

GENERAL CONDITIONS

01. LIVING ROOM, DINING ROOM AND KITCHEN REMODEL. RAISE LIVING ROOM FLOOR TO MATCH DINING ROOM LEVEL. REMOVE PANTRY. OPEN WALL AND ADD NEW DOORS.

02. GENERAL CONDITIONS: PERFORM ALL WORK REQ'D BY THE CONTRACT DOCUMENTS FOR THE ALTERATION, RENOVATION, REPAIR & REHABILITATION OF THE DESIGNATED PREMISES, INCLUDING ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, SCAFFOLDING & OTHER FACILITIES & SERVICES NECESSARY

FOR THE PROPER & COMPLETE EXECUTION OF THE WORK. THESE GENERAL CONDITIONS SHALL APPLY TO ALL WORK INDICATED IN THIS DRAWING SET & SHALL EXTEND TO ANY CHANGES OR ADDITIONAL SCOPE DEVELOPED DURING THE COURSE OF THE PROJECT.

03. EXCLUSIONS: CONTRACTOR SHALL MAKE KNOWN TO ARCHITECT & OWNER ANY LIMITATIONS, EXCLUSIONS OR MODIFICATIONS TO THE PROJECT EXPLICITLY IN THE PROJECT ESTIMATE. UNLESS SPECIFICALLY EXCLUDED, THEY WILL BE PRESUMED TO BE INCLUDED IN THE PRICING OF THE PROJECT.

04. COMPLEMENTARY DOCUMENTS: THE ARCHITECT'S DRAWINGS, SPECIFICATIONS & CONSTRUCTION NOTES ARE COMPLEMENTARY, & WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY ALL.

05. INCONSISTENCIES: WHERE DIFFERENCES BETWEEN DRAWINGS, NOTES & SPECIFICATIONS OCCUR, THE DECISION OF THE ARCHITECT SHALL GOVERN AS TO WHICH TAKES PRECEDENCE. THE ARCHITECT SHALL PROMPTLY RESOLVE ANY SUCH DISCREPANCIES BROUGHT FORWARD BY THE CONTRACTOR.

06. MISSING INFORMATION: THE CONTRACTOR SHALL STUDY THE DRAWINGS, NOTES, SPECIFICATIONS & OTHER INSTRUCTIONS, & NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES OR MISSING INFORMATION REQ'D FOR FABRICATION OR INSTALLATION OF THE WORK. THE CONTRACTOR SHALL REQUEST INSTRUCTIONS FROM THE ARCHITECT BEFORE PROCEEDING W/ THE WORK.

07. DOUBTFUL CONDITIONS / FIELD CONDITIONS: VERIFY ALL (E) CONDITIONS & DIMENSIONS AFFECTING THE WORK ON SITE. NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT ARE FOUND CONTRARY TO THOSE SHOWN ON THE DRAWINGS, OR OF ANY DOUBTFUL CONDITIONS THAT MIGHT AFFECT QUALITY OR INTERFERE W/ THE PROPER COMPLETION OF WORK BEFORE COMMENCING WORK. COMMENCEMENT OF WORK INDICATES ACCEPTANCE OF (E) CONDITIONS.

08. PERMITS AND APPROVALS: OBTAIN ALL REQUIRED PERMITS & PAY FEES FOR PERMITS, LICENSES, INSPECTIONS, FILINGS & APPROVALS REQUIRED BY LOCAL LAWS, ORDINANCES & REGULATIONS NECESSARY FOR COMPLETION OF THE PROJECT. SCHEDULE REQUIRED INSPECTIONS IN A TIMELY MANNER SO AS NOT TO INTERRUPT PROGRESS OF THE WORK.

09. A VALID WORK PERMIT SHALL BE PROMINENTLY DISPLAYED AT THE JOB SITE FOR THE ENTIRE DURATION OF THE WORK.

10. COMPLIANCE WITH CODES: ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE SAN MATEO COUNTY PLANNING, FIRE & EMERGENCY SERVICES & LOCAL UTILITY COMPANIES. WHERE REQUIREMENTS OF THESE CODES ARE CONTRADICTORY, THE MORE STRINGENT RULE SHALL APPLY.

11. MEANS AND METHODS: THE CONTRACTOR SHALL SUPERVISE THE WORK USING THE BEST SKILL & ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, & SHALL HAVE CONTROL OVER, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.

12. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING & SUPERVISING SAFETY PRECAUTIONS IN CONNECTION W/ THE WORK. HE SHALL GIVE NOTICES & COMPLY W/ ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS & ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE SAFETY OF PERSONS AND PROPERTY, & THEIR PROTECTION FROM DAMAGE, INJURY & LOSS. HE SHALL INSURE THAT THE JOB SITE IS MAINTAINED AT ALL TIMES SO AS TO PREVENT INJURY OR DAMAGE TO ALL PERSONS WORKING ON OR VISITING THE PREMISES, & TO THEIR PROPERTY.

13. HAZARDOUS MATERIALS: IN THE EVENT THE CONTRACTOR ENCOUNTERS ASBESTOS OR PRODUCTS CONTAINING ASBESTOS, REMOVE ALL PERSONS FROM THE PROPERTY IMMEDIATELY W/O DISTURBING THESE PRODUCTS & NOTIFY THE OWNER. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT ALL PARTIES FROM POTENTIAL HAZARDS PRODUCED BY REMOVAL OF OR DAMAGE TO LEAD-BASED PAINTS OR OTHER SIM. HAZARDOUS MATERIALS, ON OR ABOUT THE PROPERTY.

14. SCHEDULE: SUBMIT A CONSTRUCTION SCHEDULE TO ARCHITECT & OWNER PRIOR TO COMMENCING WORK. THE SCHEDULE SHALL INDICATE THE CHRONOLOGICAL PHASES OF WORK THROUGH PROJECT COMPLETION. THE SCHEDULE SHALL INDICATE ORDERING LEAD TIME, START & COMPLETION DATES FOR EACH TRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE APPROVED SCHEDULE.

15. SEQUENCE AND COORDINATION: THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES & SUBCONTRACTORS FOR ALL PORTIONS OF THE WORK UNDER THIS CONTRACT. THE CONTRACTOR SHALL ALSO COOPERATE IN SEQUENCING INSTALLATION OF ITEMS FURNISHED BY THE OWNER.

16. APPROVED MATERIALS: THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR EQUAL" IS USED THE ARCHITECT SHALL DETERMINE THE ACCEPTABILITY OF A SUBSTITUTION REQUESTED BY THE CONTRACTOR. ALL MATERIALS SHALL BE NEW, UNUSED & OF THE HIGHEST QUALITY IN EVERY RESPECT, U.O.N. IN THE DRAWINGS, MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MFR'S RECOMMENDATIONS & INSTRUCTIONS.

17. LICENSED TRADESPEOPLE: WORK, INCLUDING PLUMBING, ELECTRICAL & OTHER TRADES, SHALL BE PERFORMED BY CONTRACTORS LICENSED IN THEIR TRADE, WHO SHALL OBTAIN ALL REQUIRED PERMITS, INSPECTIONS & SIGN-OFFS. HVAC SYSTEMS INSTALLERS MUST BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS, BY A PROGRAM ACCEPTABLE TO THE DBI, PER CAL GREEN 702.1

18. CURRENT DRAWINGS / REVISIONS: MAINTAIN A COMPLETE, CURRENT SET OF CONTRACT DOCUMENTS ON SITE THROUGHOUT CONST. FOR THE USE OF ALL TRADES. UPON RECEIPT OF ISSUED REVISIONS TO THE CONST. DOCS. BY THE ARCHITECT, THE CONTRACTOR SHALL IMMEDIATELY REVISE THE FIELD SET OF CONST. DOCS. & NOTIFY ALL AFFECTED TRADES OF THE REVISIONS.

19. LAYOUT OF WORK: LAYOUT WORK FROM DIMENSIONS & ALIGNMENTS SHOWN ON DRAWINGS & BE RESPONSIBLE FOR ALL MEASUREMENTS IN CONNECTION THEREWITH. THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN DRAWINGS & FIELD CONDITIONS TO THE ARCHITECT. **DO NOT SCALE DRAWINGS.**

20. QUALITY ASSURANCES:
 A) ALL WORK SHALL BE PERFORMED & SUPERVISED BY WORKERS THOROUGHLY FAMILIAR W/ THE MATERIALS & METHODS SPECIFIED.
 B) WORK SHALL BE INSTALLED PLUMB & LEVEL. SHOULD EX'G ADJ WORK NOT BE PLUMB & LEVEL, NEW WORK SHALL BE INSTALLED AS NECESSARY TO MEET THE EX'G WORK, W/O APPEARING TO EMPHASIZE THE VARIANCE, SUBJECT TO THE APPROVAL OF THE ARCHITECT.

21. SECURING OF PREMISES: SECURE THE PREMISES & MATERIALS WITHIN THE CONSTRUCTION AREA FOR THE DURATION OF CONSTRUCTION UNTIL OWNER'S FINAL ACCEPTANCE. TAKE ALL NECESSARY PRECAUTIONS AT THE END OF EACH WORK DAY TO INSURE UNAUTHORIZED PERSONS CANNOT ENTER THE JOB SITE.

22. PROTECTION DURING CONSTRUCTION: PROVIDE & MAINTAIN ALL NECESSARY COVERINGS & PROTECTION TO PREVENT DAMAGE, DISCOLORATION OR SOILING OF (E) & NEW CONST., FINISHES & BUILDING ELEMENTS. MAINTAIN PROTECTION UNTIL OWNER'S FINAL ACCEPTANCE. DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING ALL PHASES OF CONSTRUCTION, WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS ENTERING THE SYSTEM. UPON OWNER'S ACCEPTANCE, REMOVE ALL PROTECTION AND CLEAN ALL EXPOSED SURFACES. PROTECT HVAC SYSTEMS & COMPONENTS PER W/ SMACNA IAQ GUIDELINES.

23. MEANS OF EGRESS: ALL EX'G MEANS OF EGRESS FOR WORKERS & VISTORS TO SITE SHALL BE MAINTAINED CLEAR & FREE OF OBSTRUCTIONS SUCH AS BUILDING MATERIALS, TOOLS, ETC.

24. DELIVERIES: CONTRACTOR SHALL MAKE ALL REQ'D ARRANGEMENTS FOR DELIVERY & TRANSFER OF EQUIPMENT AND MATERIALS TO THE JOB SITE.

25. CUTTING AND PATCHING: PERFORM ALL CUTTING AND PATCHING REQ'D BY THE INSTALLATION OF NEW FRAMING, PLUMBING FIXTURES & CONNECTIONS, WIRING, ELECTRICAL & TELEPHONE OUTLETS, SWITCHES, HEATING & VENTILATION ELEMENTS TO PROVIDE A FINISHED PROJECT.

A) MATERIALS USED IN CUTTING & PATCHING SHALL BE IDENTICAL TO ORIGINAL MATERIALS U.O.N. IF IDENTICAL MATERIALS ARE NOT AVAILABLE, PROVIDE FINISHED WORK HAVING EQ. OR BETTER PERFORMANCE CRITERIA.
 B) USE METHODS LEAST LIKELY TO DAMAGE (E) ELEMENTS OR ADJ. WORK.
 C) LOCATE UTILITIES PRIOR TO CUTTING. CAP, VALVE, SEAL & PLUG ABANDONED UTILITIES.
 D) PATCHING SHALL PROVIDE SOLID, TRUE & ALIGNED SUBSTRATES FOR THE INSTALLATION OF FINISHED MATERIALS.
 E) PATCHING SHALL SEAMLESSLY JOIN THE IMMEDIATE EX'G ADJ CONST. IN MATERIALS, FINISH, GLOSS & COLOR. JOINTS SHALL BE DURABLE & INVISIBLE. CREATE TRUE, EVEN PLANES W/UNIFORM CONT. APPEARANCE.
 F) REPAINT ENTIRE ASSEMBLIES & SURFACES, NOT ONLY PATCHED AREAS.

26. REMOVALS: MAINTAIN A CLEAN & NEAT WORK SITE AT ALL TIMES. CLEAN-UP & REMOVE FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, WRAPPINGS, CONTAINERS & SALVAGES GENERATED BY CONST., DEMOLITION & THE DELIVERY & INSTALLATION OF WOODWORK, FURNITURE & APPLIANCES, WHETHER PROVIDED UNDER THIS CONTRACT OR NOT. 100% OF MIXED DEBRIS SHALL BE PROCESSED FOR RECYCLING

27. FINAL CLEANUP: ALL SPACES MUST BE LEFT VACUUM-CLEAN & ORDERLY, READY FOR OWNER OCCUPANCY. ALL SURFACES, INCLUDING COUNTERS, CABINET SHELVES & TOPS, MOLDINGS, DOOR & WINDOW HEADS, PLUMBING & LIGHTING FIXTURES, APPLIANCES, HVAC EQUIPMENT & FLOORS SHALL BE THOROUGHLY DUSTED W/ A FREQUENTLY RINSED DAMP CLOTH. AFTER DUSTING ALL SURFACES, FLOORS SHALL BE VACUUMED USING APPROPRIATE ATTACHMENTS. SCRAPE WINDOWS CLEAN W/ RAZOR & WASH.

28. PROJECT CLOSEOUT: UPON COMPLETION OF THE JOB THE CONTRACTOR SHALL SUBMIT ALL CERTIFICATES OF INSPECTION & A CERTIFICATE OF SUBSTANTIAL COMPLETION (AIA DOC. G-704) TO OWNER. UPON OWNER'S ACCEPTANCE, THE CONTRACTOR SHALL PERFORM A FINAL CLEANING.

29. PROJECT COMPLETION: THE PROJECT SHALL BE CONSIDERED COMPLETE WHEN THE WORK ON ARCHITECT'S PUNCH LIST HAS BEEN COMPLETED TO THE SATISFACTION OF THE ARCHITECT AND CLIENTS.

30. WARRANTY & GUARANTEE:
 A) THE CONTRACTOR GUARANTEES THAT WORK COMPLETED UNDER THIS CONTRACT IS FREE FROM FAULTY MATERIALS & WORKMANSHIP, INCL. IMPROPER INSTALLATION. THIS GUARANTEE SHALL COVER A MINIMUM PERIOD OF ONE YEAR FOLLOWING THE DATE OF ACCEPTANCE OF THE WORK BY OWNER & SHALL BIND THE CONTRACTOR TO REPAIR OR REPLACE, PROMPTLY & EFFICIENTLY, ANY & ALL WORK & MATERIAL FOUND TO BE DEFECTIVE DURING THIS PERIOD, INCLUDING OTHER WORK NOT PERFORMED UNDER THIS CONTRACT, THAT IS DAMAGED BY SUCH DEFICIENCY.
 B) NEITHER THE FINAL CERTIFICATE NOR THE FINAL PAYMENT, NOR ANY OTHER PROVISION IN THE CONTRACT, SHALL RELIEVE THE CONTRACTOR OF RESPONSIBILITY DESCRIBED IN THIS SECTION.
 C) THIS WARRANTY IS IN ADDITION TO MANUFACTURER'S STANDARD WARRANTIES ON SPECIFIC PRODUCTS, MATERIALS & ASSEMBLIES.
 D) IN THE EVENT ADDITIONAL PROFESSIONAL SERVICES ARE REQUIRED TO VERIFY & DIRECT REPAIRS OR REPLACEMENT OF WORK AS A DIRECT CONSEQUENCE OF THE FAILURE OF MATERIALS OR WORKMANSHIP GUARANTEED BY THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PAYMENT OF FEES FOR SUCH PROFESSIONAL SERVICES & ANY OTHER FEES NECESSARY TO CORRECT THE WORK.

31. PER CALIFORNIA CIVIL CODE ARTICLE 1101.1 AND CALGREEN SECTION 301.1, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET THE CURRENT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A MAX. FLOW RATE OF 1.28 GPF. SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH MAX. 1.8 GPM SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAX. FLOW RATE 1.2 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).

32. WHEN ALTERATIONS REPAIRS, OR ADDITIONS REQUIRING A PERMIT OCCUR, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLING PER CRC R314.2.2.

APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE
 2022 CALIFORNIA RESIDENTIAL CODE
 2022 CALIFORNIA ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES
 2022 CALIFORNIA ENERGY CODE - TITLE 24 NATIONAL ELECTRIC CODE
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
 COASTSIDE FIRE PROTECTION DISTRICT CODES AND STANDARDS
 SAN MATEO COUNTY RM-CZ/DR/CD ZONING CODE

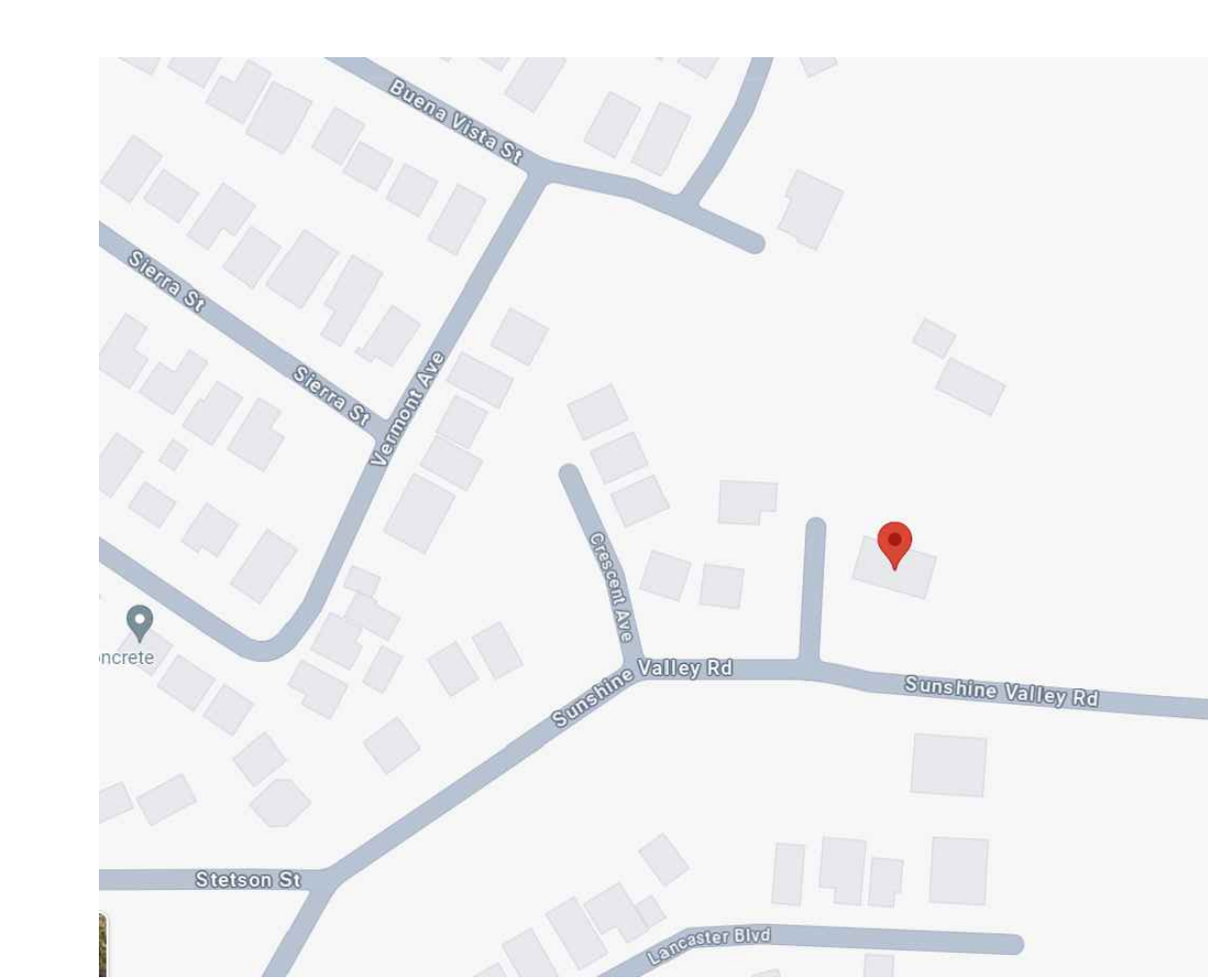
SYMBOLS & GRAPHIC CONVENTIONS

SECTION DETAIL		WOOD FRAMING	
PLAN DETAIL		WOOD BLOCKING	
INTERIOR ELEVATION KEY		PLYWOOD	
ENLARGED DETAIL		BATT INSULATION	
ELEVATION / DATUM TAG		RIGID INSULATION	
ROOM NUMBER		GYPSUM WALL BOARD	
SHEET NOTE		LINE ABOVE	
DOOR NUMBER		LINE BELOW	
WINDOW NUMBER		EXISTING CONSTRUCTION TO BE DEMOLISHED	
		EXISTING CONSTRUCTION TO REMAIN	
		NEW CONSTRUCTION	

ABBREVIATIONS

⊙	AT	INCL	INCLUDING
CL	CENTERLINE	JB	JUNCTION BOX
PL	PROPERTY LINE		
Ø	DIAMETER OR ROUND	LAV	LAVATORY
# or LB	POUND OR NUMBER	LT	LIGHT/LIGHTING
(E)	EXISTING		
(N)	NEW		
X	TIMES OR BY (AS IN 2X4)	MAINT	MAINTENANCE
		MAX	MAXIMUM
ADJ	ADJACENT	MECH	MECHANICAL
AFF	ABOVE FINISHED FLOOR	MFR	MANUFACTURER
ALUM	ALUMINUM	MICRO	MICROWAVE
APPRD	APPROVED	MIN	MINIMUM
APPROX	APPROXIMATE	MISC	MISCELLANEOUS
ARCH	ARCHITECTURAL	MTD	MOUNTED
AVG	AVERAGE	MTL	METAL
BD	BOARD	N	NORTH
BTWN	BETWEEN	NIC	NOT IN CONTRACT
BLDG	BUILDING	NO OR #	NUMBER
BLKG	BLOCKING	NOM	NOMINAL
BM	BEAM	NTS	NOT TO SCALE
BOS	BOTTOM OF STEEL		
BO	BOTTOM OF	O/	OVER
		OC	ON CENTER
CAB	CABINET	OD	OUTSIDE DIAMETER (DIM)
CEM	CEMENT	OPNG	OPENING
CH	CEILING HEIGHT	OPP	OPPOSITE
CLG	CEILING	OVHD	OVERHEAD
CLKG	CAULKING		
CLOS	CLOSET	PART	PARTITION
CLR	CLEAR	PLBG	PLUMBING
CLR OPG	CLEAR OPENING	PLAS	PLASTIC
CO	CASED OPENING	PLYWD	PLYWOOD
COL	COLUMN	PNTRY	PANTRY
CONC	CONCRETE	PT	POINT
CONSTR	CONSTRUCTION	PTD	PAINTED
CONT	CONTINUOUS	QUAL	QUALITY
CTR	CENTER	QTY	QUANTITY
DBL	DOUBLE		
DEPT	DEPARTMENT	R	RISER
DET	DETAIL	REF	REFRIGERATOR
DIA	DIAMETER	REQ'D	REQUIRED
DIM	DIMENSION	RM	ROOM
DISP	DISPOSAL	RO	ROUGH OPENING
DN	DOWN		
DR	DOOR	S	SOUTH
DW	DISHWASHER	SCHED	SCHEDULE
DWR	DRAWER	SECT	SECTION
DWG	DRAWING	SHT	SHEET
		SIM	SIMILAR
EA	EACH	SPEC	SPECIFICATION
ELEV	ELEVATION	SQ	SQUARE
ELEC	ELECTRICAL	ST STL	STAINLESS STEEL
EQ	EQUAL	STL	STAINED
EQPT	EQUIPMENT	STOR	STORAGE
EX'G	EXISTING	STRUCT	STRUCTURAL
EXT	EXTERIOR	SUSP	SUSPENDED
		SF	SQUARE FEET
FA	FIRE ALARM	SYST	SYSTEM
FIN	FINISH(ED)	S.S.D.	SEE STRUCTURALDRAWINGS
FIN FL	FINISHED FLOOR		
FL	FLOOR	TEL	TELEPHONE
FLUOR	FLUORESCENT	TEMP	TEMPERED
FO	FACE OF	THK	THICK(NESS)
FOC	FACE OF CONCRETE	TR	TRASH
FOF	FACE OF FINISH	TV	TELEVISION
FOS	FACE OF STUDS	TYP	TYPICAL
FR	FRAME		
FRZ	FREEZER	UNF	UNFINISHED
FT	FOOT OR FEET	UON	UNLESS OTHERWISE NOTED
FURR	FURRING	UL	UNDERWRITERS LABORATORY
		UTIL	UTILITY
GA	GAUGE	VERT	VERTICAL
GALV	GALVANIZED	VF	VERIFY IN FIELD
GL	GLASS		
GWB	GYPSUM WALL BOARD	W	WEST
HB	HOSE BIB	W/	WEST WITH
HC	HANDICAPPED		
HDWR	HARDWARE		
HT	HEIGHT		
HTG	HEATING		

VICINITY MAP



PROJECT DESCRIPTION

SINGLE FAMILY HOME RENOVATION & ADDITION. RECONFIGURE ENTRY/LAUNDRY/GYM AT LOWER FLOOR, REMODEL BATHROOMS, ENCLOSE PORCH FOR (N)OFFICE, COSMETIC AND APPLIANCE UPGRADES AT MAIN LEVEL, NEW UPPER FLOOR WITH ENSUITE BEDROOM AND LOFT.

PROJECT INFORMATION

APNS: 037-159-060, 037-159-050, 037-159-040
 ZONING: R-1/S-17/DR/CD
 USE TYPE: SINGLE FAMILY
 OCCUPANCY: SINGLE FAMILY (R-3)
 PARCEL AREA: 31,967 SF+/-
 LOT COVERAGE: 3280 SF/ 10% (NO CHANGE)
 EXISTING FLOOR AREA: 4037 SF/ 12.6%
 PROPOSED FLOOR AREA: 4825 SF/ 15%
 MAX. ALLOWED AREA: 6200 SF
 AREA OF ADDITION: 788 SF =[129SF ENCLOSED PATIO + 659SF UPPER LEVEL]

GROSS AREA OF ADDITION + ALTERATIONS: 956 SF< 50% GROSS AREA OF STRUCTURE - NO AUTOMATIC SPRINKLERS REQUIRED PER SECTION 9105

SHEET INDEX

A0.0	COVER SHEET
A0.1	EXTERIOR MATERIALS
A0.2	LOT COVERAGE & AREA DIAGRAMS
A0.3	COLORIZED FRONT & SIDE ELEVATIONS
SU-1	EXISTING SITE PLAN / TOPO SURVEY
A1.0	PROPOSED SITE PLAN
AB1.1	EXISTING / DEMO ROOF PLAN
A1.1	PROPOSED ROOF PLAN
AB2.0	EXISTING / DEMO LOWER LEVEL PLAN
AB2.1	EXISTING / DEMO MAIN LEVEL PLAN
A2.0	PROPOSED LOWER LEVEL FLOOR PLAN
A2.1	PROPOSED MAIN LEVEL FLOOR PLAN
A2.2	PROPOSED UPPER LEVEL FLOOR PLAN
AB3.0	EXISTING EXTERIOR ELEVATIONS
A3.0	PROPOSED EXTERIOR ELEVATIONS
AB4.0	EXISTING BUILDING SECTION
A4.0	PROPOSED BUILDING SECTIONS

ARCHITECTURAL

A0.0	COVER SHEET
A0.1	EXTERIOR MATERIALS
A0.2	LOT COVERAGE & AREA DIAGRAMS
A0.3	COLORIZED FRONT & SIDE ELEVATIONS
SU-1	EXISTING SITE PLAN / TOPO SURVEY
A1.0	PROPOSED SITE PLAN
AB1.1	EXISTING / DEMO ROOF PLAN
A1.1	PROPOSED ROOF PLAN
AB2.0	EXISTING / DEMO LOWER LEVEL PLAN
AB2.1	EXISTING / DEMO MAIN LEVEL PLAN
A2.0	PROPOSED LOWER LEVEL FLOOR PLAN
A2.1	PROPOSED MAIN LEVEL FLOOR PLAN
A2.2	PROPOSED UPPER LEVEL FLOOR PLAN
AB3.0	EXISTING EXTERIOR ELEVATIONS
A3.0	PROPOSED EXTERIOR ELEVATIONS
AB4.0	EXISTING BUILDING SECTION
A4.0	PROPOSED BUILDING SECTIONS

CLIENTS:

CLARE & BEN HULSE
 1850 SUNSHINE VALLEY RD
 MOSS BEACH, CA 94038



PROJECT:

HULSE RESIDENCE
 1850 SUNSHINE VALLEY RD
 MOSS BEACH, CA

APN: 037-159-060
 APN: 037-159-050
 APN: 037-159-040

ISSUE:

NO.	DESCRIPTION	DATE
-----	-------------	------

DESIGN REVIEW

SCALE: N/A
 DATE: 10.10.2024

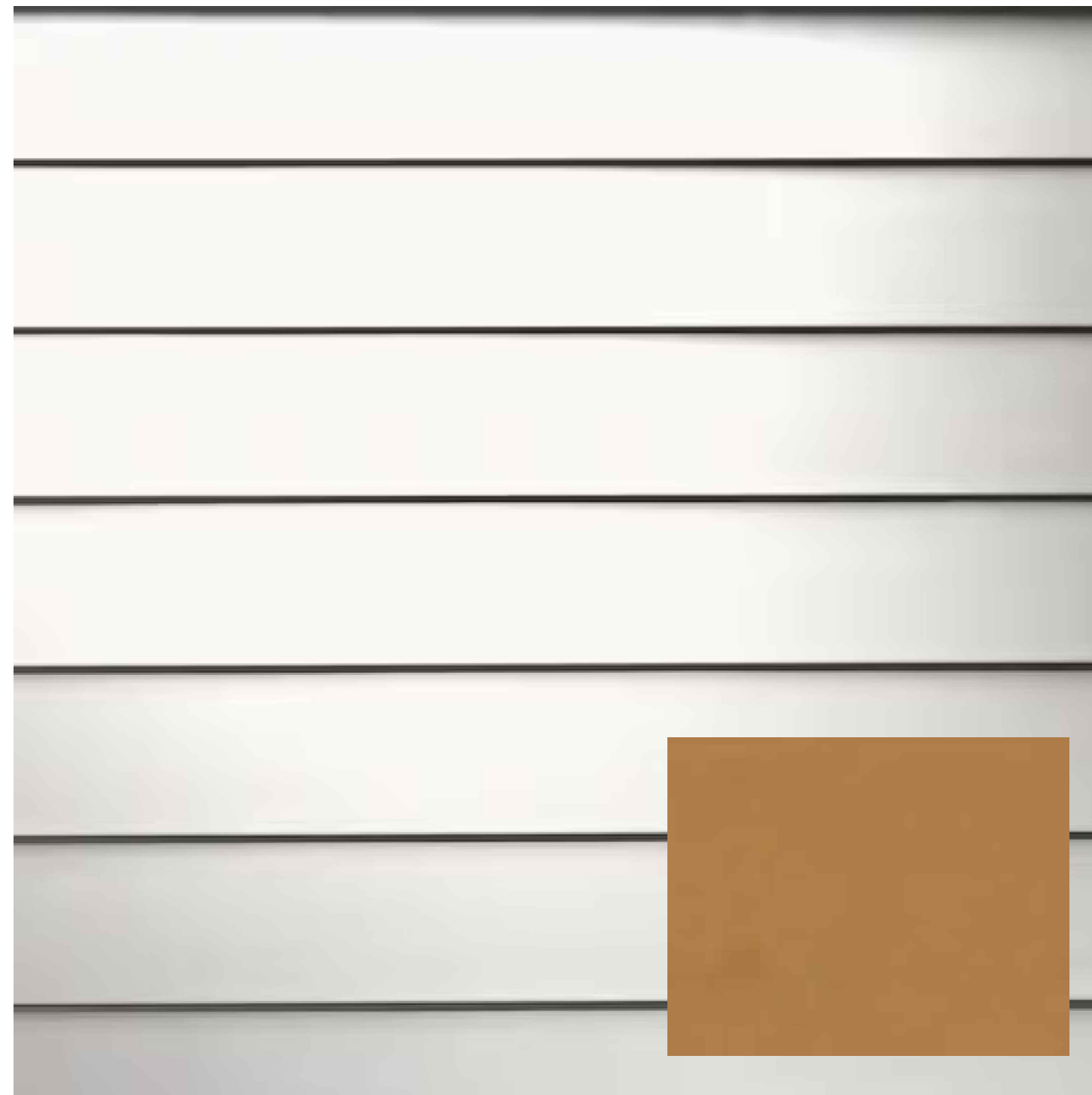
A0.0
 CODES, VICINITY MAP,
 PROJECT DESCRIPTION,
 SHEET INDEX

CLIENTS:

CLARE & BEN
HULSE
1850 SUNSHINE VALLEY RD
MOSS BEACH, CA 94038



P.O. BOX 2115 EL GRANADA, CA 94018
REBECCA@KAKINARCHITECTURE.COM
415.706.0981



SECONDARY SIDING: PLANK LAP CEMENT SIDING 6.25",
PRIMED (NEW); PAINTED TO MATCH (E) SIDING



ROOF: ASPHALT SHINGLE, GAF TIMBERLINE
HDZ CEDAR FALLS OR SIM. (MATCH EXISTING)



