229	369	402	6
TOTAL			18,006	32,676	14,295	64,977	50,682	14,295	52,112			

* EFFECTIVE IMPERVIOUS AREA IS EQUAL TO THE TOTAL IMPERVIOUS AREA PLUS 10% OF THE TOTAL PERVIOUS AREA PER THE SMCWPPP C.3 REGULATED PROJECTS GUIDE
 ** TREATMENT AREA REQUIRED IS CALCULATED USING THE SMCWPPP GUIDELINES, 4% OF TOTAL IMPERVIOUS AREA METHOD



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 SUITE 600
 SAN FRANCISCO, CA 94111
 (415) 930-7900
 www.bkf.com

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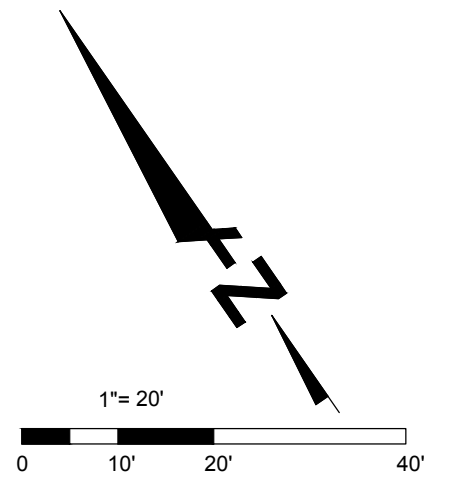
1580 MAPLE STREET PSH
 REDWOOD CITY, CA

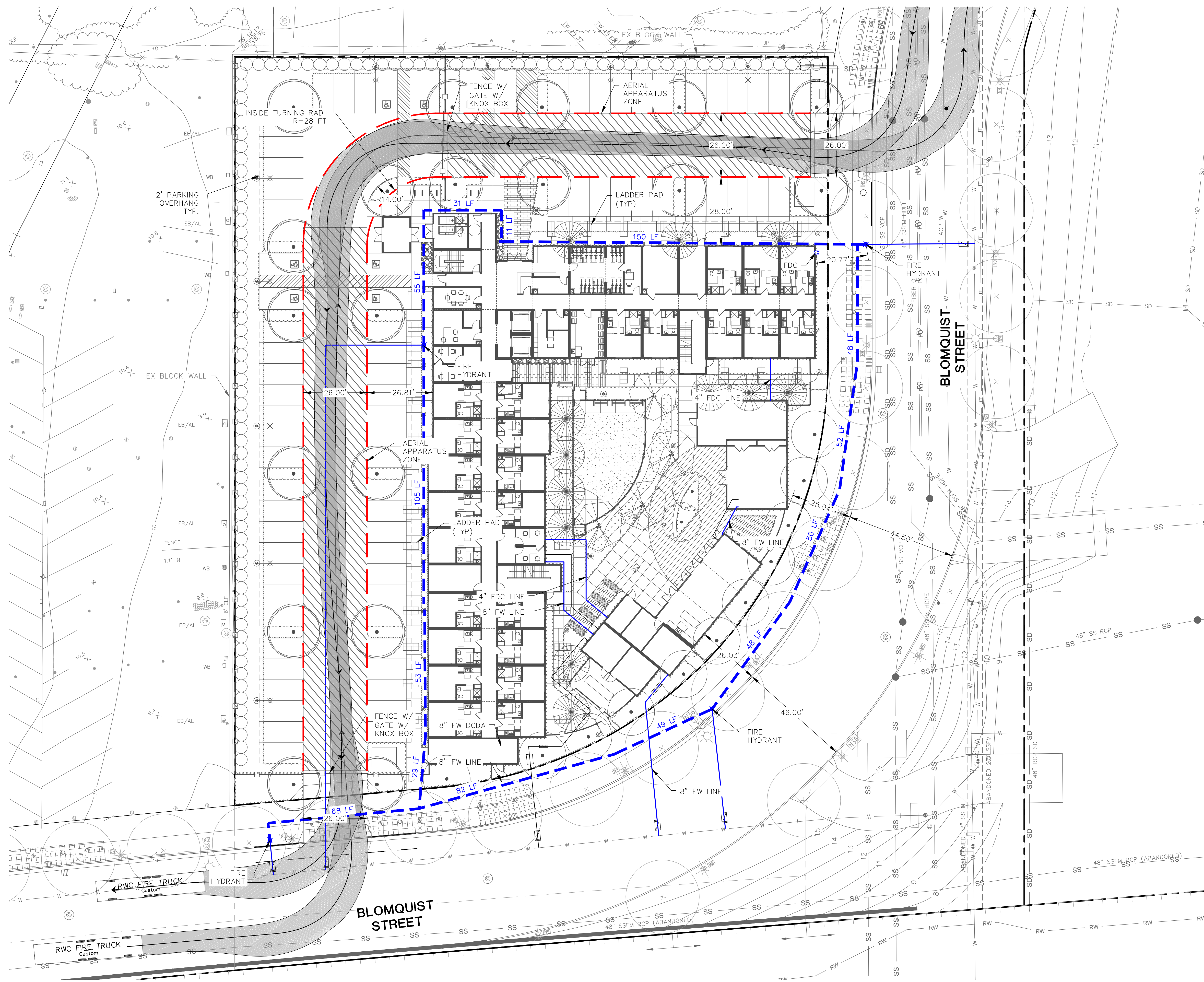
Sheet Title:
STORMWATER MANAGEMENT PLAN

Job No. 22016
 Date: 09/15/2023
 Scale: AS SHOWN
 Drawn By: DD/HBI

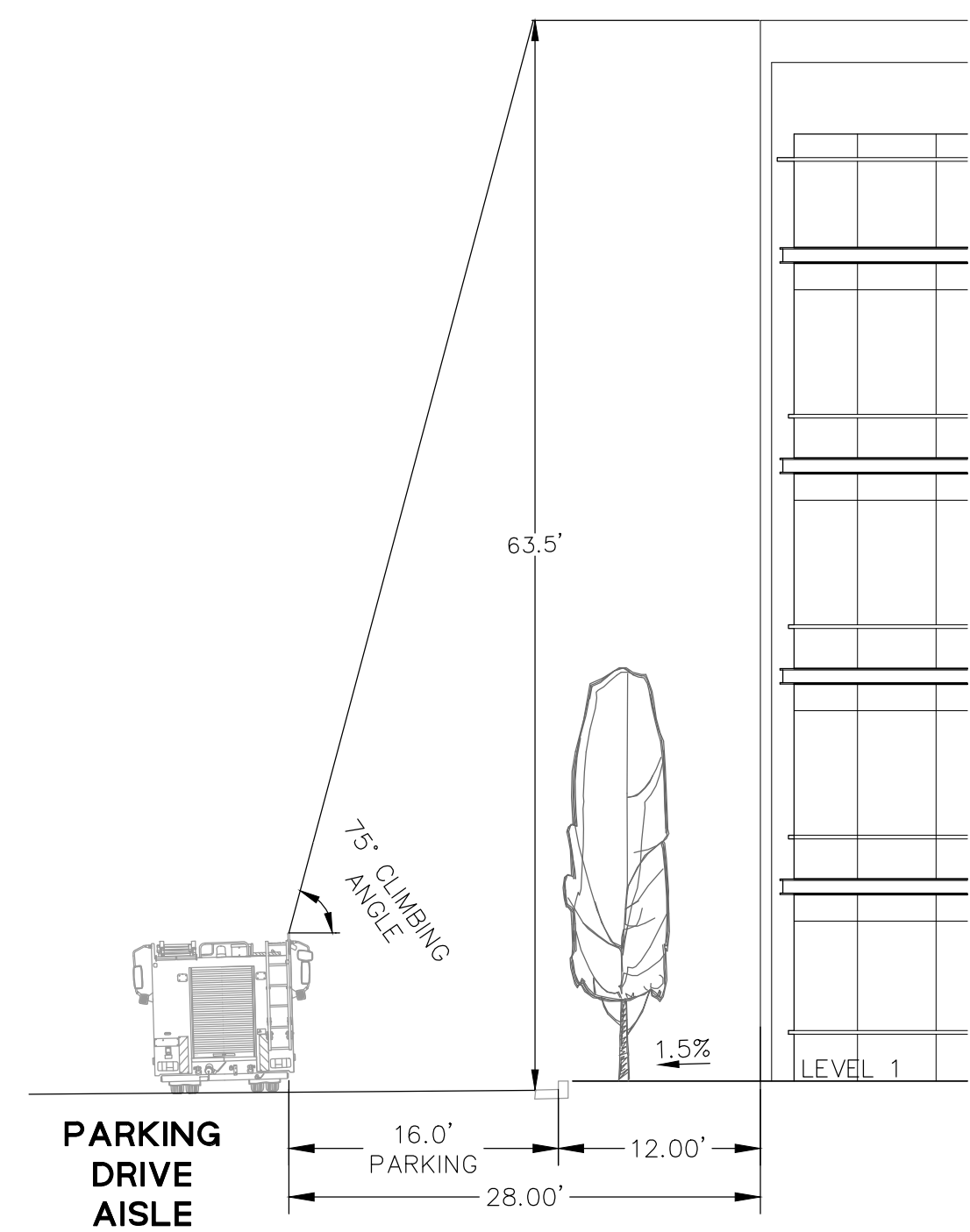
Sheet No:

C6.00





- LEGEND**
- AERIAL APPARATUS ZONE
 - FIRE HYDRANT HOSE PULL
 - FIRE ACCESS LANE



- NOTES:**
- FIRE FLOW REQUIREMENTS BASED UPON THE CALIFORNIA FIRE CODE (2022 EDITION) — SECTION 507, APP. B & C
1. BUILDING AREA CONSTRUCTION TYPE
 - 1.1. TYPE VA — RES BUILDING = 50,939 GSF
 - 1.2. TYPE VA — COMMUNITY BUILDING = 1,500 GSF
 2. PER TABLE B105.1(2) OF THE CALIFORNIA FIRE CODE, THE REQUIRED FIRE FLOW IS 4,000 GPM.
 - 2.1. BY CONSTRUCTION TYPE:
 - 2.1.1. TYPE VA — 52,439
 - 2.2. PERCENTAGE OF BUILDING:
 - 2.2.1. TYPE VA — 100%
 - 2.3. TOTAL FIRE FLOW: 4,000 GPM
 3. THE REQUIRED FIRE FLOW WITH A 50% REDUCTION IS 2,000 GPM.
 4. PER TABLE C102.1 OF THE CALIFORNIA FIRE CODE, THE NUMBER OF HYDRANTS REQUIRED BASED ON THE REDUCED FIRE FLOW IS 2.
 5. PER TABLE C102.1 AND OF THE CALIFORNIA FIRE CODE AND LOCAL ORDINANCE, THE AVERAGE SPACING BETWEEN FIRE HYDRANTS SHALL BE 675 FEET (INCLUDING SPACING INCREASE PER CFC TABLE C102.1 SECTION F).



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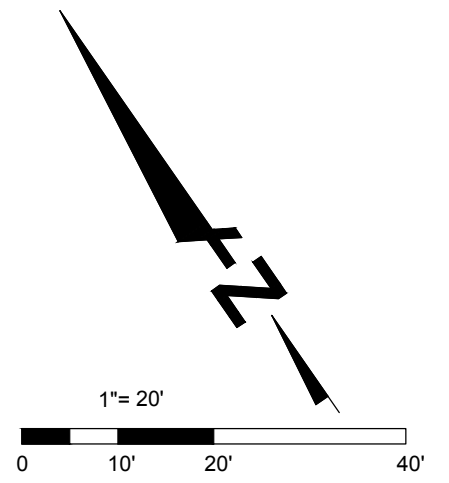


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FIRE ACCESS PLAN

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Sheet Title:
**SITE CONTEXT
PLAN**

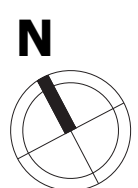
Job No. 22016
Date: 09/15/2023
Scale: AS NOTED
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Sheet No:

A1.0

SITE CONTEXT
SCALE: 1" = 50' - 0" @ 22" x 34"

1





* ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325 DOOR, DRAPERY, GATE, LOUVER AND WINDOW OPERATORS AND SYSTEMS WITH REVISIONS THROUGH MAY 2015. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED, AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F2200 STANDARD SPECIFICATION FOR AUTOMATED VEHICULAR GATE CONSTRUCTION (2014 EDITION). GATES SHALL BE EQUIPPED WITH A KNOX GATE AND KEY SWITCH, MOUNTED IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL.



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Sheet Title:
PROPOSED SITE PLAN

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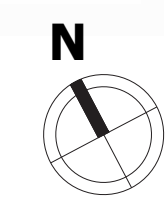
Sheet No:

A1.1

SITE PLAN

SCALE: 1/16" = 1' - 0" @ 22" x 34"

1





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Sheet Title:
BUILDING PLANS - LEVELS 1-2

Job No. 22016
Date: 09/15/2023
Scale: AS NOTED
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Sheet No:

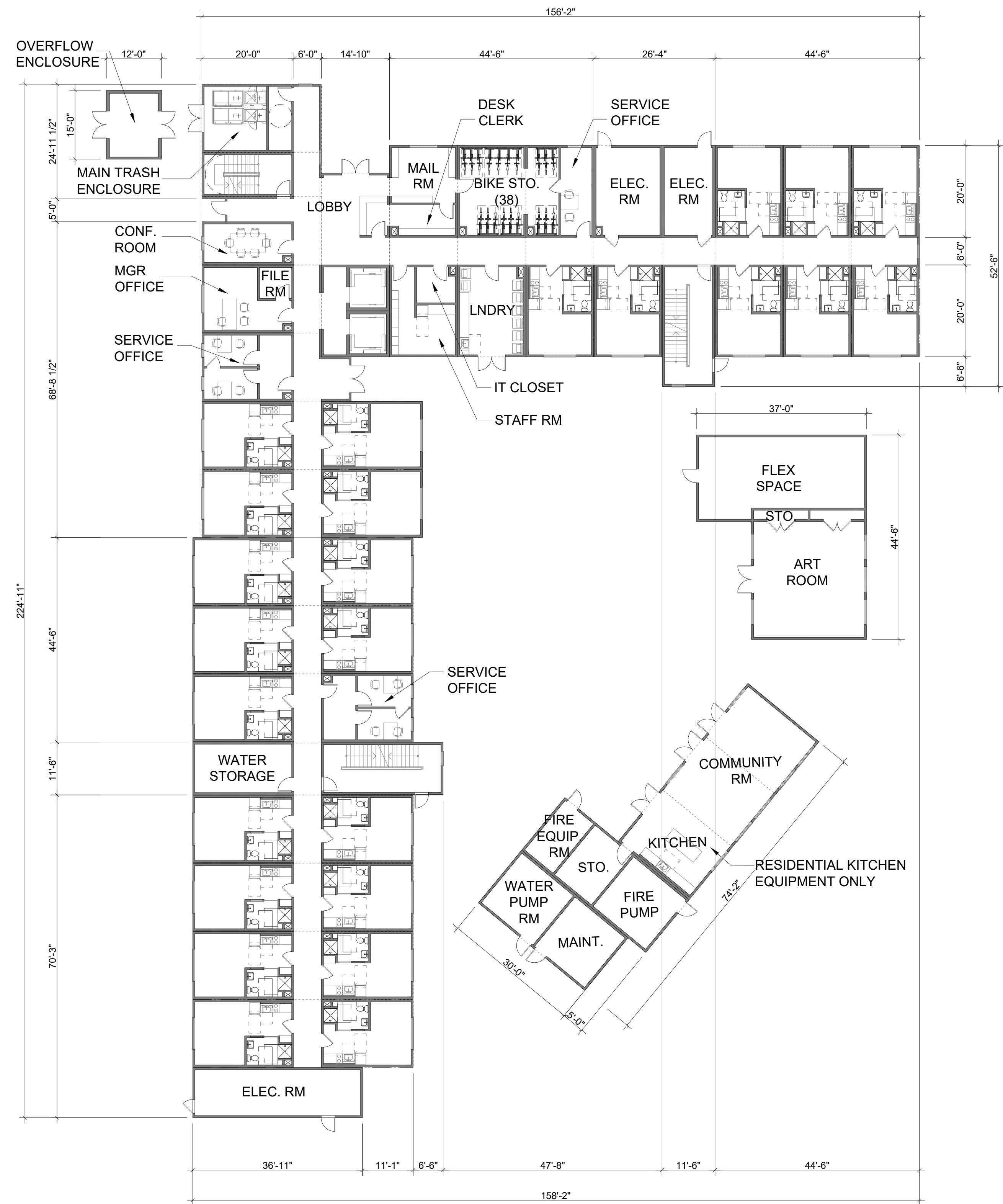
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LEVEL 2

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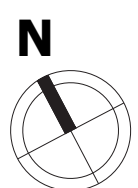
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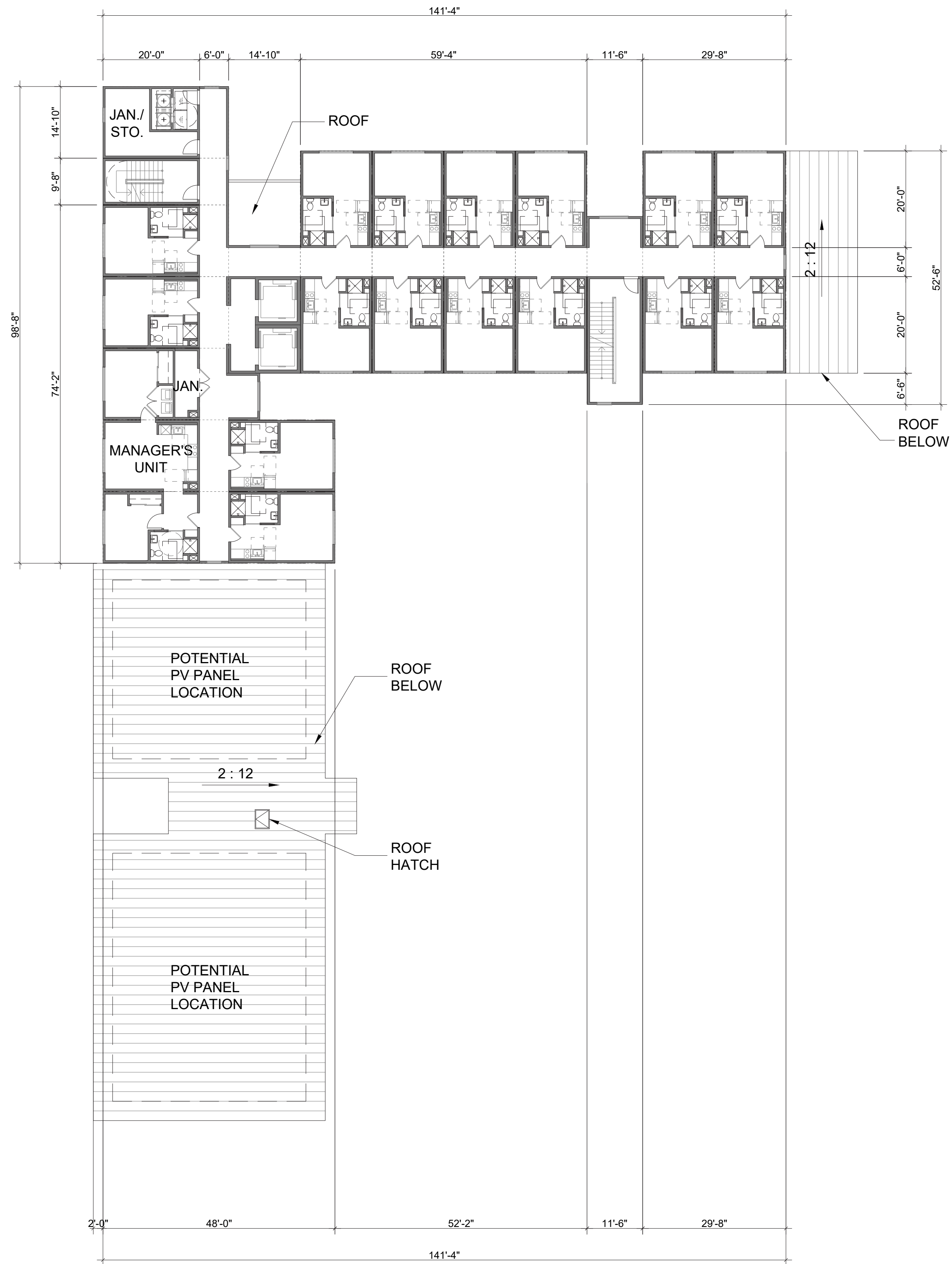


LEVEL 1

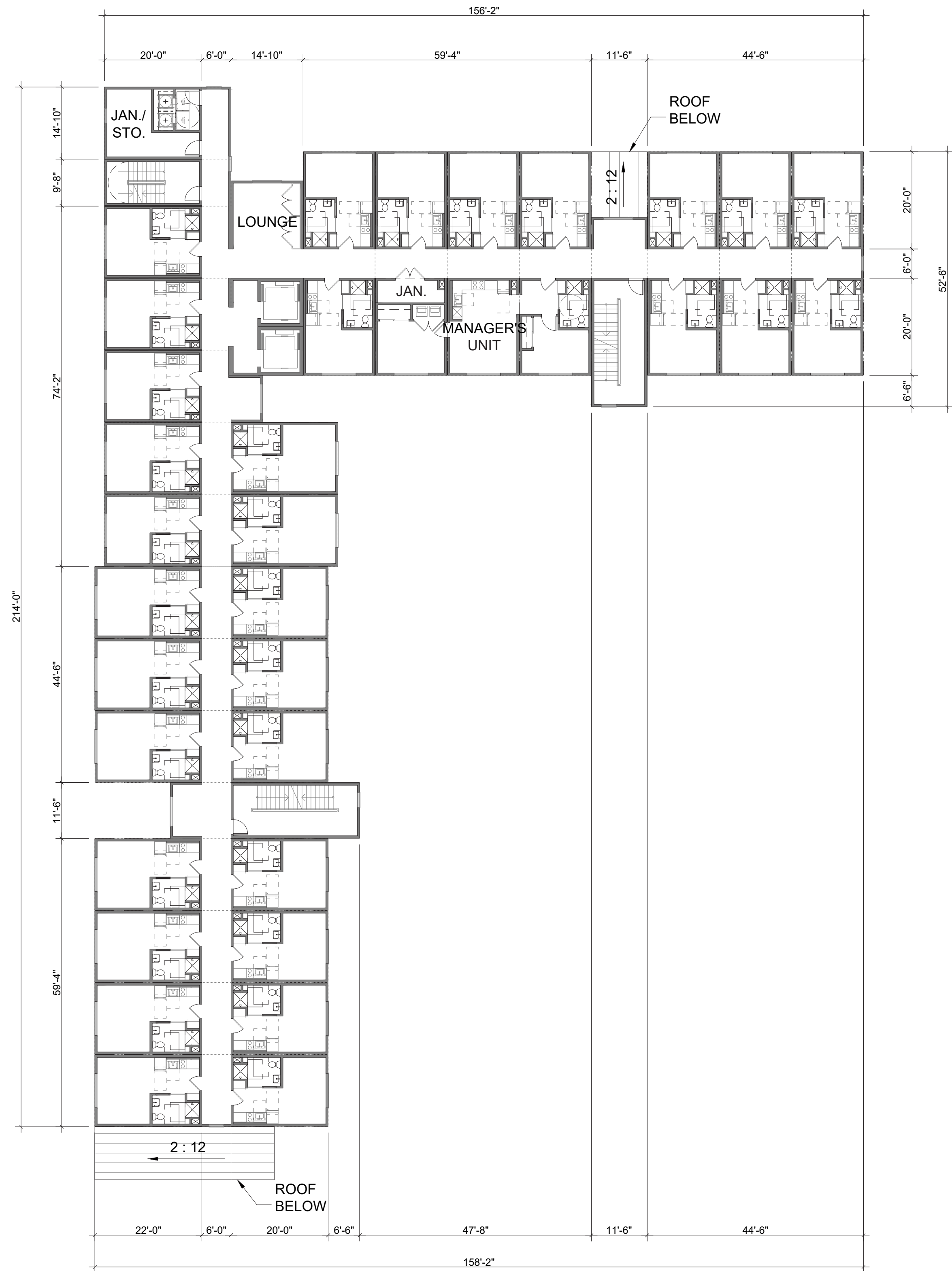
SCALE: 1/16" = 1' - 0" @ 22" x 34"