WINDOWS & DOORS:
CLAD WOOD, DARK BROWN EXTERIOR

PROJECT:

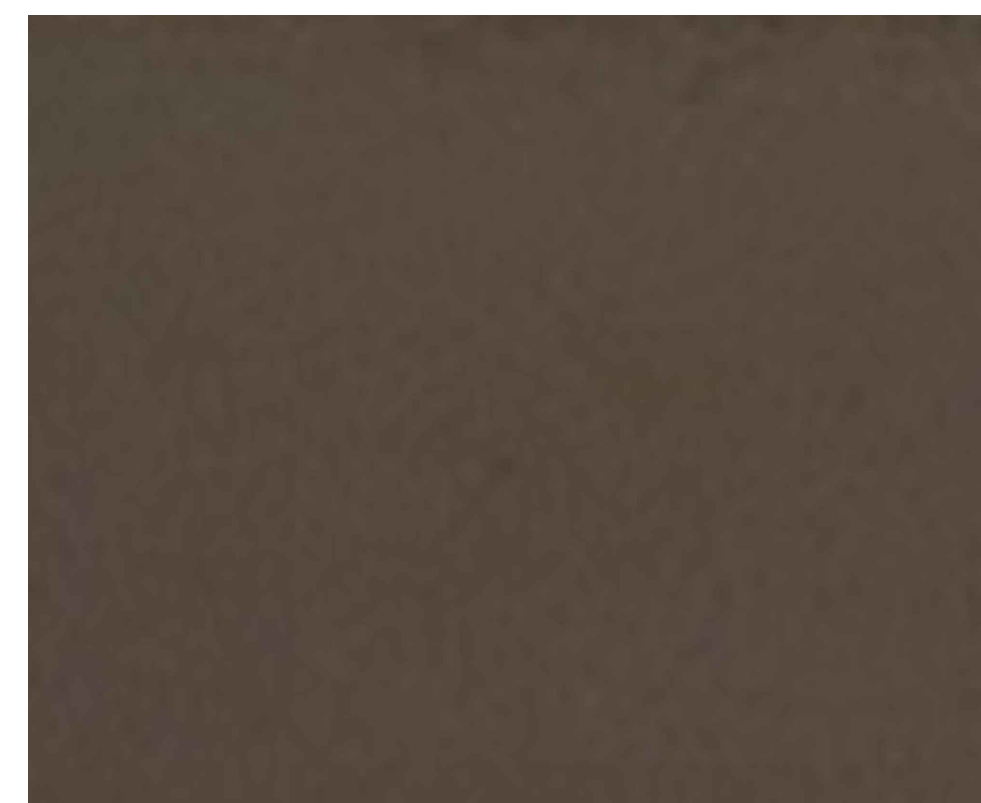
HULSE RESIDENCE

1850 SUNSHINE VALLEY RD
MOSS BEACH, CA

APN: 037-159-060
APN: 037-159-050
APN: 037-159-040



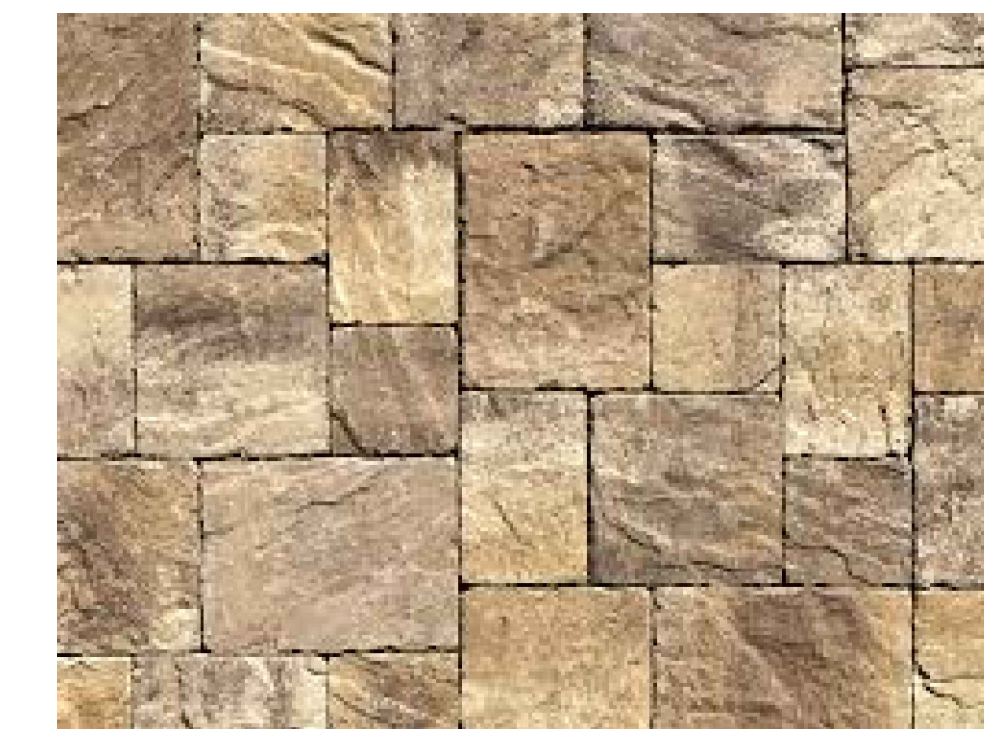
PRIMARY SIDING: T1-11 IN OCHRE COLOR (EXISTING)



TRIM PAINT:
DARK BROWN (EXISTING & NEW)



EXTERIOR LIGHTING:
HINKLEY SHELTER LED SCONCE
DARK SKY COMPLIANT



PAVING:
PERMEABLE QUARRY STONE,
CREAM COLOR, OLD TOWN PATTERN

ISSUE:

NO.	DESCRIPTION	DATE
-----	-------------	------

DESIGN REVIEW

SCALE: N/A

DATE: 10.10.2024

A0.1
EXTERIOR MATERIALS

CLIENTS:

CLARE & BEN
HULSE
1850 SUNSHINE VALLEY RD
MOSS BEACH, CA 94038



P.O. BOX 2115 EL GRANADA, CA 94018
REBECCA@KATKINARCHITECTURE.COM
415.706.0981

PROJECT:

HULSE RESIDENCE
1850 SUNSHINE VALLEY RD
MOSS BEACH, CA

APN: 037-159-060
APN: 037-159-050
APN: 037-159-040

ISSUE:

NO.	DESCRIPTION	DATE

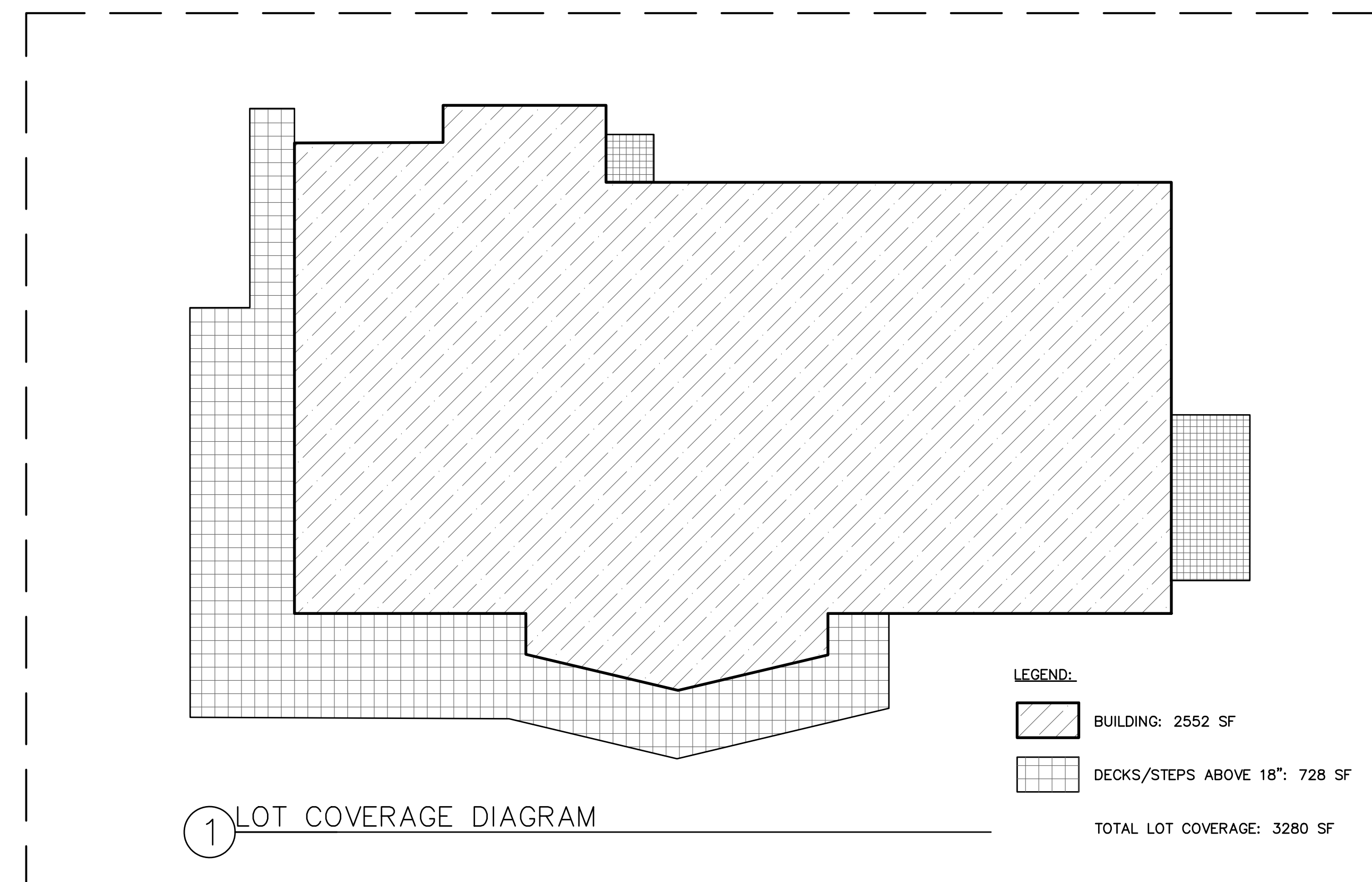
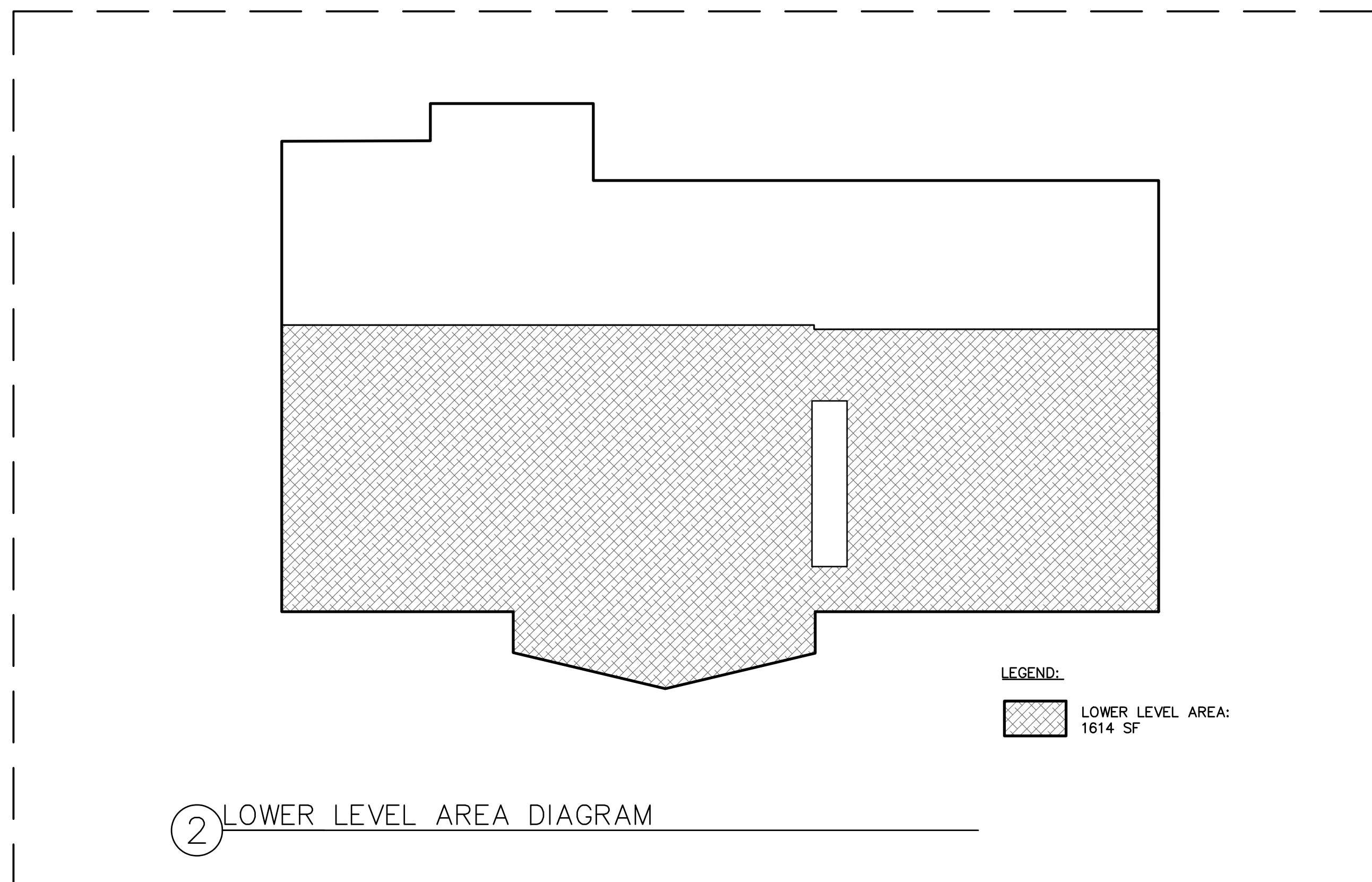
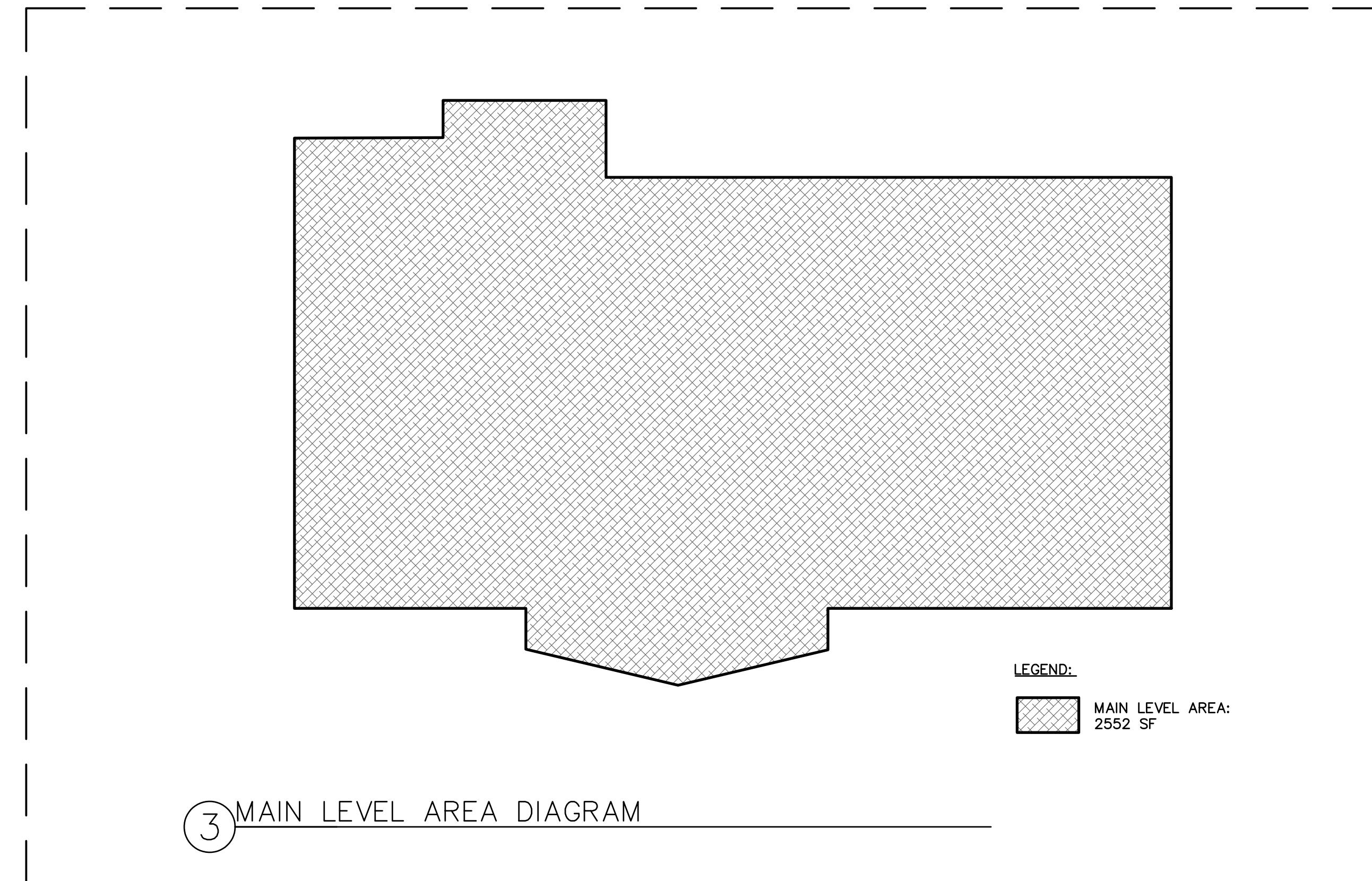
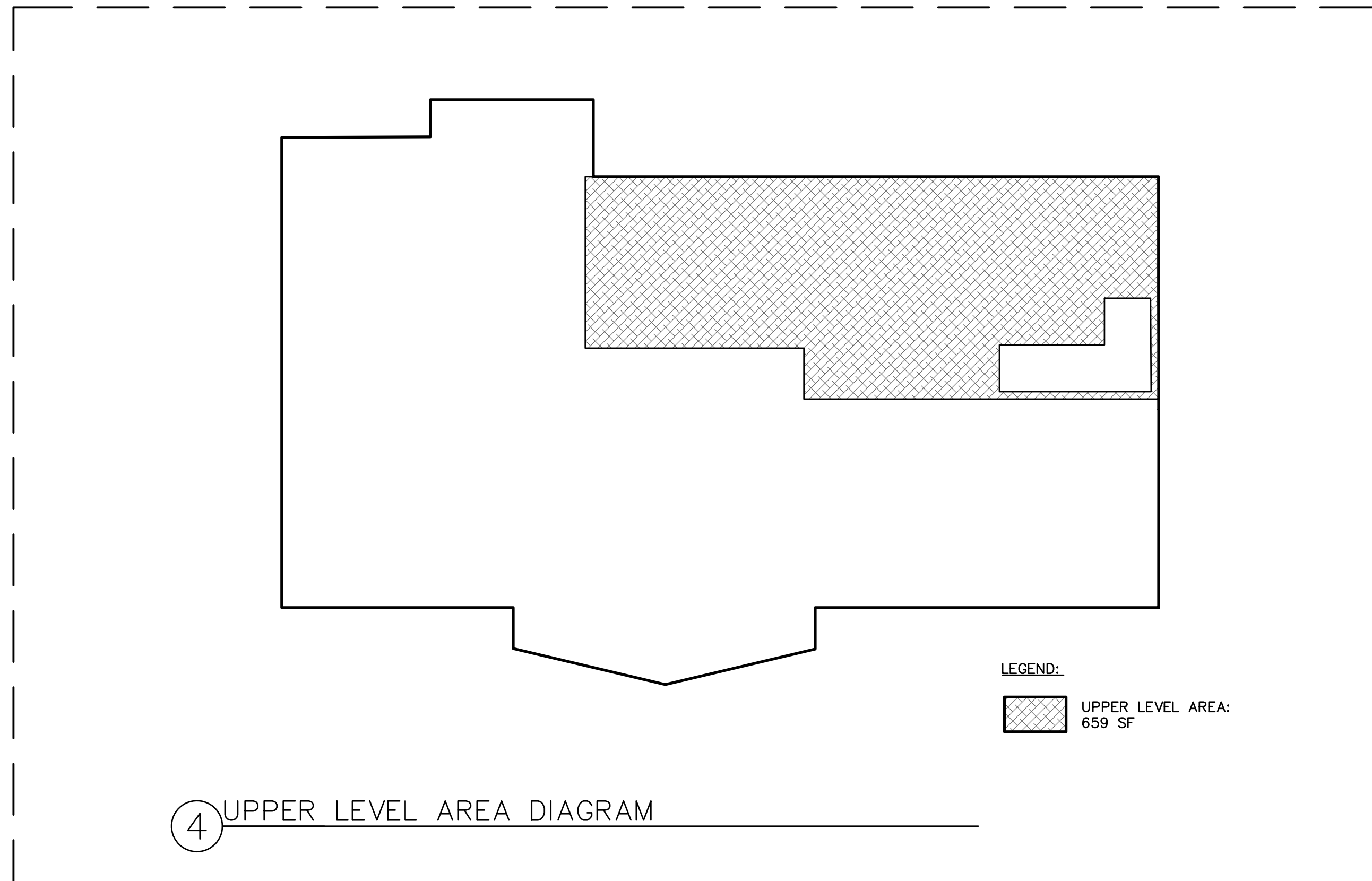
DESIGN REVIEW