1





LEVEL 4
SCALE: 1/16" = 1' - 0" @ 22" x 34" 2



LEVEL 3
SCALE: 1/16" = 1' - 0" @ 22" x 34" 1



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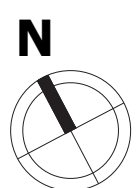
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Sheet Title:
BUILDING PLANS -
LEVEL 3-4

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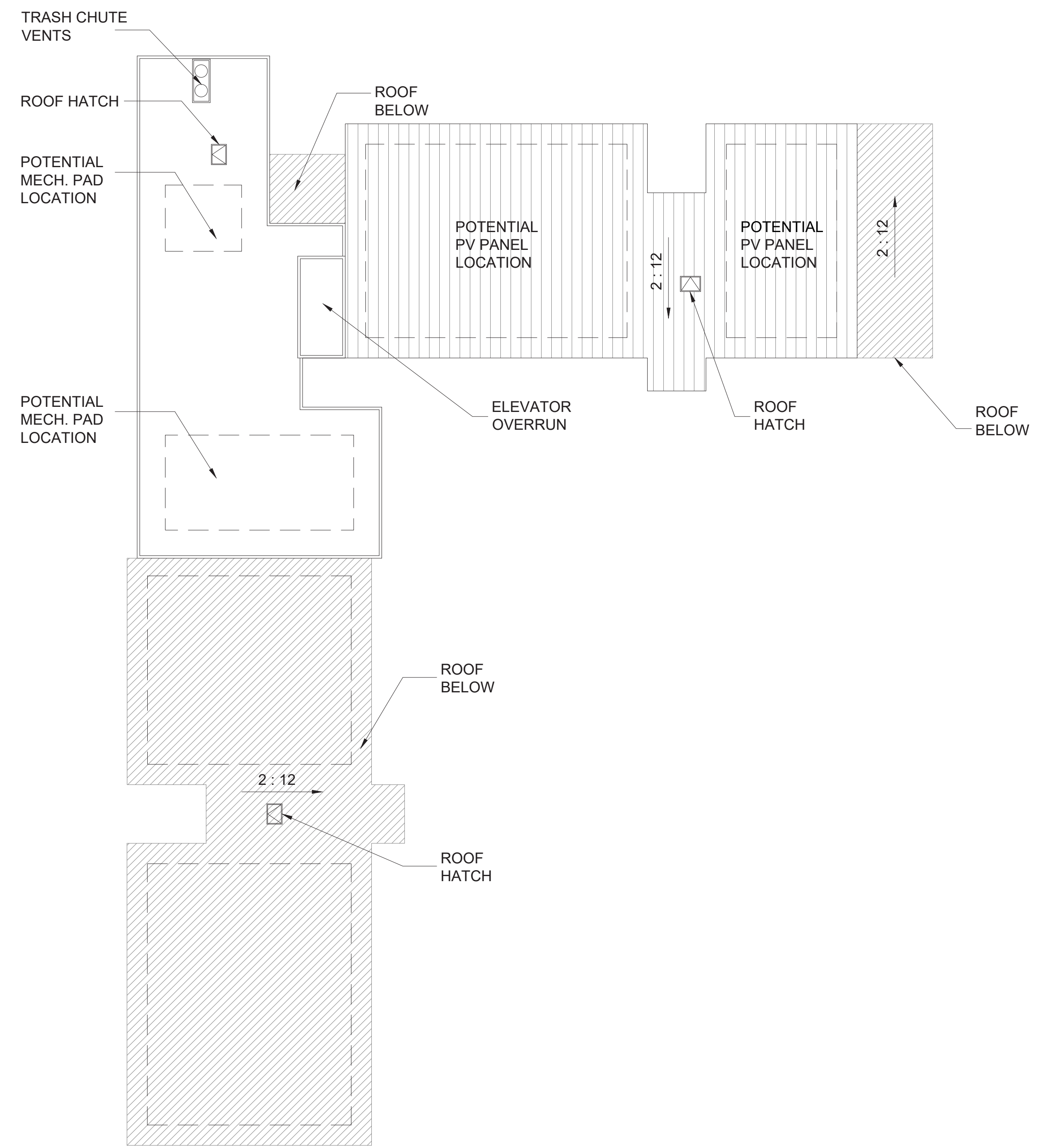
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Sheet Title:
**BUILDING PLANS -
ROOF PLAN**

Job No. 22016
Date: 09/15/2023
Scale: AS NOTED
Drawn By:

Sheet No:

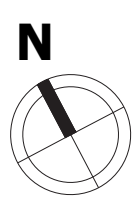
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ROOF PLAN

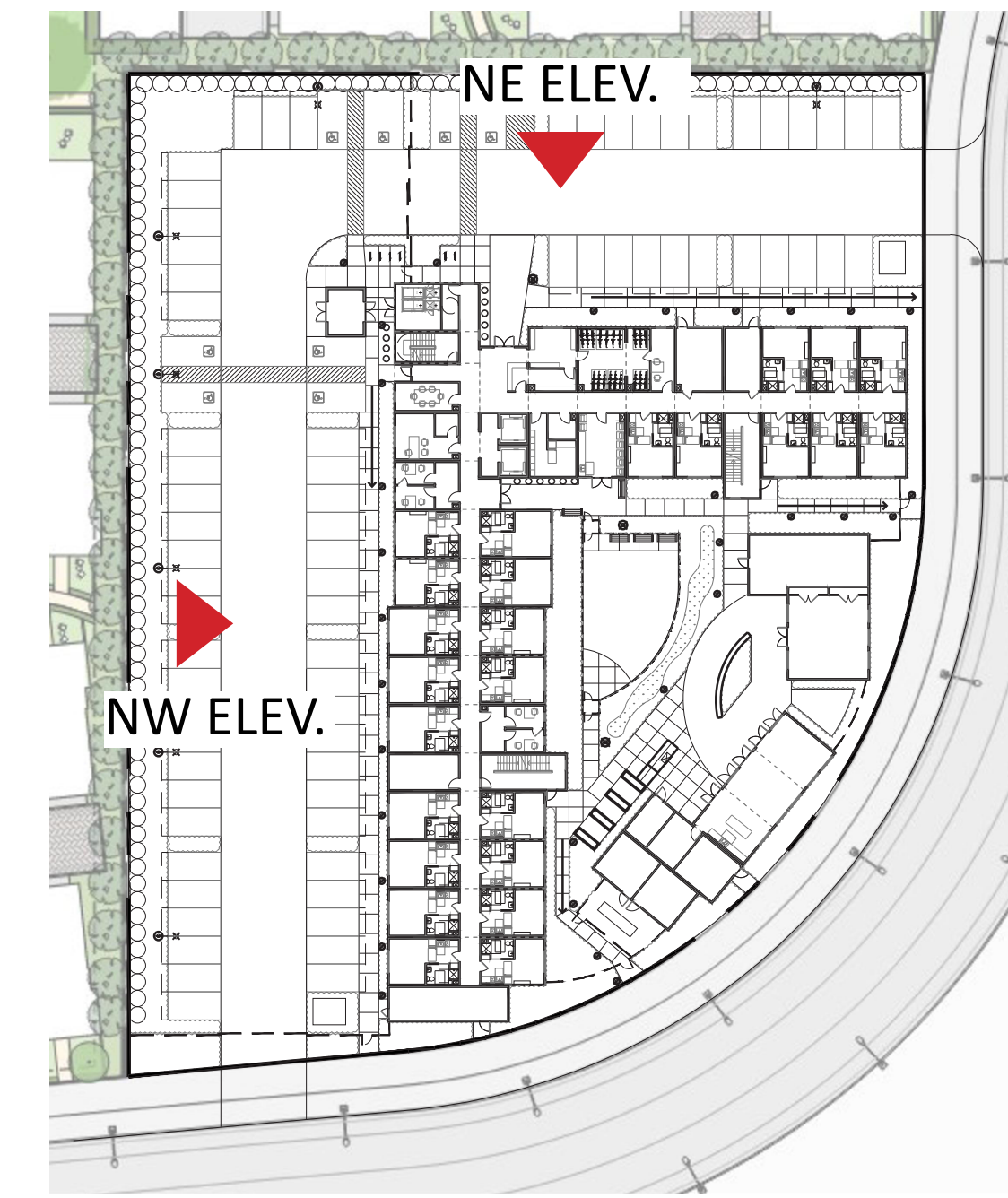
SCALE: 1/16" = 1' - 0" @ 22" x 34"

1





NE ELEVATION 2
SCALE: 1/16" = 1' - 0" @ 22" x 34"



KEY MAP



NW ELEVATION 1
SCALE: 1/16" = 1' - 0" @ 22" x 34"

MATERIALS	
(A1-1)	RAINSCREEN FIBER CEMENT PANELS - ASH
(A1-2)	RAINSCREEN FIBER CEMENT PANELS - DARK OLIVE
(A1-3)	RAINSCREEN FIBER CEMENT PANELS - CAPPUCCINO
(A1-4)	CMU WALLS
(B1-1)	VINYL WINDOW
(B1-2)	PRE-ASSEMBLED STOREFRONT
(C1-1)	SUN SHADE - METAL TRELLIS
(C1-2)	PANELIZED FENCE SYSTEM
(C1-3)	PERFORATED PANELS
(C1-4)	MURAL (SAMPLE REPRESENTATION ONLY)
(D1-1)	DIMENSIONAL ASPHALT SHINGLES ROOFING

(SEE MATERIAL BOARD FOR DETAILS)



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Sheet Title:
**BUILDING
ELEVATIONS**

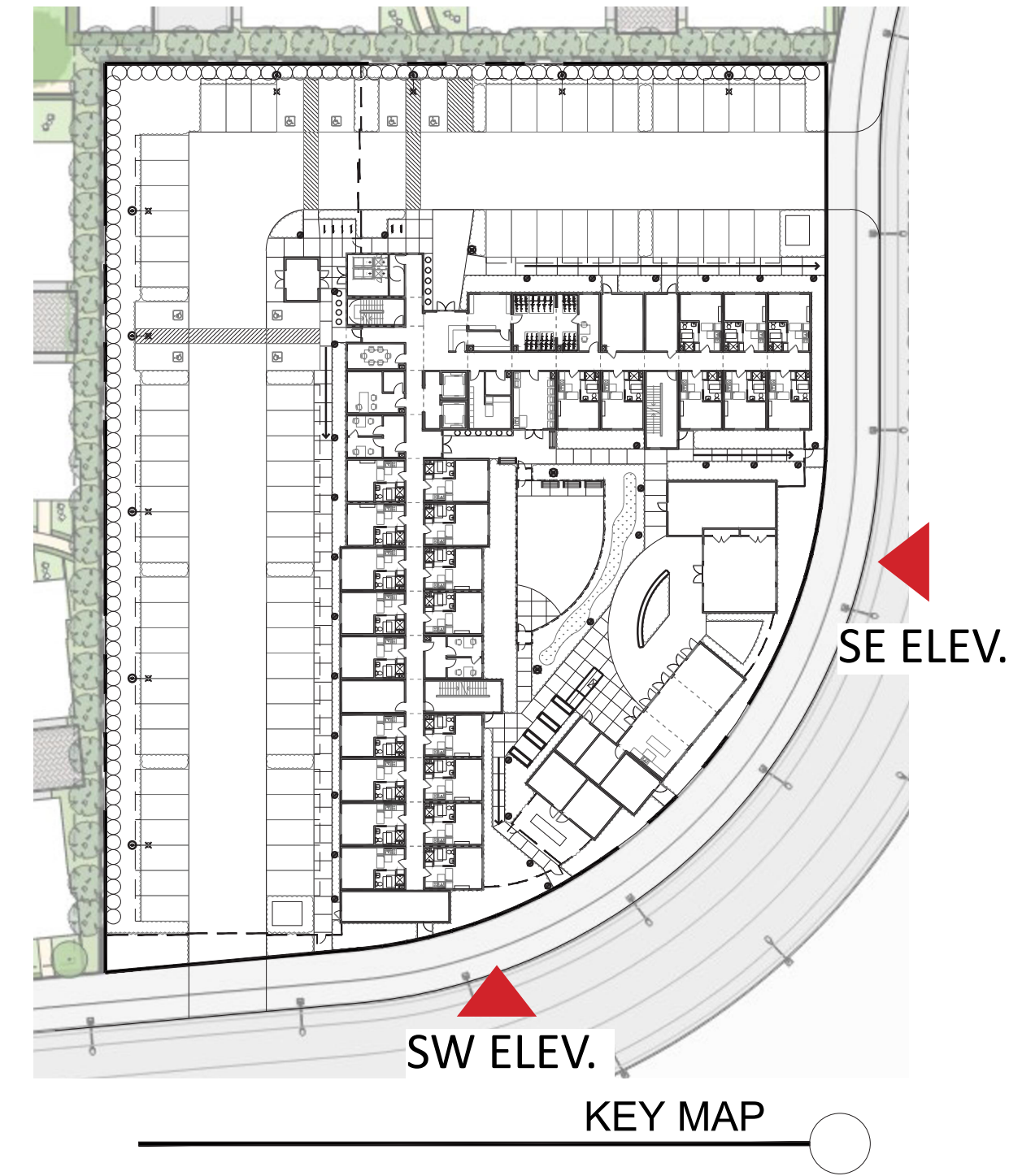
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Date: 09/15/2023
Scale: AS NOTED
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Sheet No:

A3.0



SW ELEVATION 2
SCALE: 1/16" = 1' - 0" @ 22" x 34"



SW ELEV. SE ELEV. KEY MAP



SE ELEVATION 1
SCALE: 1/16" = 1' - 0" @ 22" x 34"

MATERIALS	
(A1-1)	RAINSCREEN FIBER CEMENT PANELS - ASH
(A1-2)	RAINSCREEN FIBER CEMENT PANELS - DARK OLIVE
(A1-3)	RAINSCREEN FIBER CEMENT PANELS - CAPPUCCINO
(A1-4)	CMU WALLS
(B1-1)	VINYL WINDOW
(B1-2)	PRE-ASSEMBLED STOREFRONT
(C1-1)	SUN SHADE - METAL TRELLIS
(C1-2)	PANELIZED FENCE SYSTEM
(C1-3)	PERFORATED PANELS
(C1-4)	MURAL (SAMPLE REPRESENTATION ONLY)
(D1-1)	DIMENSIONAL ASPHALT SHINGLES ROOFING

(SEE MATERIAL BOARD FOR DETAILS)



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Sheet Title:
BUILDING ELEVATIONS

Job No. 22016
Date: 09/15/2023
Scale: AS NOTED
Drawn By:

Sheet No:
A3.1



PERSPECTIVE VIEW 2
SCALE: N.T.S. ②



PERSPECTIVE VIEW 1
SCALE: N.T.S. ①

VIEW 1



VIEW 2

KEY MAP



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Sheet Title:
PERSPECTIVES

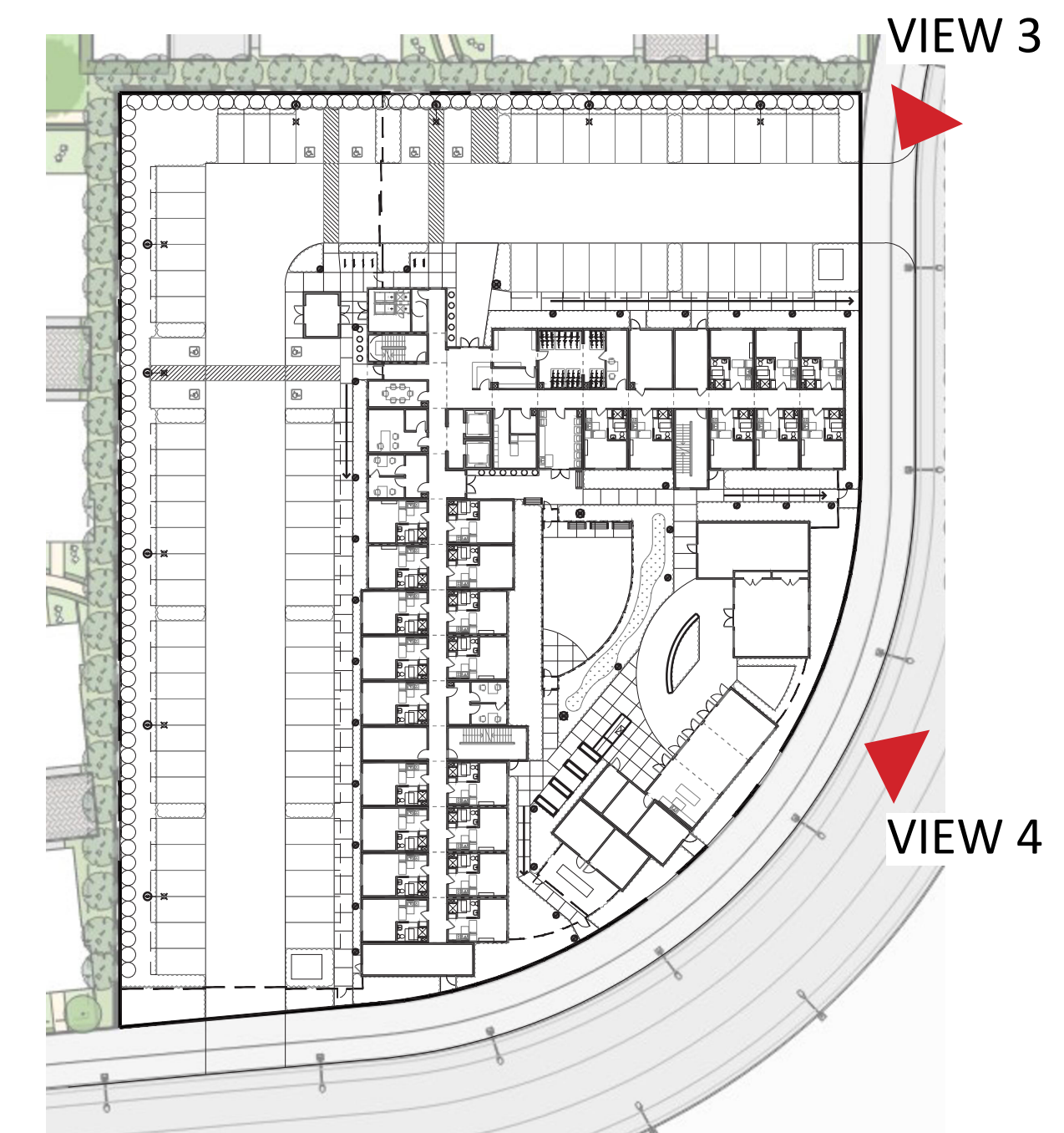
Job No. 22016
Date: 09/15/2023
Scale: AS NOTED
Drawn By:

Sheet No:

A4.0



PERSPECTIVE VIEW 4
SCALE: N.T.S. ②



KEY MAP



PERSPECTIVE VIEW 3
SCALE: N.T.S. ①



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Sheet Title:
PERSPECTIVES

Job No. 22016
Date: 09/15/2023
Scale: AS NOTED
Drawn By:

Sheet No:

A4.1

COLORS AND MATERIALS



A1-1 RAINSCREEN FIBER CEMENT PANELS
CERACLAD
ASH
(OR SIMILAR)



A1-2 RAINSCREEN FIBER CEMENT PANELS
CERACLAD
DARK OLIVE
(OR SIMILAR)



A1-3 RAINSCREEN FIBER CEMENT PANELS
CERACLAD
CAPPUCCINO
(OR SIMILAR)