SCALE: 1/8" = 1'-0"

DATE: 10.10.2024

A0.2

LOT COVERAGE &
AREA DIAGRAMS



CLIENTS:

CLARE & BEN
HULSE
1850 SUNSHINE VALLEY RD
MOSS BEACH, CA 94038



P.O. BOX 2115 EL GRANADA, CA 94018
REBECCA@KAKINARCHITECTURE.COM
415.706.0981

PROJECT:

HULSE RESIDENCE

1850 SUNSHINE VALLEY RD
MOSS BEACH, CA

APN: 037-159-060
APN: 037-159-050
APN: 037-159-040

ISSUE:

NO.	DESCRIPTION	DATE

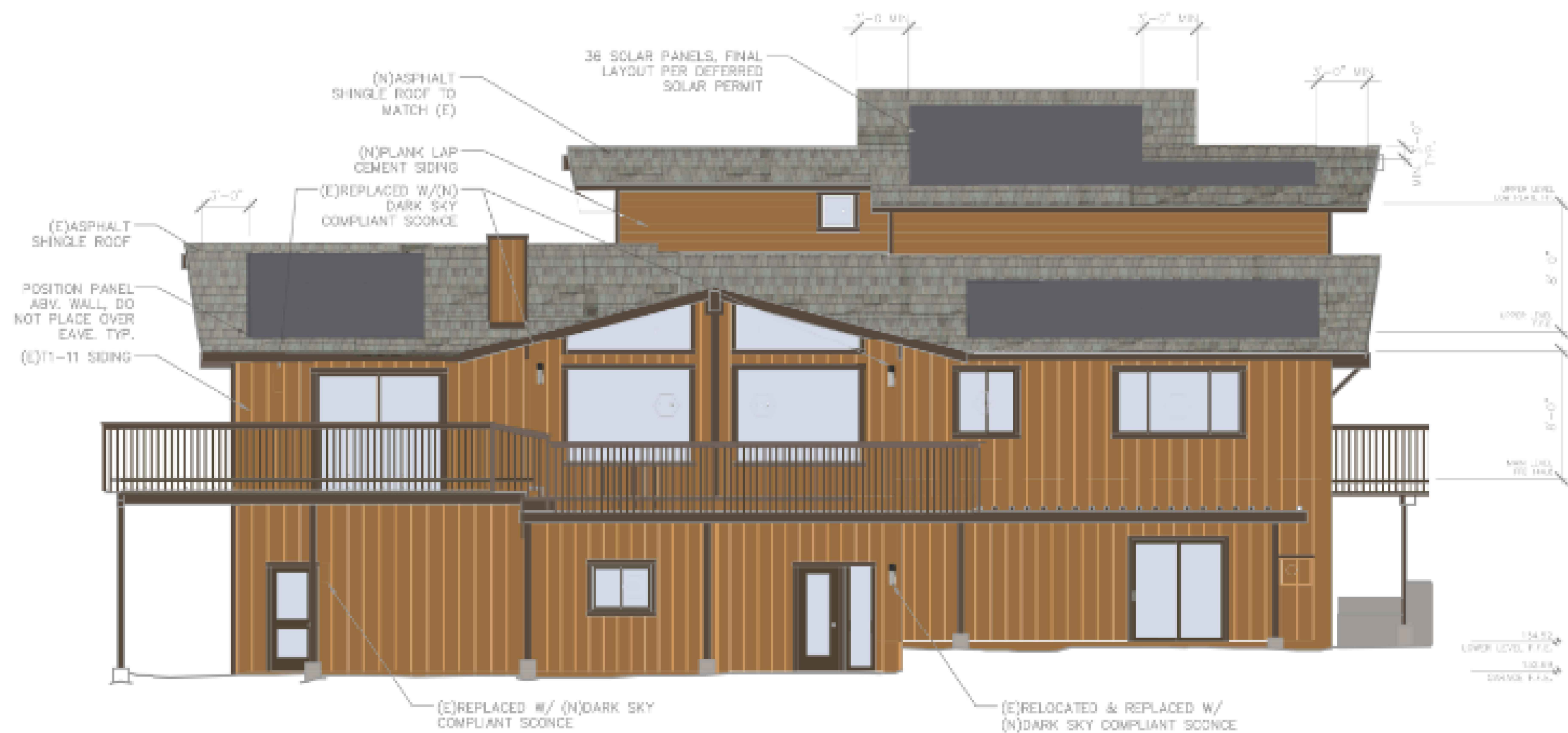
DESIGN REVIEW

SCALE: N.T.S.

DATE: 10.10.2024

A0.3

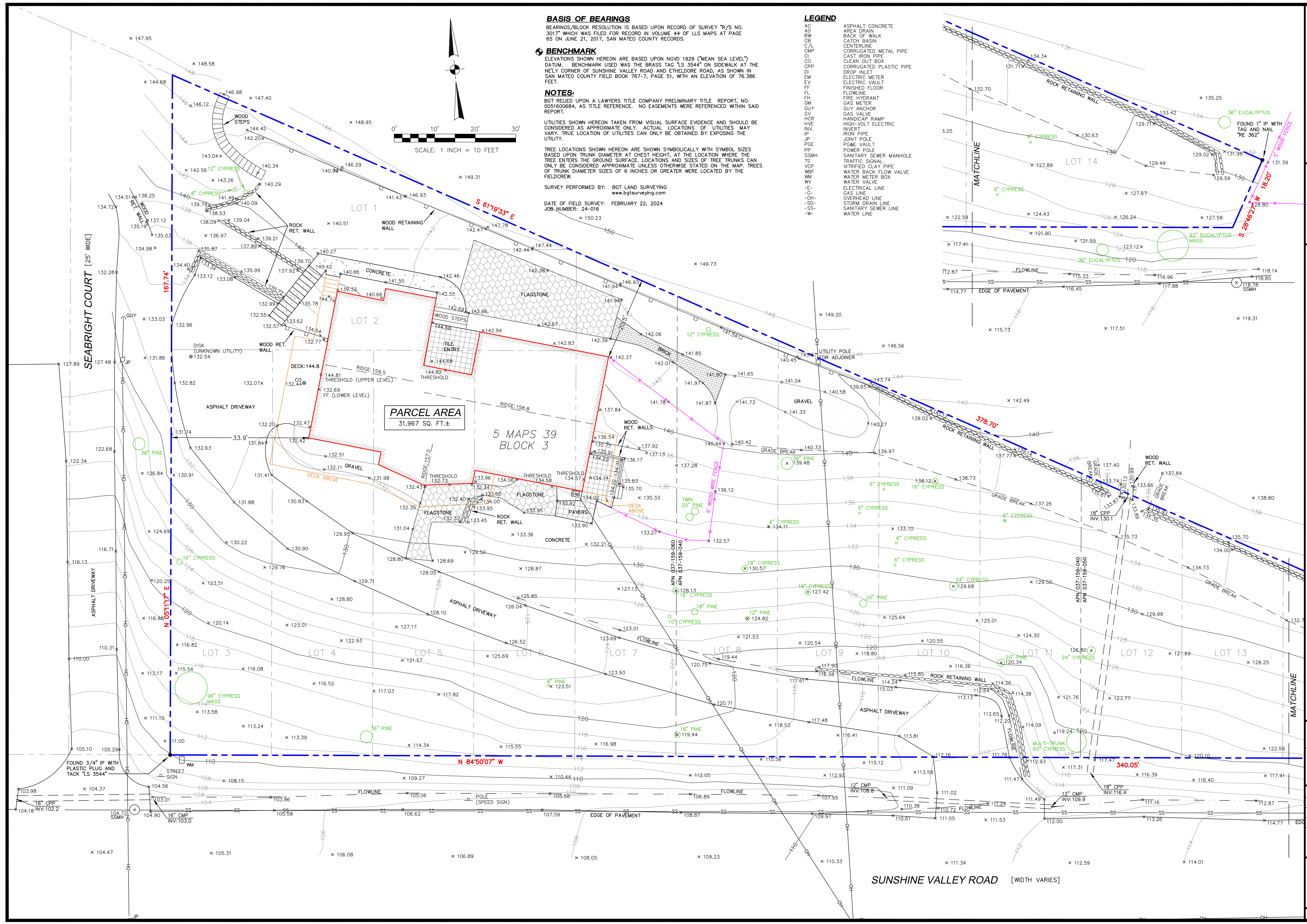
COLORIZED FRONT
(SOUTH) & SIDE
(EAST) ELEVATIONS



② PROPOSED SOUTH EXTERIOR ELEVATION



① PROPOSED EAST EXTERIOR ELEVATION



BASIS OF BEARINGS

BEARINGS/BLOCK RESOLUTION IS BASED UPON RECORD OF SURVEY R/S NO. 3017 WHICH WAS FILED FOR RECORD IN VOLUME 44 OF LLS MAPS AT PAGE 65 ON JUNE 21, 2017, SAN MATEO COUNTY RECORDS.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 1929 ("MEAN SEA LEVEL") DATUM. BENCHMARK USED WAS THE BRASS TAG "LS 3544" ON SIDEWALK AT THE NE'LY CORNER OF SUNSHINE VALLEY ROAD AND ETHELDORO ROAD, AS SHOWN IN SAN MATEO COUNTY FIELD BOOK 767-7, PAGE 51, WITH AN ELEVATION OF 76.386 FEET.