A1-4 CMU WALLS

WINDOWS AND STOREFRONT

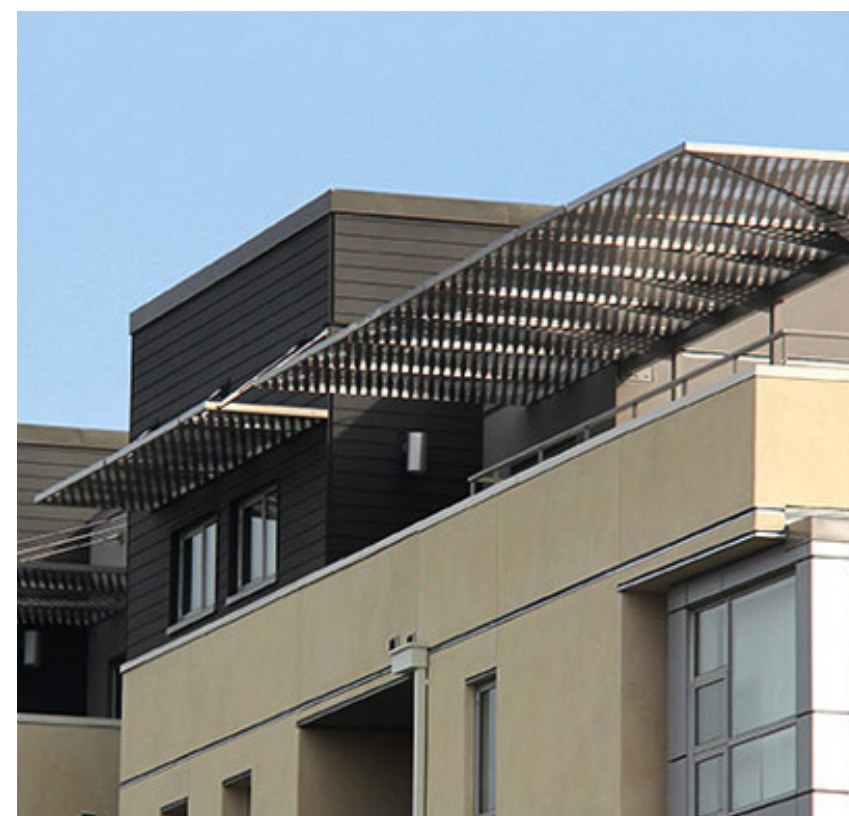


B1-1 VINYL WINDOW

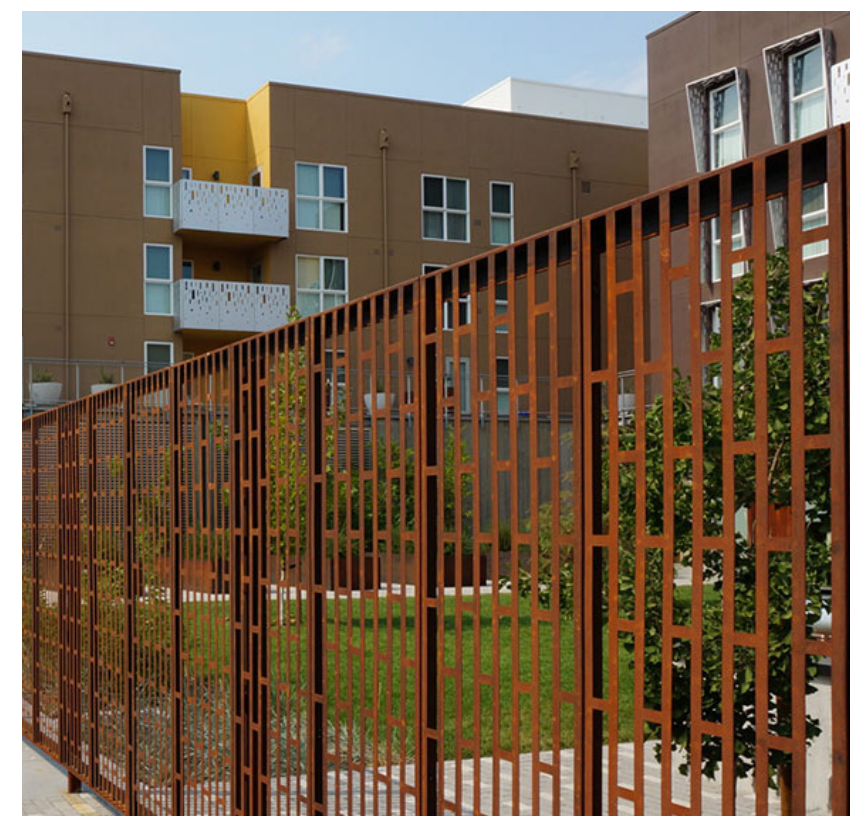


B1-2 PRE-ASSEMBLED STOREFRONT

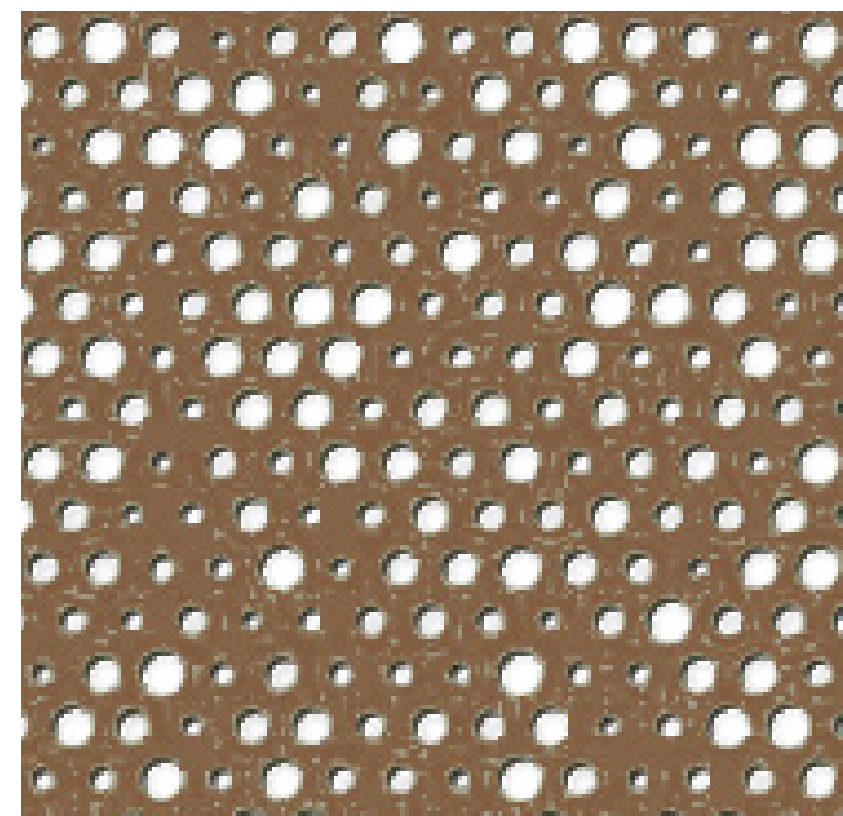
SUNSHADE, FENCE SYSTEM AND ROOF



C1-1 SUN SHADE METAL TRELLIS



C1-2 PANELIZED FENCE SYSTEM



C1-3 PERFORATED PANELS BRONZE



C1-4 MURAL
SAMPLE REPRESENTATION ONLY
(ACTUAL GRAPHICS TBD)



D1-1 DIMENSIONAL ASPHALT SHINGLES ROOFING



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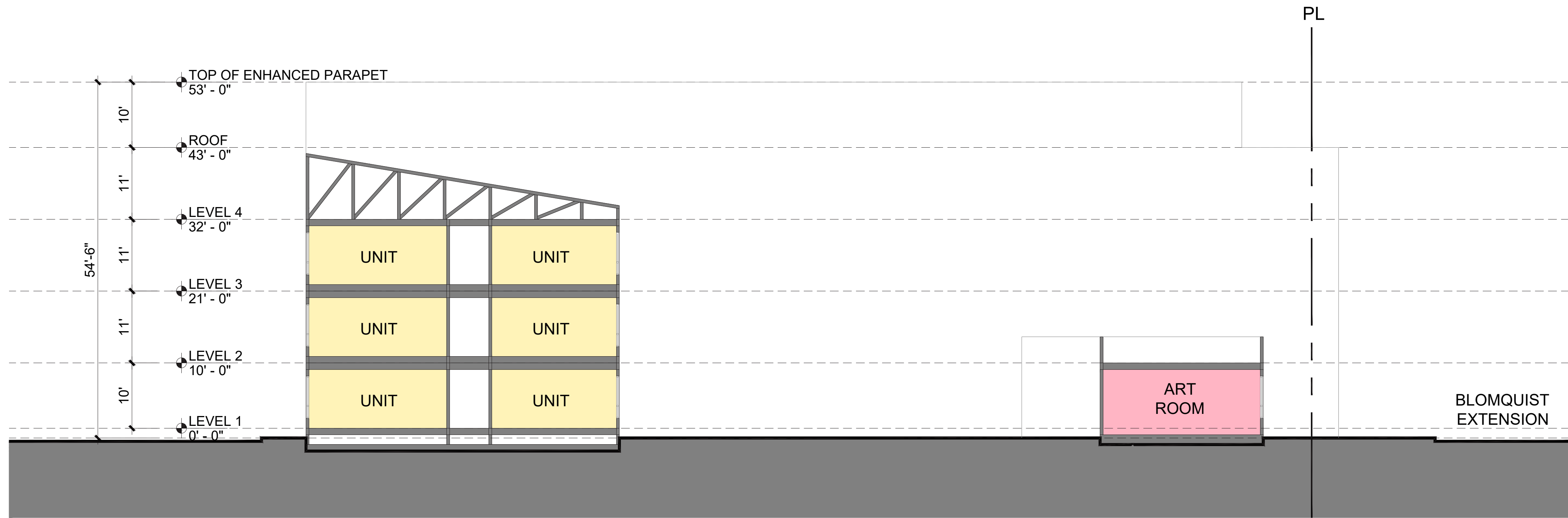
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Sheet Title:
COLORS AND MATERIALS

Job No. 22016
Date: 09/15/2023
Scale: AS NOTED
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Sheet No:

A5.0



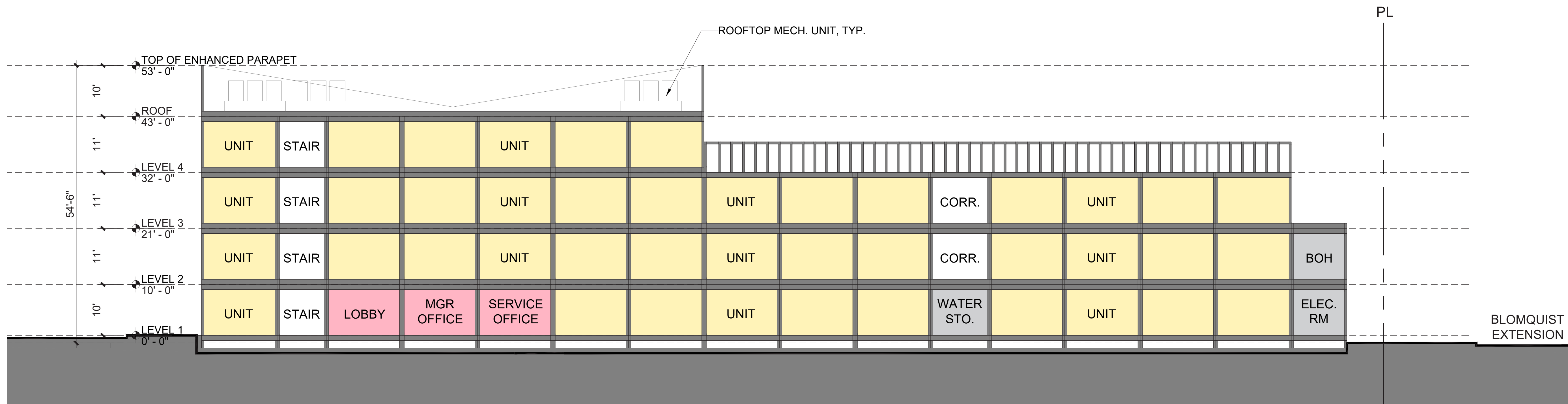
SECTION B

SCALE: 3/32" = 1' - 0" @ 22" x 34"

2



KEY MAP



SECTION A

SCALE: 3/32" = 1' - 0" @ 22" x 34"

1



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Sheet Title:
**BUILDING
SECTIONS**

Job No. 22016
Date: 09/15/2023
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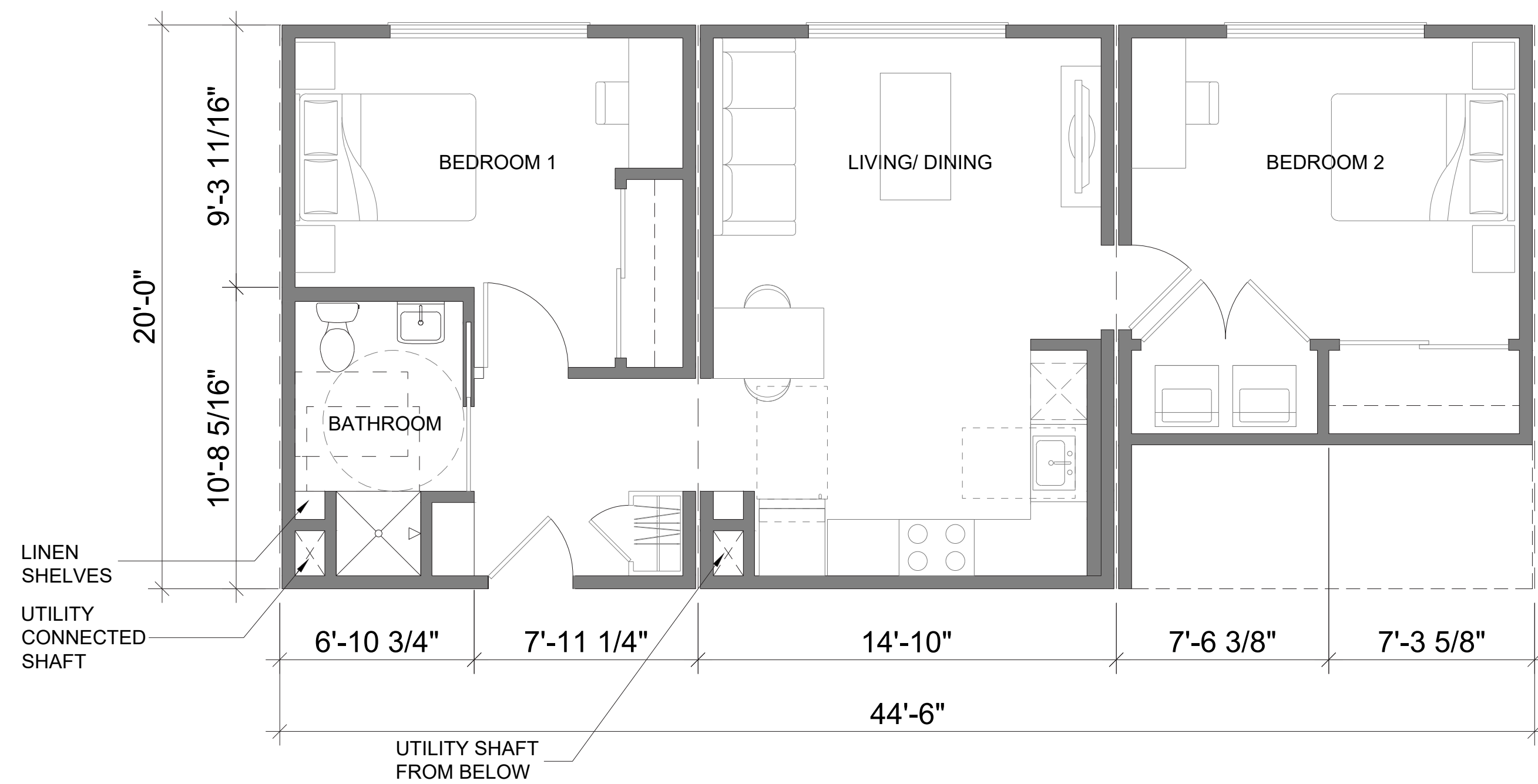
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Sheet Title:
UNIT PLANS

Job No. 22016
Date: 09/15/2023
Scale: AS NOTED
Drawn By:

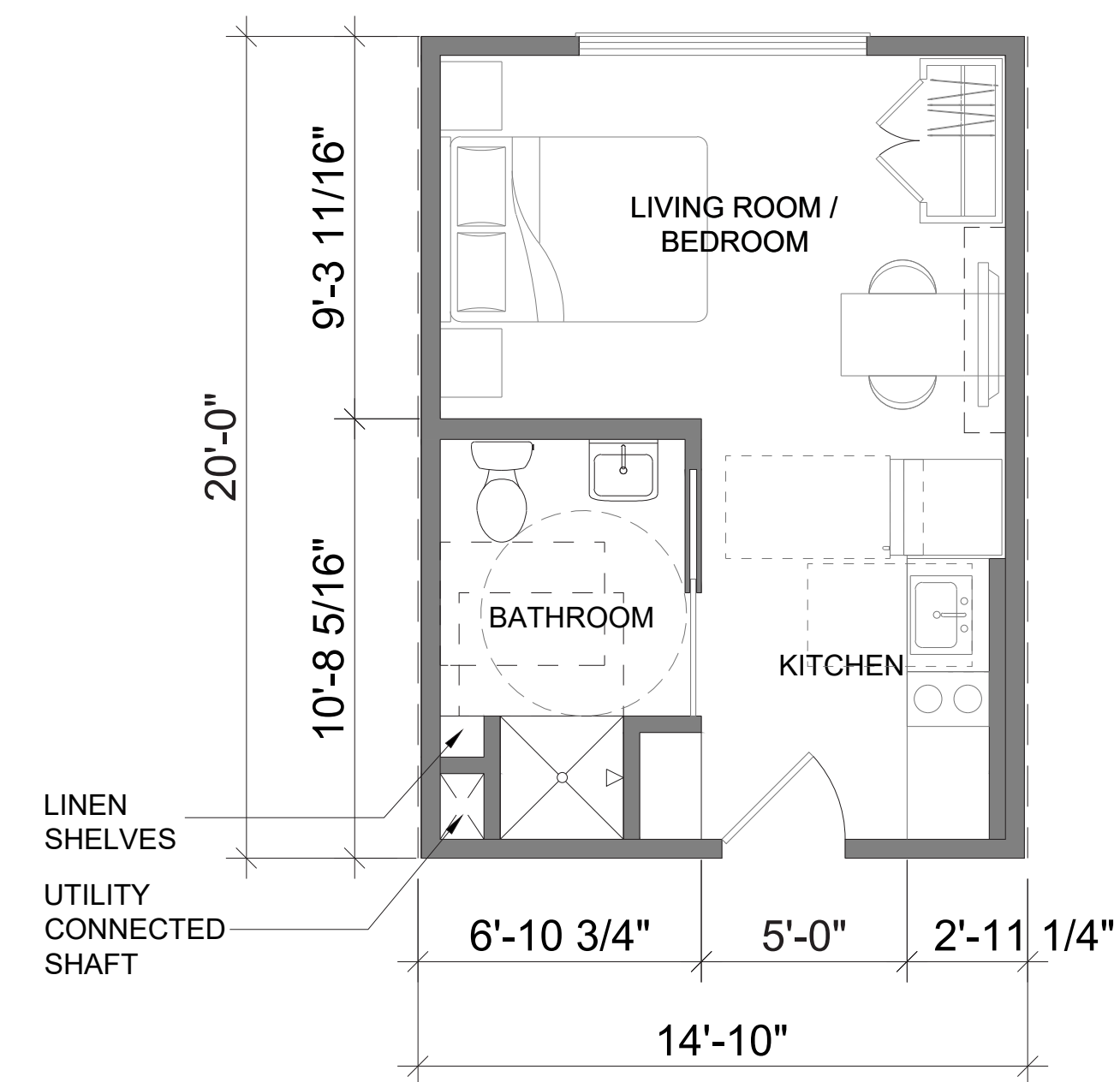
Sheet No:

A7.0



UNIT PLAN - MANAGER'S UNIT
SCALE: 1/4" = 1' - 0" @ 22" x 34"

2



UNIT PLAN - STUDIO
SCALE: 1/4" = 1' - 0" @ 22" x 34"

1



EVERGREEN TREES IN PARKING AREA

COURTYARD FENCE AND PEDESTRIAN GATE

SPECIMEN EVERGREEN TREES

FENCE AND SEATING AT DOG PARK

NATURALIZED STORMWATER TREATMENT PLANTING AREA

ALL WORK IN PUBLIC RIGHT OF WAY PART OF BLOMQUIST EXTENSION PROJECT

COMMUNITY TERRACE W/ MOVABLE SEATING

COMMUNITY GARDEN

GENERATOR ENCLOSURE

COURTYARD FENCE AND PEDESTRIAN GATE

STORMWATER TREATMENT PLANTERS

PEDESTRIAN GATE

VEHICULAR GATE

PARKING LOT LIGHTS

COURTYARD POLE LIGHTS

BOLLARD LIGHTS

VEHICULAR GATE

PEDESTRIAN GATE

BIKE PARKING

ARRIVAL PLAZA

LOBBY

LAUNDRY

DOG PARK

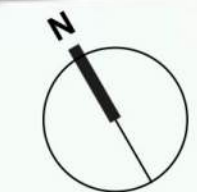
FLEX SPACE

ART ROOM

COMMUNITY ROOM

KITCHEN

BLOMQUIST EXTENSION



Scale: 1" = 20'
0 10' 20' 40'

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Sheet Title:
LANDSCAPE PLAN

Job No. 22016
Date: 09/15/2023
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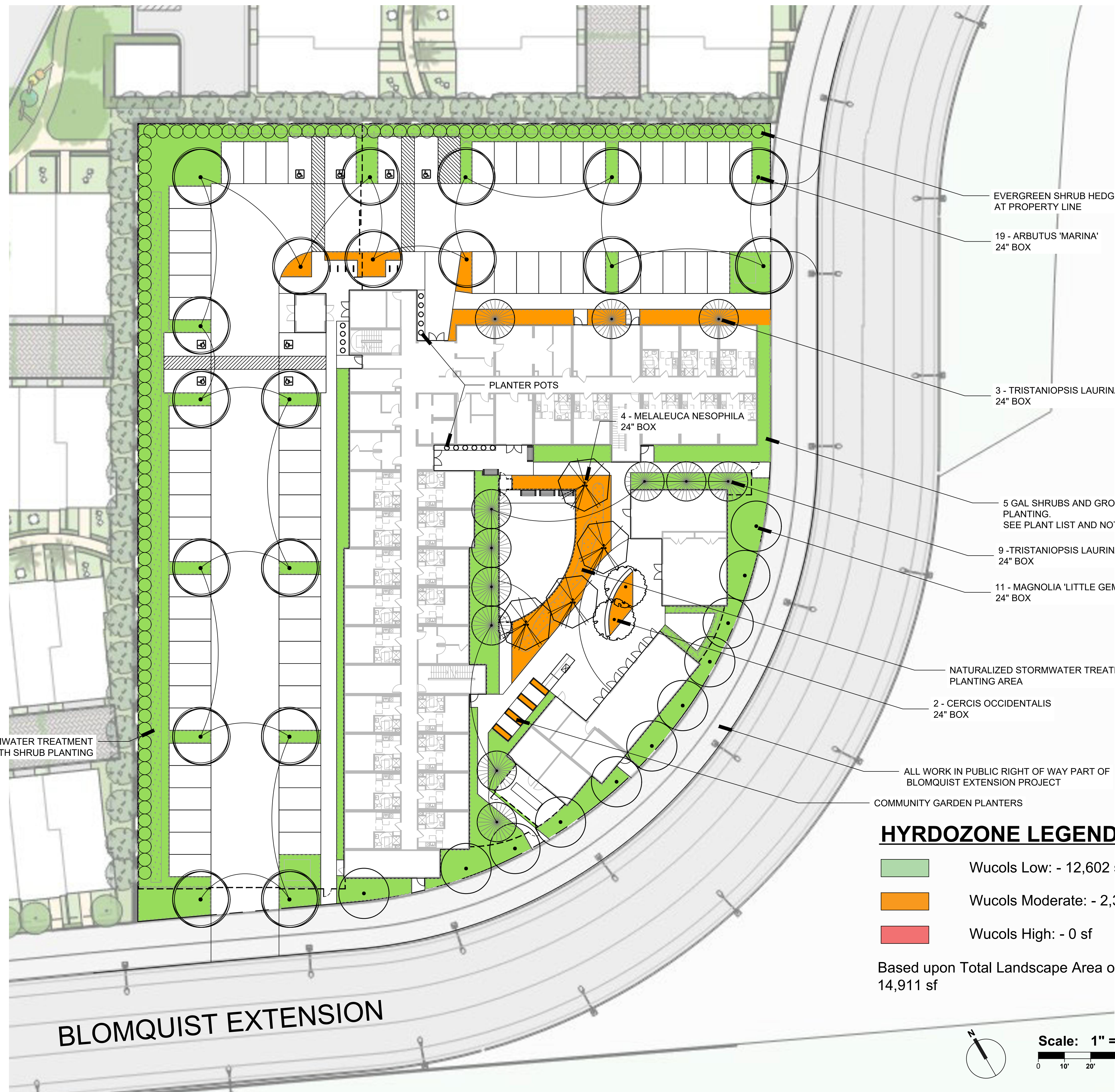
Sheet Title:

PLANTING AND IRRIGATION HYDROZONE PLAN

Job No. 22016
 Date: 09/15/2023
 Scale:
 Drawn By:

Sheet No:

L-2.0



STORMWATER TREATMENT PLANTERS WITH SHRUB PLANTING

EVERGREEN SHRUB HEDGE AT PROPERTY LINE

19 - ARBUTUS 'MARINA' 24" BOX

PLANTER POTS

4 - MELALEUCA NESOPHILA 24" BOX

3 - TRISTANIOPSIS LAURINA 24" BOX

5 GAL SHRUBS AND GROUND COVER PLANTING. SEE PLANT LIST AND NOTES ON L2.1

9 - TRISTANIOPSIS LAURINA 24" BOX

11 - MAGNOLIA 'LITTLE GEM' 24" BOX

NATURALIZED STORMWATER TREATMENT PLANTING AREA

2 - CERCIS OCCIDENTALIS 24" BOX

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COMMUNITY GARDEN PLANTERS

HYRDOZONE LEGEND

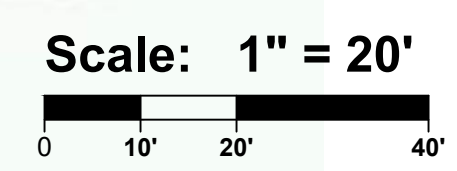
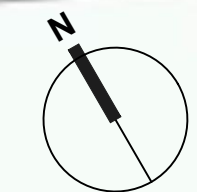
Wucols Low: - 12,602 sf