NOTES:

BGT RELIED UPON A LAWYER'S TITLE COMPANY PRELIMINARY TITLE REPORT, NO. 0051600684, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtlandsurveying.com

DATE OF FIELD SURVEY: FEBRUARY 22, 2024
JOB NUMBER: 24-016

LEGEND

- AC ASPHALT CONCRETE
- AD AREA DRAIN
- BW BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CP CLEAN OUT BOX
- CPP CORRUGATED PLASTIC PIPE
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VALVE
- FF FINISHED FLOOR
- FL FLOWLINE
- FI FIRE HYDRANT
- GM GAS METER
- GV GUY ANCHOR
- GV GAS VALVE
- HR HANDICAP RAMP
- HVE HIGH-VOLT ELECTRIC
- IN INVERT
- IP IRON PIPE
- JP JOINT POLE
- PP POWER POLE
- PPG POWER POLE
- SSMH SANITARY SEWER MANHOLE
- TS TRAFFIC SIGNAL
- VCP VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- E- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- W- WATER LINE

BGT LAND SURVEYING
871 Woodside Way - San Mateo, CA 94401
Main (650) 212-1030
bgtinfo@bgtlandsurveying.com

LICENSED LAND SURVEYOR
BRYAN G. TAYLOR
NO. 7551
STATE OF CALIFORNIA

BOUNDARY AND TOPOGRAPHIC SURVEY
LOTS 1-14, BLOCK 3, "MARINE VIEW TERRACE" (BOOK 5 MAPS 39)
1850 SUNSHINE VALLEY ROAD
MOSS BEACH, COUNTY OF SAN MATEO, CALIFORNIA

Assessor Parcel Number:
037-159-060
037-159-050
037-159-040

Prepared For:
CLARE AND BEN HULSE
1850 SUNSHINE VALLEY ROAD
MOSS BEACH, CA 94038

Date: FEB. 2024
Scale: 1" = 10'
Contour Interval: 2'
Drawn by: BGT

SU-1

Revisions:
Job No. 24-016



HULSE RESIDENCE

1850 SUNSHINE VALLEY RD
MOSS BEACH, CA

APN: 037-159-060
APN: 037-159-050
APN: 037-159-040

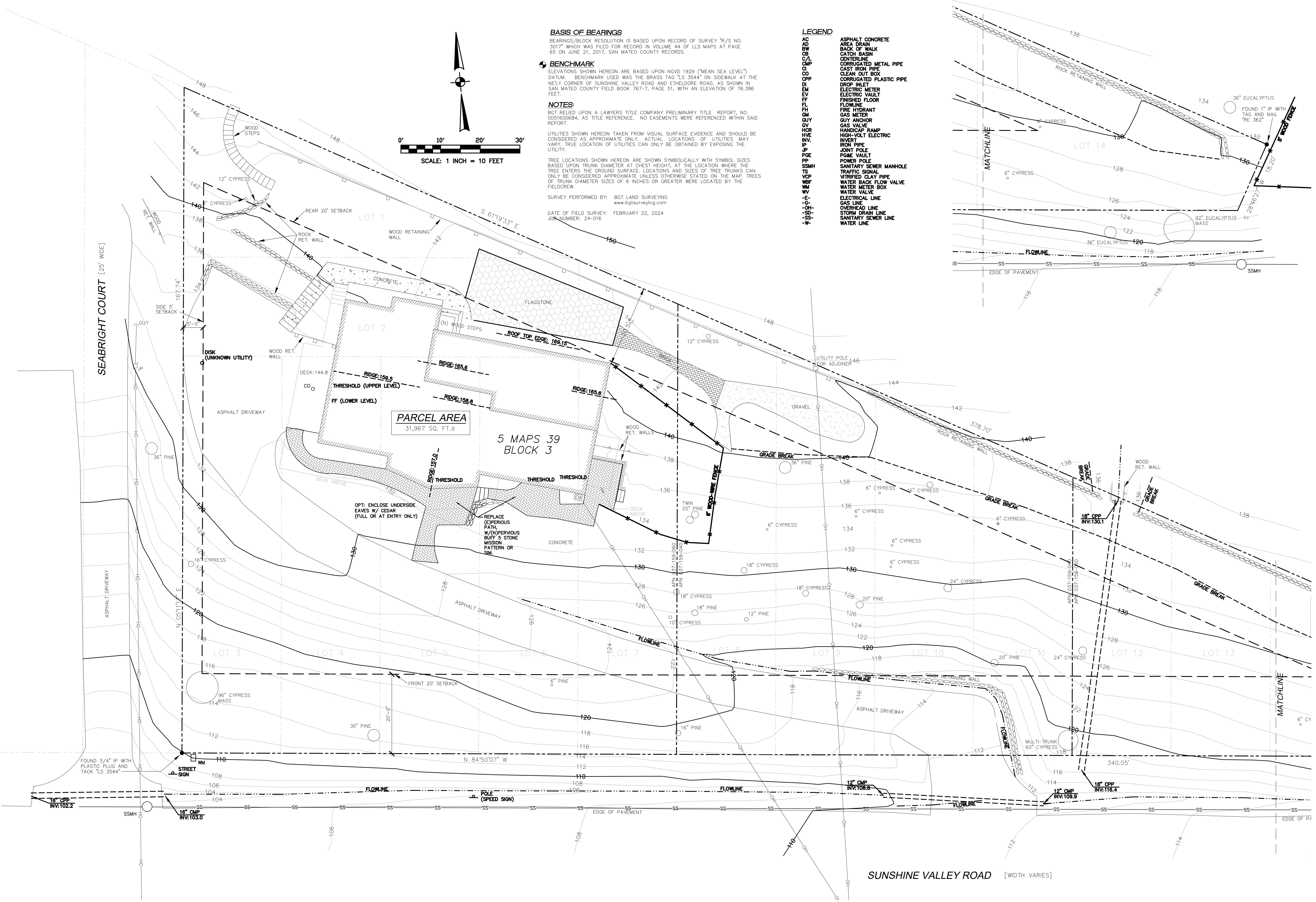
NO.	DESCRIPTION	DATE

DESIGN REVIEW

SCALE: 3/32" = 1'-0"

DATE: 10.10.2024

A1.0
PROPOSED SITE PLAN



BASIS OF BEARINGS

BEARINGS/BLOCK RESOLUTION IS BASED UPON RECORD OF SURVEY 'R/S NO. 3017' WHICH WAS FILED FOR RECORD IN VOLUME 44 OF LLS MAPS AT PAGE 65 ON JUNE 21, 2017, SAN MATEO COUNTY RECORDS.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 1929 ("MEAN SEA LEVEL") DATUM. BENCHMARK USED WAS THE BRASS TAG "LS 3544" ON SIDEWALK AT THE NELY CORNER OF SUNSHINE VALLEY ROAD AND ETHELDORRE ROAD, AS SHOWN IN SAN MATEO COUNTY FIELD BOOK 767-7, PAGE 51, WITH AN ELEVATION OF 76.386 FEET.

NOTES

BGT RELIED UPON A LAWYERS TITLE COMPANY PRELIMINARY TITLE REPORT, NO. 0051600684, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

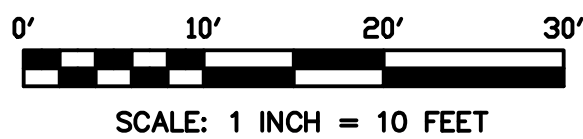
TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtlandsurveying.com

DATE OF FIELD SURVEY: FEBRUARY 22, 2024
JOB NUMBER: 24-016

LEGEND

- AC ASPHALT CONCRETE
- AD AREA DRAIN
- AW BACK OF WALK
- CB CATCH BASIN
- CL CENTERLINE
- CMP CORRUGATED METAL PIPE
- CO CAST IRON PIPE
- CP CORRUGATED PLASTIC PIPE
- DI DROP INLET
- EM ELECTRIC METER
- EV CLEAN OUT BOX
- FT CORRUGATED PLASTIC PIPE
- FL FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GUY GUY ANCHOR
- GV GAS VALVE
- HCR HANDICAP RAMP
- HVE HIGH-VOLT ELECTRIC
- INV. INVERT
- IP IRON PIPE
- JP JOINT POLE
- PGE PG&E VAULT
- PP POWER POLE
- SSMH SANITARY SEWER MANHOLE
- TS TRAFFIC SIGNAL
- VCP VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- EL ELECTRICAL LINE
- GL GAS LINE
- OV OVERHEAD LINE
- SD STORM DRAIN LINE
- SS SANITARY SEWER LINE
- WL WATER LINE



PARCEL AREA
31,967 SQ. FT. ±

5 MAPS 39
BLOCK 3

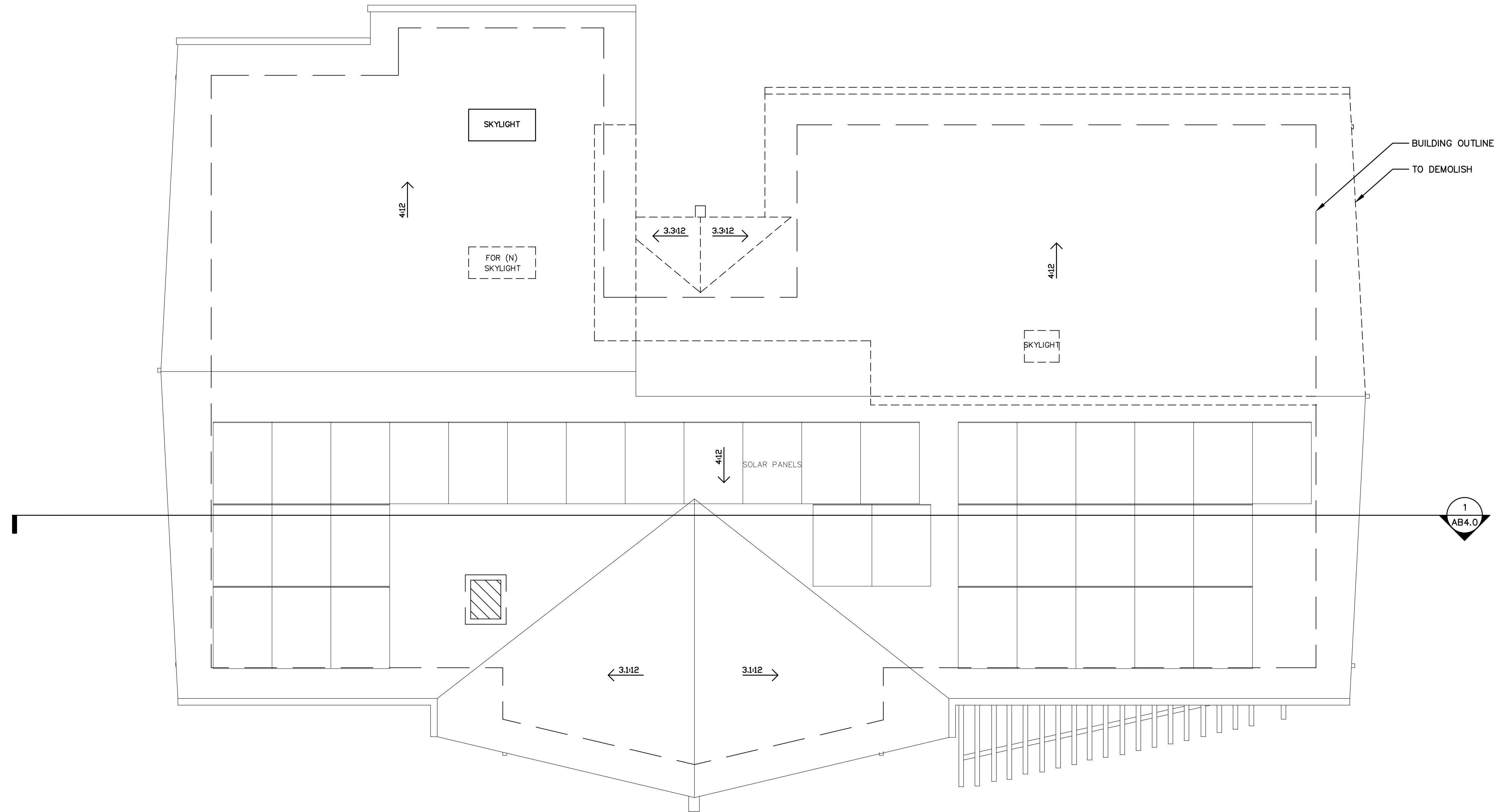
SUNSHINE VALLEY ROAD [WIDTH VARIES]

CLIENTS:

CLARE & BEN
HULSE
1850 SUNSHINE VALLEY RD
MOSS BEACH, CA 94038



P.O. BOX 2115 EL GRANADA, CA 94018
REBECCA@KAKINARCHITECTURE.COM
415.706.0981



PROJECT:

HULSE RESIDENCE

1850 SUNSHINE VALLEY RD
MOSS BEACH, CA

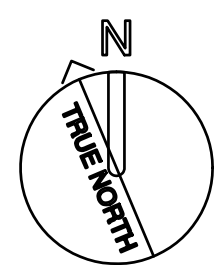
APN: 037-159-060
APN: 037-159-050
APN: 037-159-040

ISSUE:

NO.	DESCRIPTION	DATE

LEGEND:

- TO REMAIN
- - - TO DEMOLISH
- BUILDING OUTLINE



DESIGN REVIEW

SCALE: 1/4" = 1'-0"

DATE: 10.10.2024

AB1.1

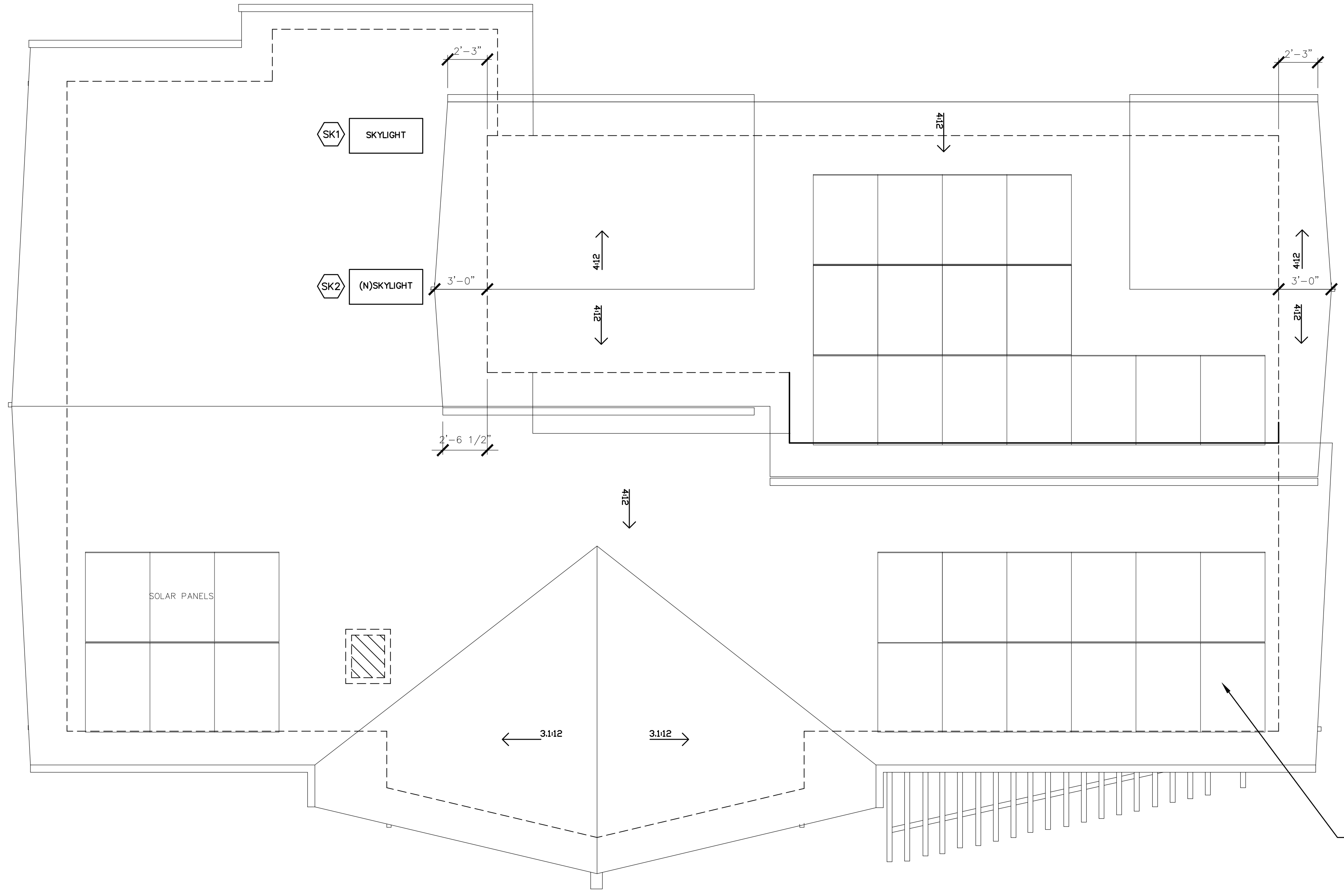
EXISTING / DEMO
ROOF PLAN

CLIENTS:

CLARE & BEN
HULSE
1850 SUNSHINE VALLEY RD
MOSS BEACH, CA 94038



P.O. BOX 2115 EL GRANADA, CA 94018
REBECCA@KAKINARCHITECTURE.COM
415.706.0981



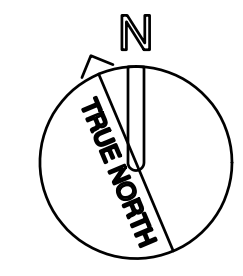
36 SOLAR PANELS. FINAL LAYOUT PER SOLAR COMPANY UNDER DEFERRED SUBMITTAL.

PROJECT:

HULSE RESIDENCE
1850 SUNSHINE VALLEY RD
MOSS BEACH, CA
APN: 037-159-060
APN: 037-159-050
APN: 037-159-040

ISSUE:

NO.	DESCRIPTION	DATE



DESIGN REVIEW

SCALE: 1/4" = 1'-0"

DATE: 10.10.2024

A1.1
PROPOSED
ROOF PLAN

CLIENTS:

CLARE & BEN
HULSE
1850 SUNSHINE VALLEY RD
MOSS BEACH, CA 94038



P.O. BOX 2115 EL GRANADA, CA 94018
REBECCA@KAKINARCHITECTURE.COM
415.706.0981

PROJECT:

HULSE RESIDENCE
1850 SUNSHINE VALLEY RD
MOSS BEACH, CA

APN: 037-159-060
APN: 037-159-050
APN: 037-159-040

ISSUE:

NO.	DESCRIPTION	DATE

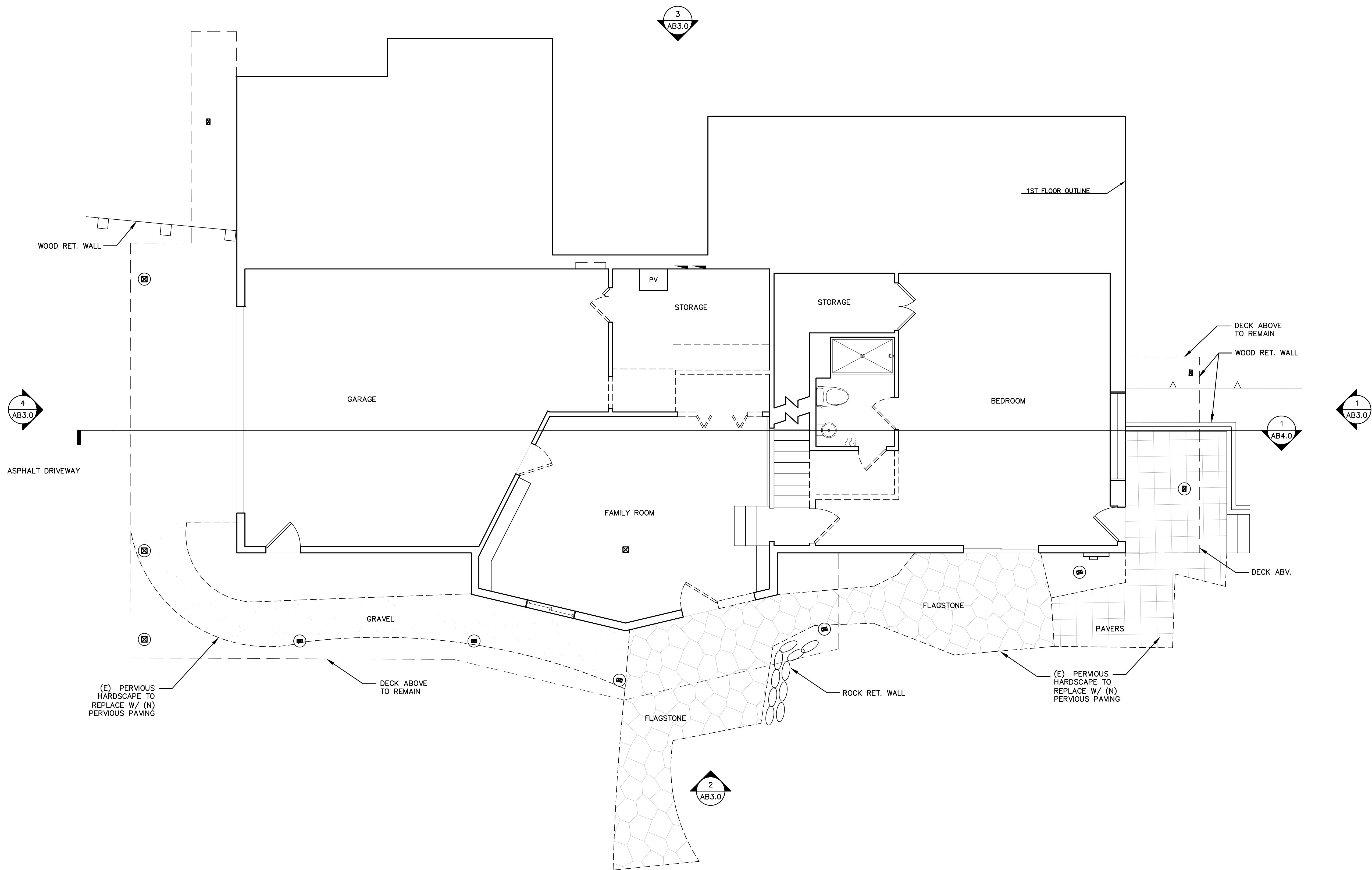
DESIGN REVIEW

SCALE: 1/4" = 1'-0"

DATE: 10.10.2024

AB2.0

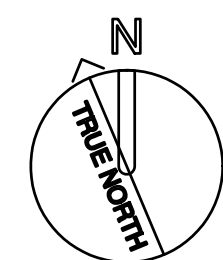
EXISTING / DEMO
LOWER LEVEL
FLOOR PLAN



LEGEND:

— TO REMAIN

- - - TO DEMOLISH

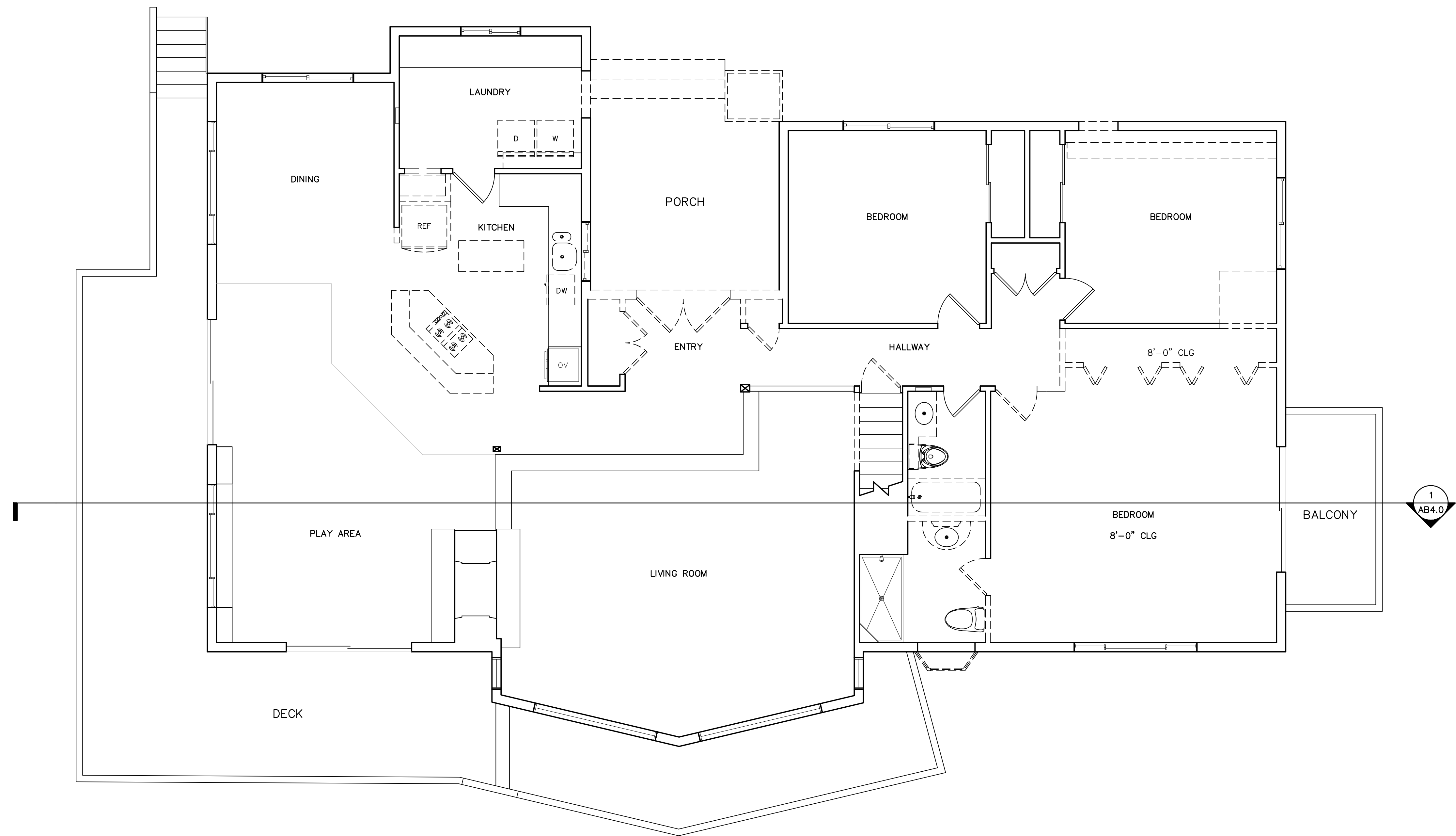


CLIENTS:

CLARE & BEN
HULSE
1850 SUNSHINE VALLEY RD
MOSS BEACH, CA 94038



P.O. BOX 2115 EL GRANADA, CA 94018
REBECCA@KAKINARCHITECTURE.COM
415.706.0981



PROJECT:

HULSE RESIDENCE

1850 SUNSHINE VALLEY RD
MOSS BEACH, CA

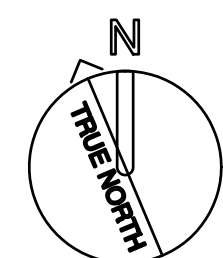
APN: 037-159-060
APN: 037-159-050
APN: 037-159-040

ISSUE:

NO.	DESCRIPTION	DATE

LEGEND:

— TO REMAIN
- - - TO DEMOLISH



DESIGN REVIEW

SCALE: 1/4" = 1'-0"

DATE: 10.10.2024

AB2.1

EXISTING / DEMO
MAIN LEVEL
FLOOR PLAN

CLIENTS:

CLARE & BEN
HULSE
1850 SUNSHINE VALLEY RD
MOSS BEACH, CA 94038



P.O. BOX 2115 EL GRANADA, CA 94018
REBECCA@KAKINARCHITECTURE.COM
415.706.0981

PROJECT:

HULSE RESIDENCE

1850 SUNSHINE VALLEY RD
MOSS BEACH, CA

APN: 037-159-060
APN: 037-159-050
APN: 037-159-040

ISSUE:

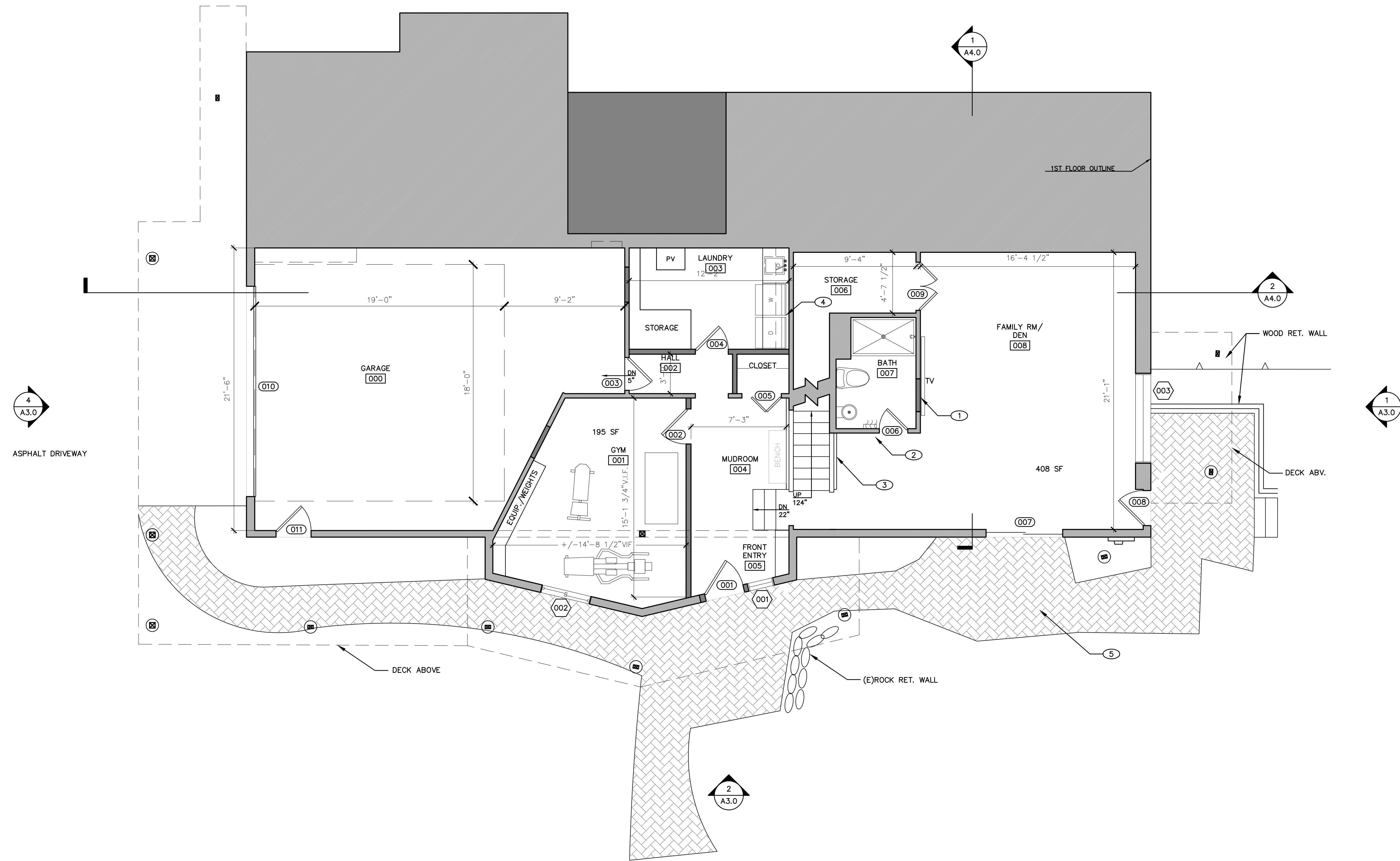
NO. DESCRIPTION DATE

DESIGN REVIEW

SCALE: 1/4" = 1'-0"

DATE: 10.10.2024

A2.0
PROPOSED
LOWER LEVEL
FLOOR PLAN



4
A3.0
ASPHALT DRIVEWAY

1
A3.0

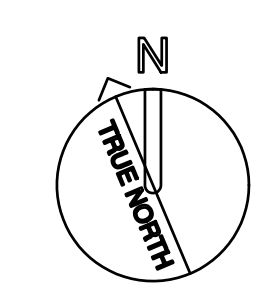
2
A4.0

2
A3.0

GENERAL NOTES:
1. DO NOT SCALE DRAWINGS

SHEET NOTES:
1 RELOCATE BATH ENTRANCE
2 REMOVE BATHRM CLOSET & RELOCATE BATH ENTRANCE
3 OPEN WALL TO FAMILY ROOM
4 ELECTRIC CONDENSING DRYER
5 REPLACE EXISTING PERVIOUS PATHS/PAVING W/ (N) CONSISTENT PERVIOUS PAVING

LEGEND:
NEW WALLS
EXISTING WALLS



CLIENTS:

CLARE & BEN
HULSE
1850 SUNSHINE VALLEY RD
MOSS BEACH, CA 94038



P.O. BOX 2115 EL GRANADA, CA 94018
REBECCA@KAKINARCHITECTURE.COM
415.706.0981

PROJECT:

HULSE RESIDENCE

1850 SUNSHINE VALLEY RD
MOSS BEACH, CA

APN: 037-159-060
APN: 037-159-050
APN: 037-159-040

ISSUE:

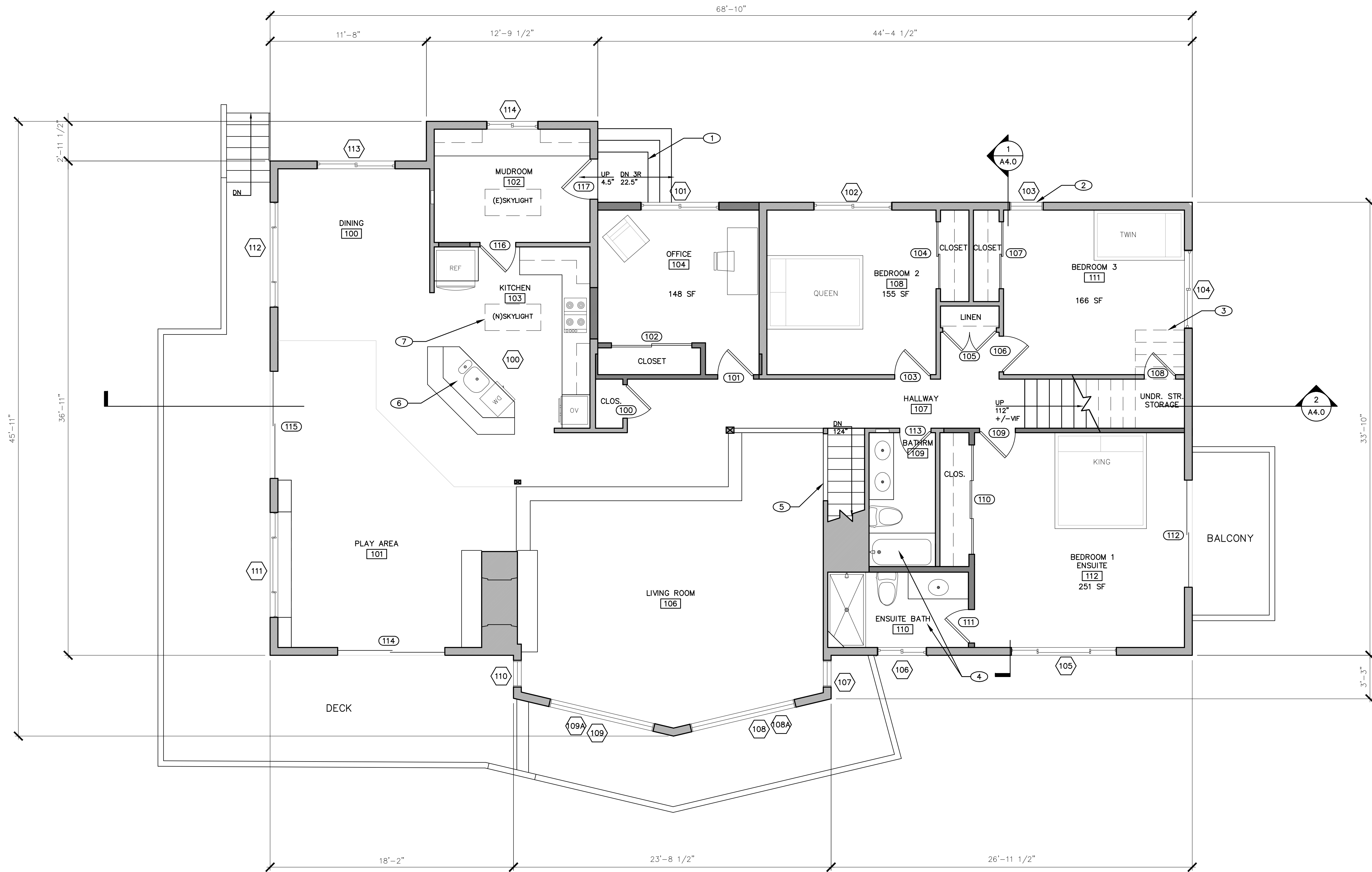
NO.	DESCRIPTION	DATE

DESIGN REVIEW

SCALE: 1/4" = 1'-0"