Wucols Moderate: - 2,310 sf

Wucols High: - 0 sf

Based upon Total Landscape Area of 14,911 sf

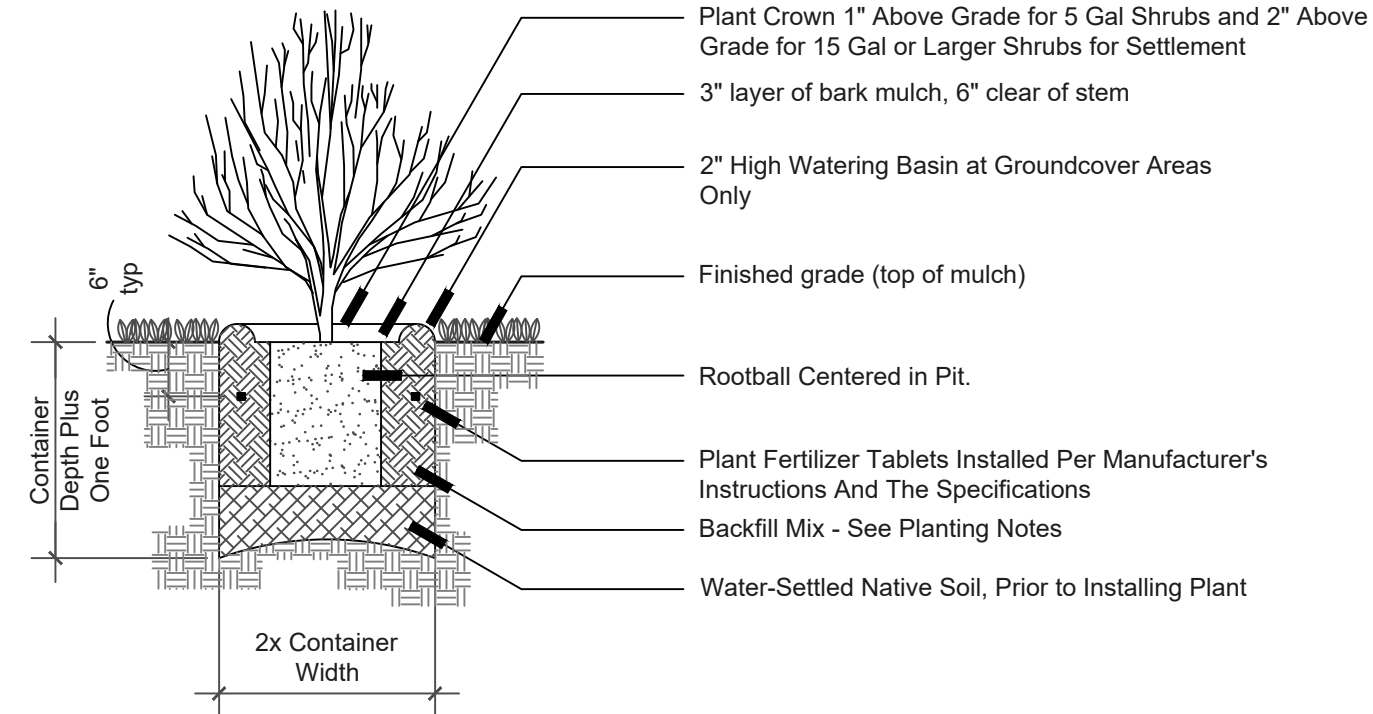
BLOMQUIST EXTENSION



PLANTING NOTES

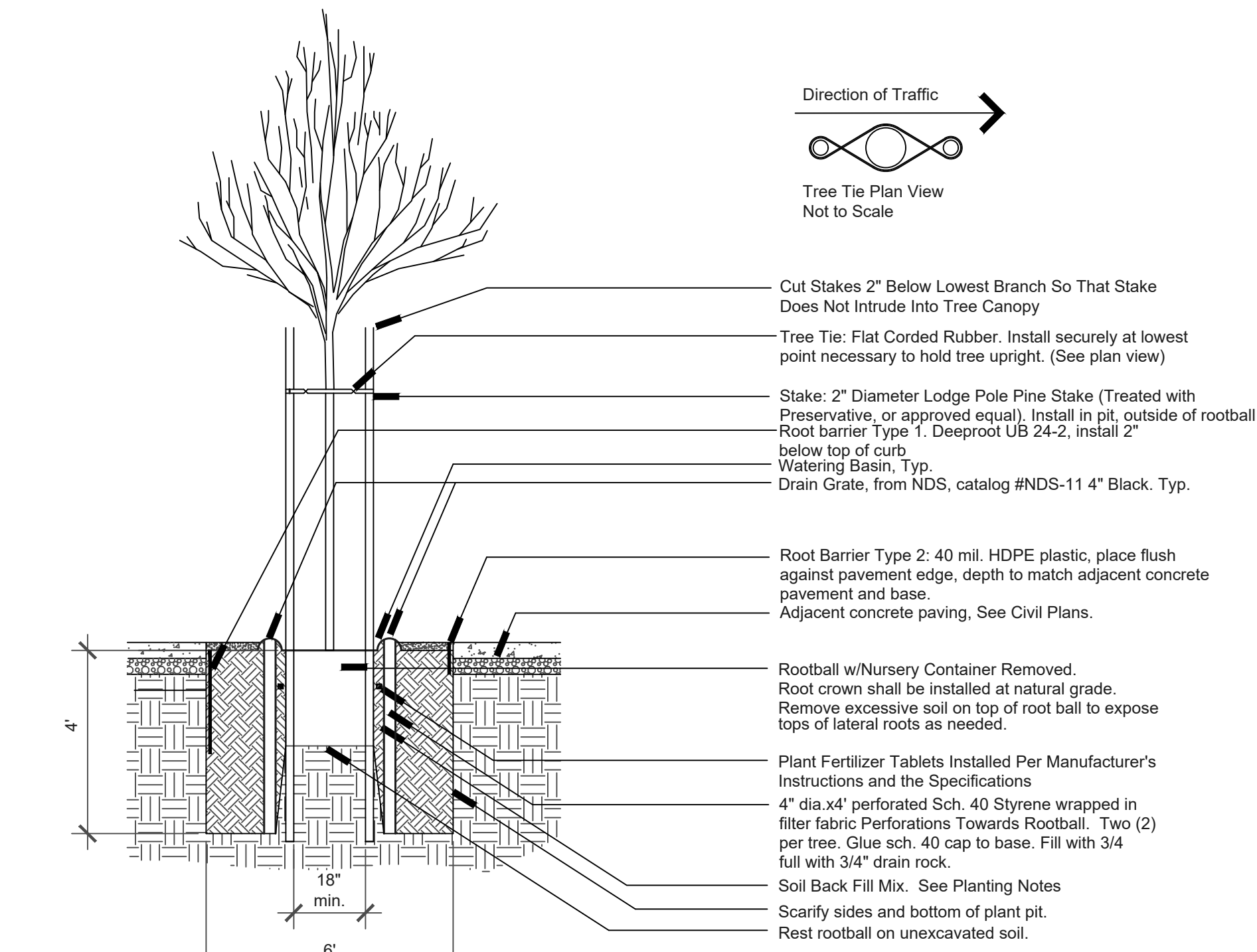
- All work shall be performed by persons familiar with planting work and under supervisions of a qualified planting foreman.
- Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
- All trees are to be staked as shown in the staking diagrams.
- All tree stakes shall be cut 6" above tree ties after stakes have been installed to the depth indicated in the staking diagrams. Single stake all conifers per tree staking diagram.
- Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
- The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
- The contractor is to secure all vines to walls and columns with approved fasteners, allowing for two (2) years growth. Submit sample of fastener to Landscape Architect for review prior to ordering.
- All planting areas, including planter pots, except lawns and storm-water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" layer of recycled wood mulch, "Muir Woods Brown Mulch" by WM Earthcare (877.963.2784; wmeearthcare.com) or approved equal. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rootball.
- All street trees to be installed in accordance with the standards and specifications of the County of San Mateo. Contractor to contact the city arborist to confirm plant type, plant size (at installation), installation detailing and locations prior to proceeding with installation of street trees. Contractor is to obtain street tree planting permit from the County, if a permit is required, prior to installation of street trees. Contractor is to consult with the Landscape Architect during this process.
- Seasonal color is to be current and locally available. Plant material is to be selected by the Landscape Architect from a list of currently available stock provided by the Landscape Contractor prior to installation. Seasonal color to be 4" pots at 12" o.c. unless otherwise noted.
- The lawn shall be sod or seeded (as noted) and consist of a drought tolerant hard fescue blend such as Pacific Sod "Medallion Dwarf with Bonsai", installed per manufacturer's recommendations and specifications. The mix shall consist of the following proportions of grass species: 100% Bonsai Double Dwarf fescue. Available through: Pacific Sod 800.542.7633
- Trees planted in lawn areas shall have a 12" diameter cutout for trimming purposes.
- Plants shall be installed to anticipate settlement. See Tree and Shrub Planting Details.
- All trees noted with 'deep root' and those planted within 5'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications and details for materials, depth of material, and location of installation.
- The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
- The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
- The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
- The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.
- Install all plants per plan locations and per patterns shown on the plans. Install all shrubs to ensure that anticipated, maintained plant size is at least 2'-0" from the face of building(s) unless shown otherwise on the plans. Refer to Plant Spacing Diagram for plant masses indicated in a diagrammatic manner on the plans. Refer to Plant Spacing Diagram for spacing of formal hedge rows.
- Contractor to provide one (1) Reference Planting Area for review by Landscape Architect prior to installation of the project planting. The Reference Planting Area shall consist of a representative portion of the site of not less than 900 (nine hundred) square feet. Contractor to set out plants, in containers, in the locations and patterns shown on the plans, for field review by the Landscape Architect. The Reference Planting Area will be used as a guide for the remaining plant installation.
- The Maintenance Period(s) shall be for 60 (sixty) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.

- Contractor to verify drainage of all tree planting pits. See Planting Specifications. Install drainage well per specifications and Tree Planting Detail(s) if the tree planting pit does not drain at a rate to meet the specifications.
- Contractor shall remove all plant and bar code labels from all installed plants and landscape materials prior to arranging a site visit by the Landscape Architect.
- Versicell Drainage panel or approved equal is to be installed in all on-structure planters and all pre-cast planters/pots as shown in the drawings. Material available through: Tournesol, CA 800-542-2282. All drainage panels shall be completely covered with filter fabric as shown in the drawings and per manufacturer's specifications.
- All tree rootballs shall be irrigated by water jet during the sixty (60) day maintenance period established by specifications. This irrigation shall occur each time normal irrigation is scheduled.
- The Landscape Contractor shall, as a part of this bid, provide for a planting allowance for the amount of \$5,000.000 (Five Thousand Dollars) to be used for supplying and installing additional plant material as directed by the Landscape Architect and approved by the Owner in writing. The unused portion of the allowance shall be returned to the Owner at the beginning of the maintenance period.
- The contractor is required to submit plant quantities and unit prices for all plant materials as a part of the bid.
- Assume 15 gallon plant for any un-labelled or un-sized tree; 5 gallon plant for any un-labelled or un-sized shrub; and 1 gallon @ 18" o.c. for any un-labelled ground cover.
- Assume 5 gallon plant size at 36" o.c. for all planting beds not provided with planting callouts or planting information.
- The planting areas on grade shall be ripped to a depth of 8" to reduce compaction. The native subgrade soil shall be treated with 100 lbs of gypsum/1000 sf and leached to improve drainage and reduce the soil interface barrier. Contractor shall coordinate this work with other trades. This is subject to the final recommendations of the soils test (see below) and review by the Landscape Architect and the Owner.
- All planting areas on grade are to receive Vision Comp OMRI Listed Compost by Vision Recycling, (510) 429-1300, or approved equal, at the rate of 6 cubic yards/1000 square feet, evenly tilled 6" deep into the soil to finish grade. All planting areas shall have 6-20-20 Commercial Fertilizer at 25lbs/1000 square feet evenly distributed into the soil. This is subject to the final recommendations and review of the soils test (see below) by the Landscape Architect and the Owner.
- Planting pits are to be backfilled with a mixture of 50% native soil and 50% amended native soil per note above.
- The General Contractor is to provide an agricultural suitability analysis for representative samples of on-site rough graded soil and any imported topsoil. Recommendations for amendments contained in this analysis are to be carried out before planting occurs. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary. See specifications for testing procedure.
- For built in place planters on structure, use imported regular weight soil mix.
- For planter pots, use lightweight soil mix.
- See civil drawings for imported storm water treatment area soil.



Shrub Planting Detail

NTS



Tree Staking Diagram - Street Tree Tree Well

Scale: 3/8"=1'-0"

PLANT PALETTE

KEY	SIZE*	BOTANICAL NAME	COMMON NAME	COMMENTS/ SPACING**	WATER USE
TREES— Locations shown on Plan					
ARB MAR	*	Arbutus 'Marina'	Marina Arbutus	standard	low
CER OCC	*	Cercis occidentalis	Western Redbud	low branch	very low
CUP TIN	*	Cupressus s. 'Tiny Tower'	Tiny Towers Italian Cypress		low
GAR ELL	*	Garrya elliptica	Coast Silkassel	low branch	low
ILE WIL	*	Ilex v. 'Will Fleming'	Columnar Holly	standard	medium
MAG LIT	*	Magnolia g. 'Little Gem'	Columnar Southern Magnolia	standard	medium
MEL NES	*	Melaleuca nesophila	Pink Melaleuca	upright	low
MEL QUI	*	Melaleuca quinquenervia	Cajeput Tree		low
RHA MON	*	Rhaphiolepis x 'Montic'	Mogestic Beauty Indian Hawthorn		low
TRI LAU	*	Tristaniopsis laurina 'Elegant'	Water Gum		low
YUC ALO	*	Yucca aloifolia	Spanish Bayonet		very low

* As noted on plans or 15 Gallons

SHRUBS—Individual plants not shown on plan					
ALS	1 gal	Aloe striata	Coral Aloe		low
ALM	5 gal	Alyogyne huegii 'Mood Indigo'	Blue Hibiscus		low
ARH	5 gal	Arctostaphylos 'Howard McMinn'	Dwarf McMinn Manzanita		low
CAL	5 gal	Callistemon citrinus 'Little John'	Dwarf Bottle Brush	36" o.c.	low
CEC	5 gal	Ceanothus 'Concha'	Concha Wild Lilac		low
COT	5 gal	Cordylone a. 'Torbay Dazzler'	Torbay Dazzler Cordylone		low
ERR	5 gal	Eremophila racemosa	Easter Egg Emu		low
GRD	5 gal	Grevillea rosmarinifolia 'Dwarf Form'	Rosemary Grevillea		low
GRO	5 gal	Grewia occidentalis	Lavender Starflower	42" o.c.	medium
LES	5 gal	Leptospermum s. 'Snow White'	New Zealand Tea Tree		medium
MYC	5 gal	Myrica californica	Pacific Wax Myrtle		medium
PIC	5 gal	Pittosporum crassifolia 'Nano'	Pittosporum	36" o.c.	medium
PIT	5 gal	Pittosporum t. 'Turner's Variegated Dwarf'	Pittosporum	36" o.c.	medium
POP	5 gal	Polygala fruticosa 'Petite Butterflies'	Petite Butterflies Sea Pea Shrub	36" o.c.	low
RHE	5 gal	Rhamnus c. 'Eve Case'	Coffeeberry		low
RHM	5 gal	Rhamnus c. 'Mound San Bruno'	Dwarf Coffeeberry	36" o.c.	low
ROC	5 gal	Rosa californica	California Rose	36" o.c.	low

PERENNIALS and GRASSES—Individual plants not shown on plan.					
ANH	5 gal	Anigozanthos hybrids	Kangaroo Paw	30" o.c.	low
ASM	1 gal	Asparagus d. 'Myers'	Myer Asparagus Fern	30" o.c.	medium
CAA	1 gal	Calamagrostis x acutiflora 'Stricta'	Feather Reed Grass	30" o.c.	medium
CAT	1 gal	Carex tumulicola	Dwarf Sedge	18" o.c.	low
DIB	1 gal	Dietes bicolor	Fortnight Lily	36" o.c.	low
HES	1 gal	Helictotrichon sempervirens	Blue Oat Grass	24" o.c.	low
JUP	1 gal	Juncus patens	California Gray Rush	24" o.c.	low
KNL	1 gal	Kniphofia 'Little Maid'	Little Maid Poker Plant	30" o.c.	low
LIB	1 gal	Libertia peregrinans	Orange Libertia	36" o.c.	low
LIP	1 gal	Limonium perezii	Sea Lavender	24" o.c.	low
MUC	1 gal	Muhlenbergia capillaris "Pink Muhly"	Pink Muhly Grass	36" o.c.	low
NEC	1 gal	Nephrolepis cordifolia	Southern Sword Fern	30" o.c.	medium
SAL	1 gal	Salvia clevelandii	Cleveland Sage	30" o.c.	low

GROUNDCOVERS and VINES					
CEY	5 gal	Ceanothus g. 'Yankee Point'	Carmel Creeper	42" o.c.	low
CLC	5 gal	Clytostoma callistegioides	Violet Trumpet Vine	42" o.c.	medium
ERG	1 gal	Erigeron glaucus	Seaside Daisy	18" o.c.	low
FIP	5 gal	Ficus pumila	Creeping Fig	42" o.c.	medium
MAR	1 gal	Mahonia repens	Creeping Mahonia	24" o.c.	low
MYP	1 gal	Myoporum parvifolium 'Pink'	Pink Australian Racer	30" o.c.	low
SEM	1 gal	Senecio mandraliscae	Kleinia	24" o.c.	low

PLANTING DESIGN NOTES

The above plants have been selected as being representative of the overall planting design intent. This plant palette is suggested for use, but also does not preclude use of other appropriate plant material. The landscape shall incorporate plants that are tolerant of the challenging conditions of the site and that are appropriate to the local climate. These plants are found along the streets and paseo open space areas. Native, habitat-enhancing, and low water-use plants should be selected as to complement the character of the project.

All trees shall be a minimum of 24" box size. All shrubs and vines shall be a minimum of 5 gallon size. All groundcover shall be a minimum of 1 gallon size.

All planted areas are to be irrigated with an automatic underground irrigation system shall be designed to make efficient use of water through conservation techniques, and be in compliance with the Water District's rules and regulations for water use. 90% of the irrigation system shall be sub surface drip irrigation.

Sheet Title:

PLANT LIST, DETAILS AND NOTES

Job No. 22016
Date: 09/15/2023
Scale:
Drawn By:

Sheet No:

L-2.1

MWELo SUBMITTAL CHECKLIST

Submittal Date: 09.15.2023
 Project Address: 1580 Maple Rd
 Applicant Name: MidPen Housing Phone: 650-356-2900

The following checklist provides a list of information that must be included on the plans before your permit application can be processed. This checklist covers both the performance compliance method and the prescriptive compliance method. Please indicate which compliance method is used and provide the appropriate information on the plans.

Performance Approach Prescriptive Approach (Skip to Page Four)

**PERFORMANCE APPROACH
>2,500 sq ft of landscape area**

Landscape Documentation Package (Title 23, Chapter 2.7 §492.3)

- The project's address, total landscape area, water supply type, and contacts shall be stated on the plans.
- Add, sign and date the following statement on the plans: "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package."
- Water Efficient Landscape Worksheet that includes a hydrozone information table and water budget calculations shall be submitted for plan check.
- ** A landscape design plan and irrigation design plan shall be submitted for plan check.
- ** A soil management report shall be submitted with the initial submittal unless the project scope includes mass grading. If a grading permit is required, the report shall be submitted with the Certificate of Completion.

Model Water Efficient Landscape Worksheet (Title 23, Chapter 2.7 §492.4 and §492.13)

- Incorporate the Water Efficient Landscape Worksheet into plans. Show that the Maximum Applied Water Allowance (MAWA) meets or exceeds the calculated Estimated Total Water Use (ETWU).
- The evapotranspiration adjustment factor (ETAF) for the landscape project shall not exceed a factor of (0.55 for residential areas) (0.45 for non-residential areas).
- The plant factor used shall be from WUCOLS or from horticultural researchers with academic institutions. WUCOLS plants database can be found on-line at: <http://ucanr.edu/sites/WUCOLS/>
- NA All water features shall be included in the high water use hydrozone. All temporary irrigated areas shall be included in the low water use hydrozone.
- NA All Special Landscape areas shall be identified on the plans. The ETAF for new and existing (non-rehabilitated) Special Landscape Areas shall not exceed 1.0.
- For the purpose of calculating ETWU, the irrigation efficiency is assumed to be 0.75 for overhead spray devices and 0.81 for drip system devices.

Landscape Design Plan (Title 23, Chapter 2.7 §492.6)

- The landscape design plans, at a minimum, shall:
 - Delineate and label each hydrozone by number, letter, or other methods.
 - Identify each hydrozone as low, moderate, high water, or mixed water use.
- NA Identify recreational areas, areas solely dedicated to edible plants, areas irrigated with recycled water, type and surface area of water features, impermeable and permeable hardscape, and any infiltration systems.
- For hydrozone with a mix of both low and moderate water use plants or both moderate and high water use plants, the higher plant factor or the plant factor based on the proportions of the respective plant water uses shall be used. Hydrozones containing a mix of low and high water use plants is not permitted.
- Turf is not allowed on slopes greater than 25% where the toe of the slope is adjacent to an impermeable hardscape.
- NA Add note to plans: "Recirculating water systems shall be used for water features"
- Add note to plans: "A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated."
- Add note to plans: "For soils less than 6% organic matter in the top 6 inches of soil, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil"

**** Irrigation Design Plan (Title 23, Chapter 2.7 §492.7)**

- The irrigation plans, at a minimum, shall contain the following:
 - Location and size of spate water meters for landscape
 - Location, type, and size of all components of the irrigation system, including controllers, main and lateral lines, valves, sprinkler heads, moisture sensing devices, rain switches, quick couplers, pressure regulators, and backflow prevention devices.
 - Static water pressure at the point of connection the public water supply
 - Flow rate (gallons per minute), application rate (inches per hour), and design operating pressure (pressure per square inch) for each station.
- A dedicated water service meter or private submeter shall be installed for all (non-residential irrigated landscapes of at least 1,000sqft) (residential irrigated landscape areas of at least 5,000sqft).
- Add note to plans: "Pressure regulating devices are required if water pressure is below or exceeds the recommended pressure of the specified irrigation devices."
- Manual shut-off valves shall be required, as close as possible to the point of connection of the water supply, to minimize water loss in case of an emergency or routine repair.
- Add note to plans: "Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur."
- Areas less than 10-feet in width in any direction shall be irrigated with subsurface or drip irrigation.
- Overhead irrigation shall not be permitted within 24-inches of any non-permeable surface.

**** Soil Management Report (Title 23, Chapter 2.7 §492.5)**

- The soil management report, at a minimum, shall contain the following:
 - soil texture; N-P-K and minor trace elements
 - infiltration rate determined by laboratory test or soil texture infiltration rate table;
 - pH
 - total soluble salts
 - sodium
 - percent organic matter
 - recommendations
- The soil management report shall be both integrated into the plans and submitted as a separate document.

Required Statements and Certification (Title 23, Chapter 2.7 §492.6, §492.7 and §492.9)

- Add the following statement on the landscape and irrigation plans: "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans".
- The final set of landscape and irrigation plans shall bear the signature of a licensed landscape architect, licensed landscape contractor, certified irrigation designer, licensed architect, licensed engineer, licensed land surveyor, or personal property owner.
- Add note to plans: "A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes."
- Add note to plans: "A Certificate of Completion shall be filled out and certified by either the designer of the landscape plans, irrigation plans, or the licensed landscape contractor for the project".
- Add note to plans: "An irrigation audit report shall be completed at the time of final inspection."

**** DEFERRED UNTIL BUILDING PERMIT**

NOTES

A) I, on behalf of the Guzzardo Partnership, Inc., agree to comply with the requirements of the Water Efficient Landscape Ordinance and submit a complete Landscape documentation Package prior to permit issuance.

Paul T. Letwin

Signature

09.15.2023

Date

- B) A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller of subsequent management purposes.
- C) A certificate of competition shall be filled out and certified by either the LA designer of the planting/irrigation plans, or the licensed landscape contractor for the project.
- D) At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule of landscape and irrigation maintenance.
- E) An irrigation audit report shall be completed by a certified irrigation auditor at the time of final inspection.
- F) A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.
- G) For soils less than 6% organic matter in the top 6 inches of soil, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil.
- H) Reticulating water systems shall be used for water features.

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (Eto) **45.3**

Hydrozone # /Planting Descriptiona	Plant Factor (PF)	Irrigation Methodb	Irrigation Efficiency (IE)c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)e
Regular Landscape Areas							
Low Water-Use Plants	0.30 Drip		0.81	0.37	12,602	4,663	130,958
Moderate Water- Use Plants	0.50 Drip		0.81	0.62	2,310	1,432	40,225
High Water-Use Plants	0.80 Drip		0.81	0.99	0	0	0
Moderate Water-Use Turf EVA	0.50 Spray		0.75	0.67	0	0	0
					(A)	(B)	
					Totals	14,912	6,095
Special Landscape Areas							
water feature						0	
					(C)	(D)	
					Totals	0	0
					ETWU Total		171,182
					Maximum Allowed Water Allowance (MAWA)e		188,456

a Hydrozone #/Planting Description

E.g

- 1.) front lawn
- 2.) low water use plantings
- 3.) medium water use planting

b Irrigation Method

overhead spray

or drip

c Irrigation Efficiency

0.75 for spray head

0.81 for drip

dETWU (Annual Gallons Required) = Eto x 0.62 x ETAF x Area

where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

eMAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]

where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area (B)	6,095
Total Area (A)	14,912
Average ETAF	0.409

All Landscape Areas

(B+D) Total ETAF x Area	6,095
(A+C) Total Area	14,912
Sitewide ETAF (B+D) ÷ (A+C)	0.409

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.



1580 MAPLE STREET PSH
 REDWOOD CITY, CA

Sheet Title:

IRRIGATION WATER USE & MWELo CHECKLIST

Job No. 22016
 Date: 09/15/2023
 Scale:
 Drawn By:

Sheet No:

L-2.2