DATE: 10.10.2024

A2.1
PROPOSED
MAIN LEVEL
FLOOR PLAN



GENERAL NOTES:

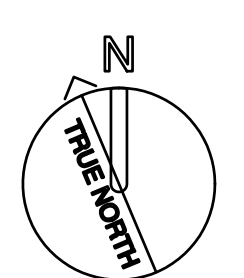
- DO NOT SCALE DRAWINGS

SHEET NOTES:

- ① (N)DOOR & STEPS TO NORTH SIDE OF HOUSE FROM LAUNDRY ROOM
- ② (N)WINDOW
- ③ SLOPED CEILING BELOW STAIRS
- ④ RECONFIGURE BATHROOMS; ENSUITE SHOWER TO REMAIN IN (E) LOCATION
- ⑤ OPEN WALL TO MATCH HT. OF ADJ. PONY WALL. MIN. 42" A.F.F
- ⑥ MOVE SINK & DW TO ISLAND/ COOKTOP TO SIDE WALL; SCOPE OF WORK T.B.D.
- ⑦ (N)SKYLIGHT

LEGEND:

- NEW WALLS
- EXISTING WALLS

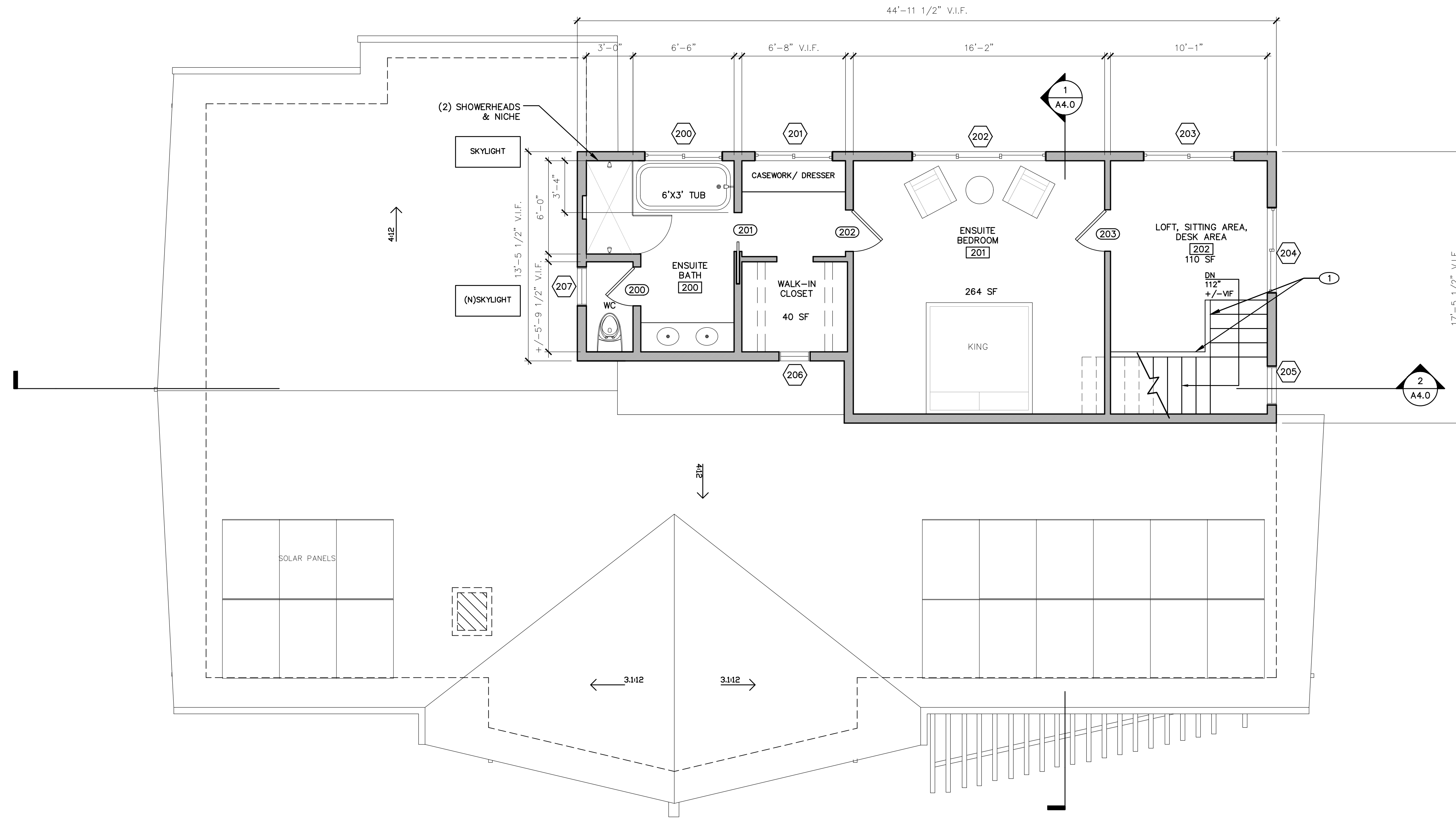


CLIENTS:

CLARE & BEN
HULSE
1850 SUNSHINE VALLEY RD
MOSS BEACH, CA 94038



P.O. BOX 2115 EL GRANADA, CA 94018
REBECCA@KAKINARCHITECTURE.COM
415.706.0981



PROJECT:

HULSE RESIDENCE

1850 SUNSHINE VALLEY RD
MOSS BEACH, CA

APN: 037-159-060
APN: 037-159-050
APN: 037-159-040

ISSUE:

NO. DESCRIPTION DATE

DESIGN REVIEW

SCALE: 1/4" = 1'-0"

DATE: 10.10.2024

A2.2
PROPOSED
UPPER LEVEL
FLOOR PLAN

GENERAL NOTES:

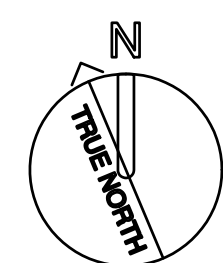
- 1. DO NOT SCALE DRAWINGS

SHEET NOTES:

- 1. PONY WALL W/ WOOD CAP

LEGEND:

- NEW WALLS
- EXISTING WALLS

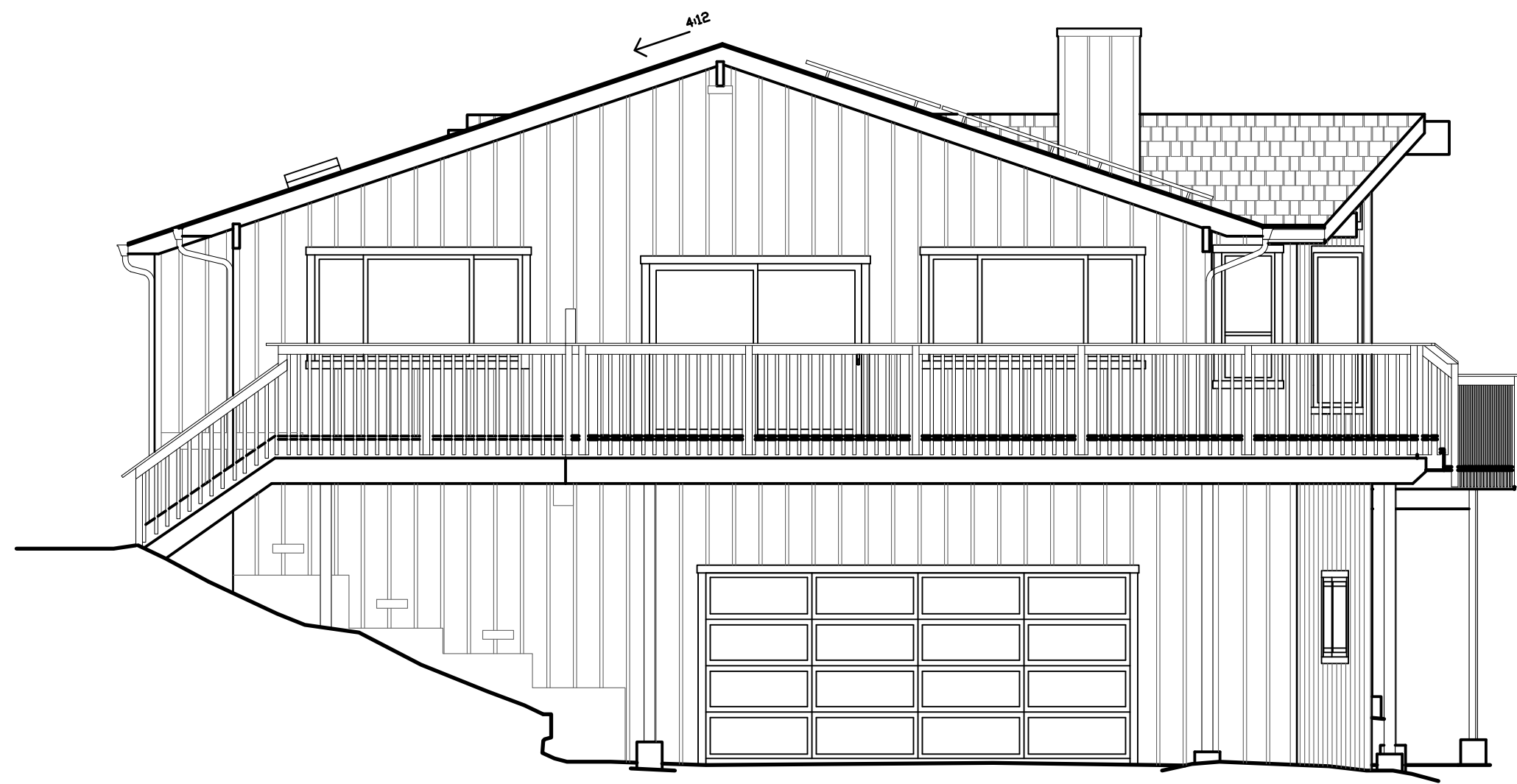


CLIENTS:

CLARE & BEN
HULSE
1850 SUNSHINE VALLEY RD
MOSS BEACH, CA 94038



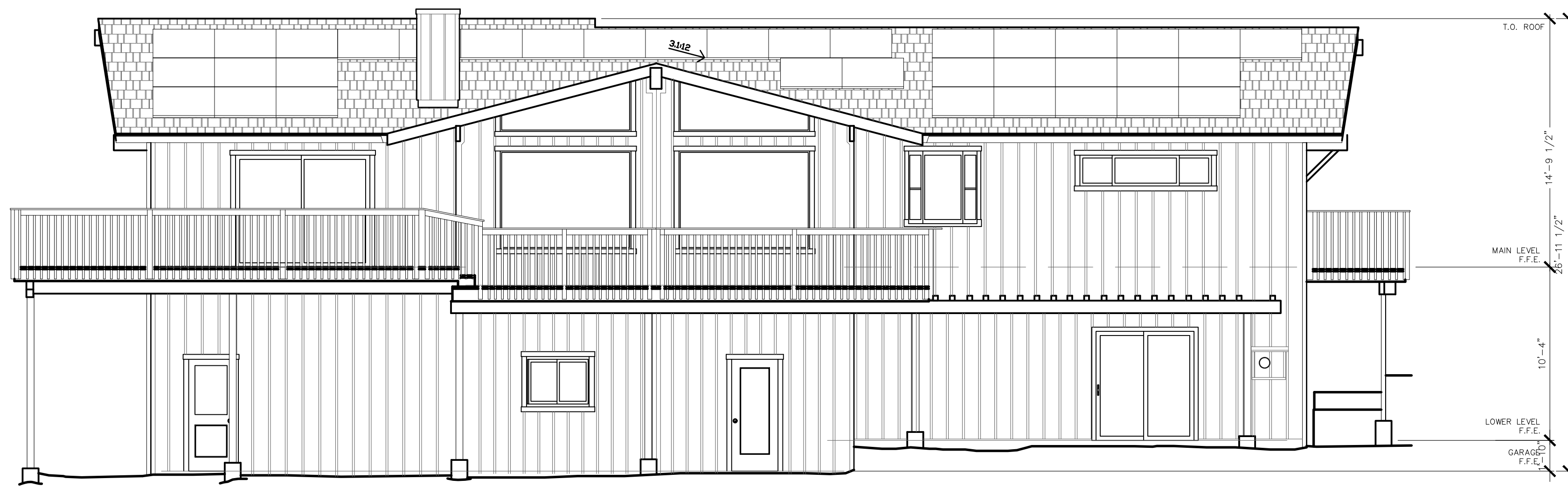
P.O. BOX 2115 EL GRANADA, CA 94018
REBECCA@KAKINARCHITECTURE.COM
415.706.0981



④ EXISTING WEST EXTERIOR ELEVATION



③ EXISTING NORTH EXTERIOR ELEVATION



② EXISTING SOUTH EXTERIOR ELEVATION



① EXISTING EAST EXTERIOR ELEVATION

PROJECT:

HULSE RESIDENCE

1850 SUNSHINE VALLEY RD
MOSS BEACH, CA

APN: 037-159-060
APN: 037-159-050
APN: 037-159-040

ISSUE:

NO.	DESCRIPTION	DATE
-----	-------------	------

DESIGN REVIEW

SCALE: 3/16 = 1'-0"

DATE: 10.10.2024

AB3.0

EXISTING EXTERIOR
ELEVATIONS

CLIENTS:

CLARE & BEN
HULSE
1850 SUNSHINE VALLEY RD
MOSS BEACH, CA 94038



P.O. BOX 2115 EL GRANADA, CA 94018
REBECCA@KAKINARCHITECTURE.COM
415.706.0981

PROJECT:

HULSE RESIDENCE

1850 SUNSHINE VALLEY RD
MOSS BEACH, CA

APN: 037-159-060
APN: 037-159-050
APN: 037-159-040

ISSUE:

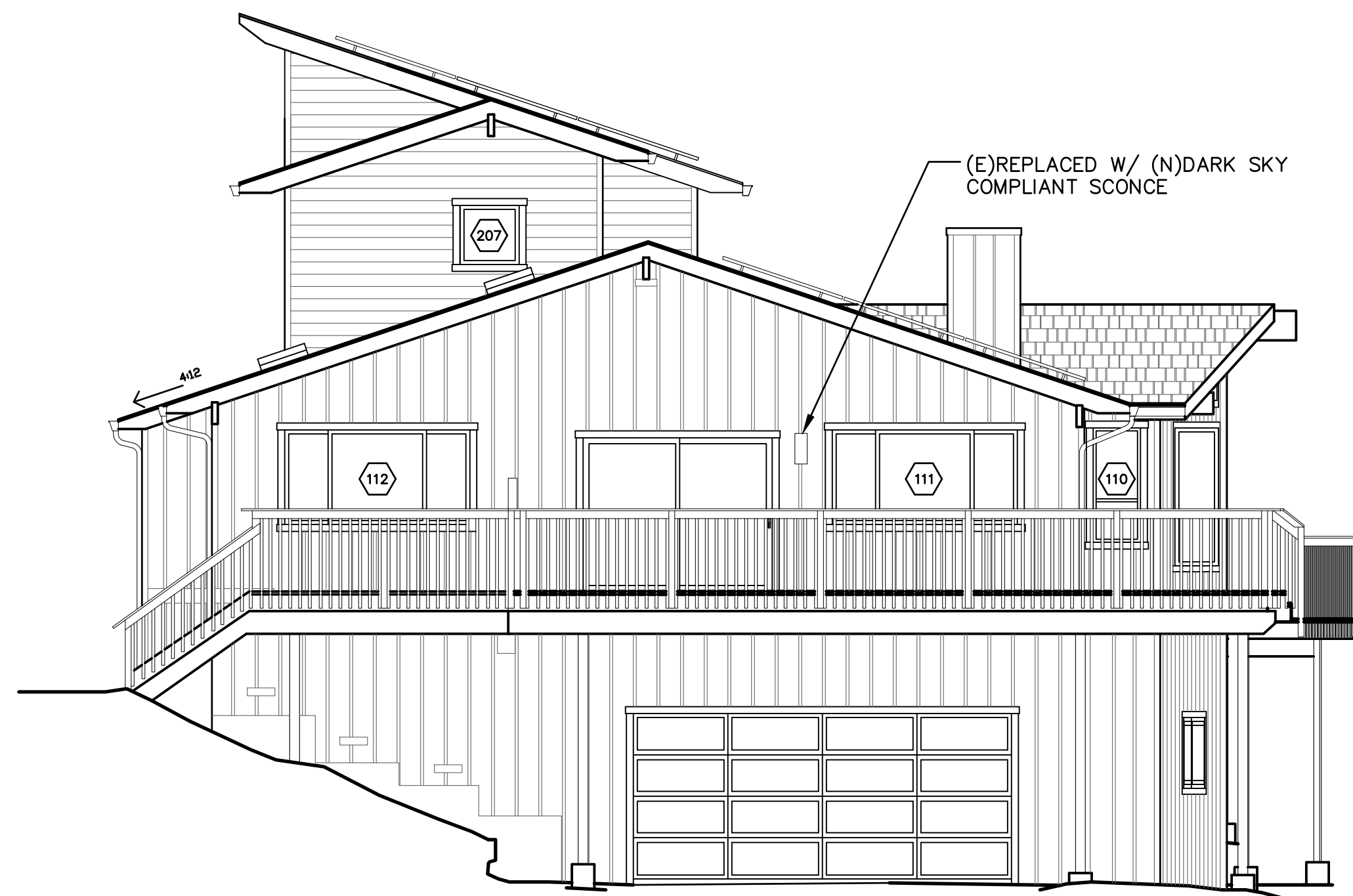
NO. DESCRIPTION DATE

DESIGN REVIEW

SCALE: 3/16 = 1'-0"

DATE: 10.10.2024

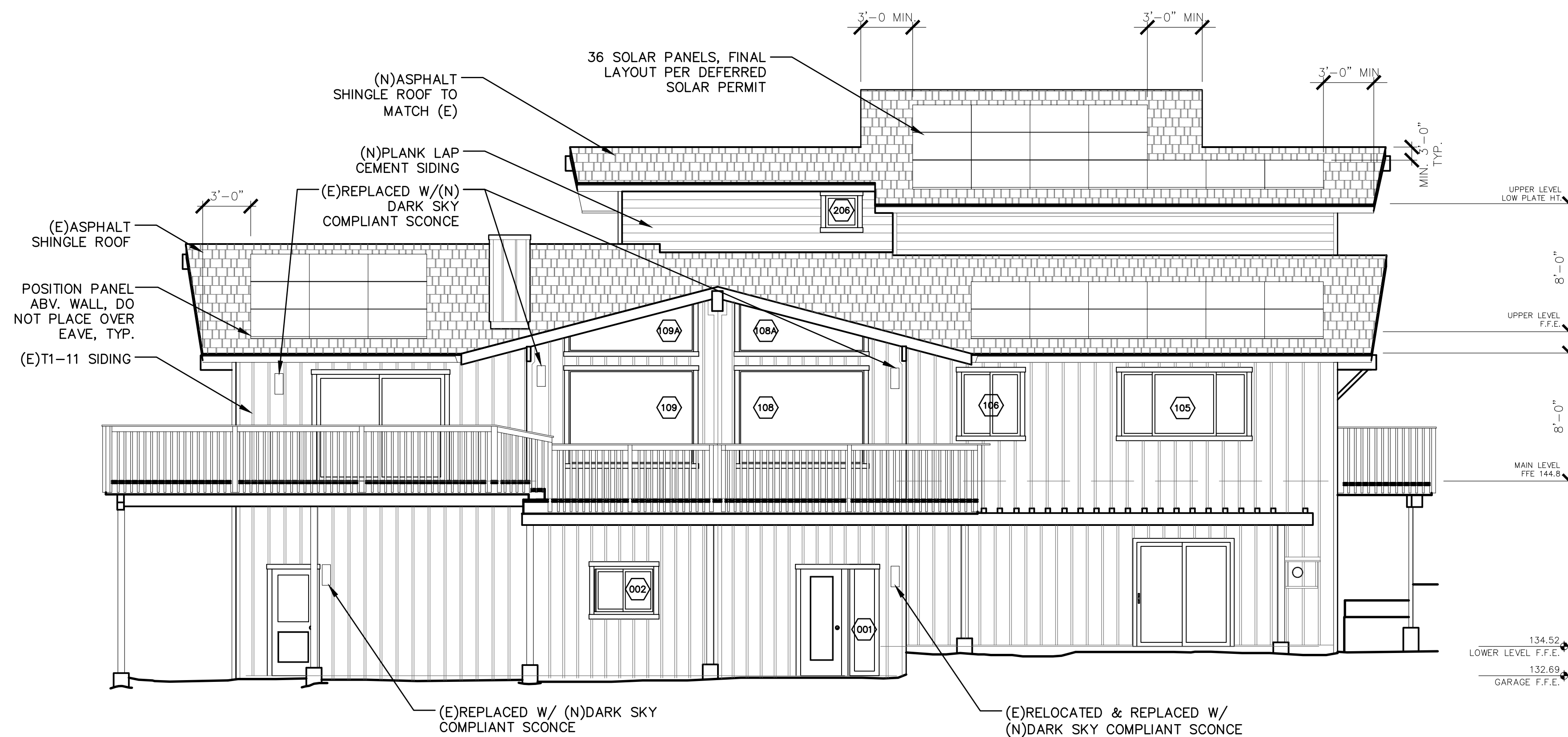
A3.0
PROPOSED EXTERIOR
ELEVATIONS



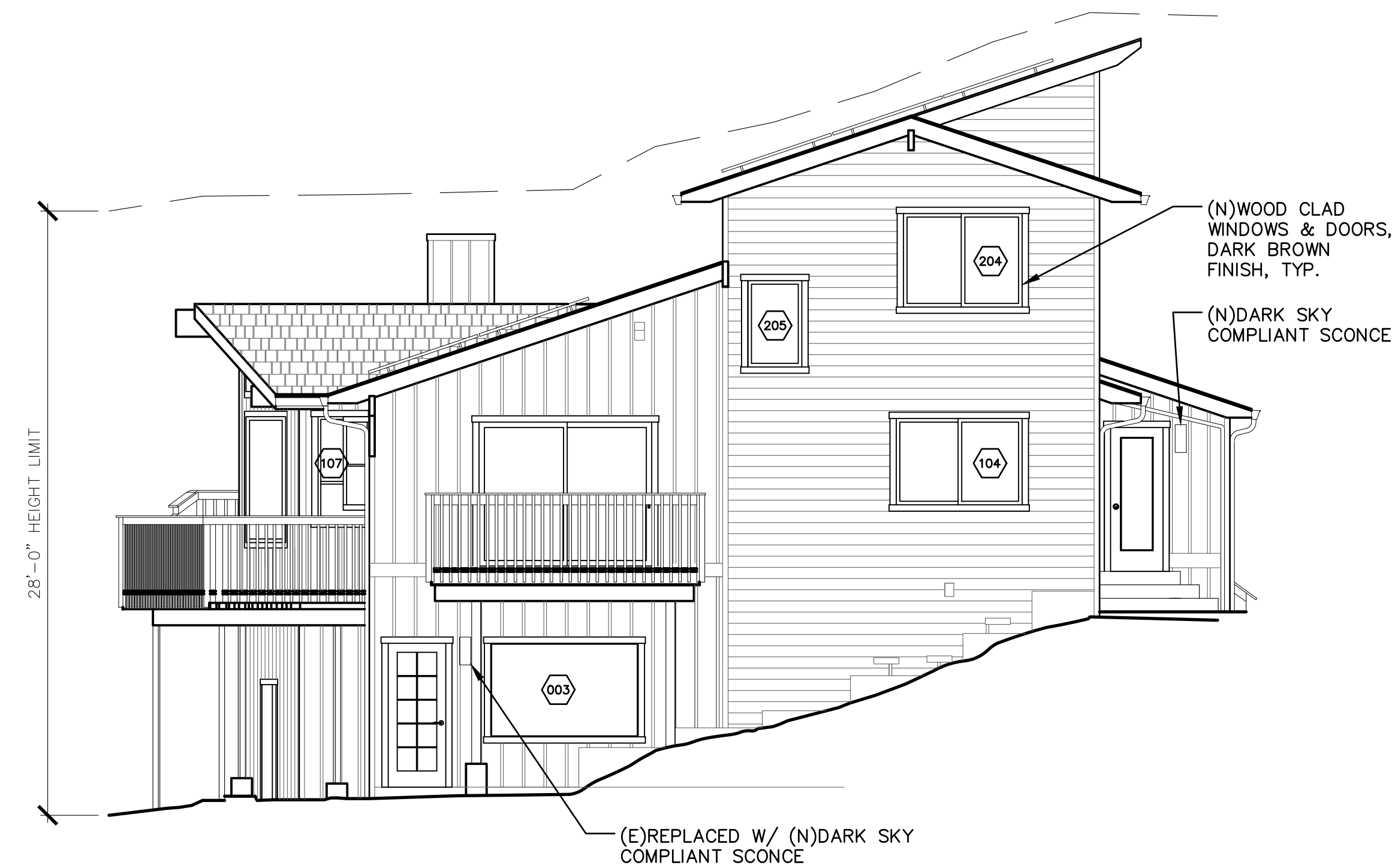
4 PROPOSED WEST EXTERIOR ELEVATION



3 PROPOSED NORTH EXTERIOR ELEVATION



2 PROPOSED SOUTH EXTERIOR ELEVATION



1 PROPOSED EAST EXTERIOR ELEVATION

CLIENTS:

CLARE & BEN
HULSE
1850 SUNSHINE VALLEY RD
MOSS BEACH, CA 94038



P.O. BOX 2115 EL GRANADA, CA 94018
REBECCA@KAKINARCHITECTURE.COM
415.706.0981

PROJECT:

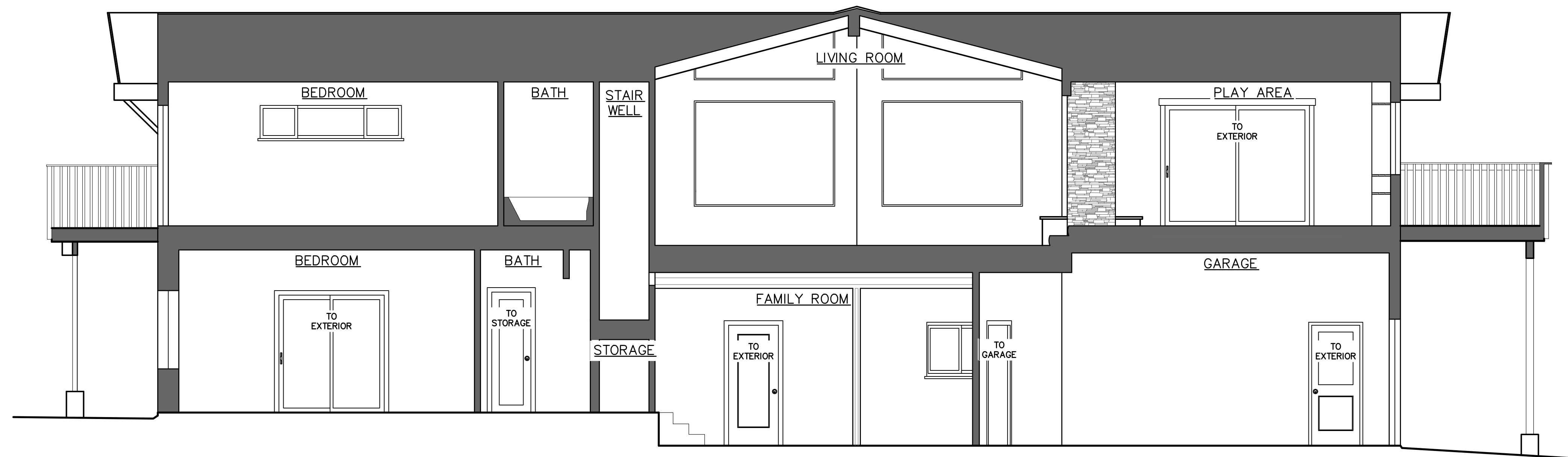
HULSE RESIDENCE

1850 SUNSHINE VALLEY RD
MOSS BEACH, CA

APN: 037-159-060
APN: 037-159-050
APN: 037-159-040

ISSUE:

NO.	DESCRIPTION	DATE



DESIGN REVIEW

SCALE: 1/4" = 1'-0"

DATE: 10.10.2024

AB4.0

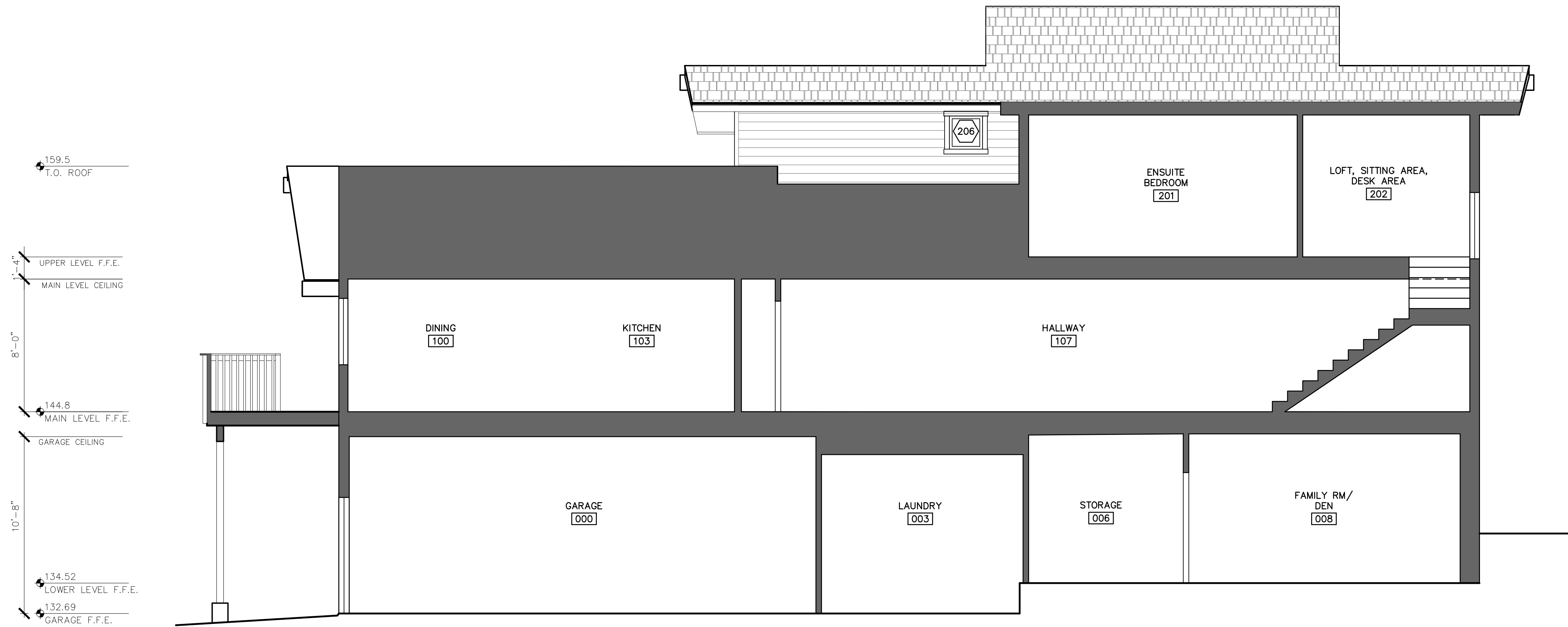
EXISTING
BUILDING SECTION -
WEST TO EAST

CLIENTS:

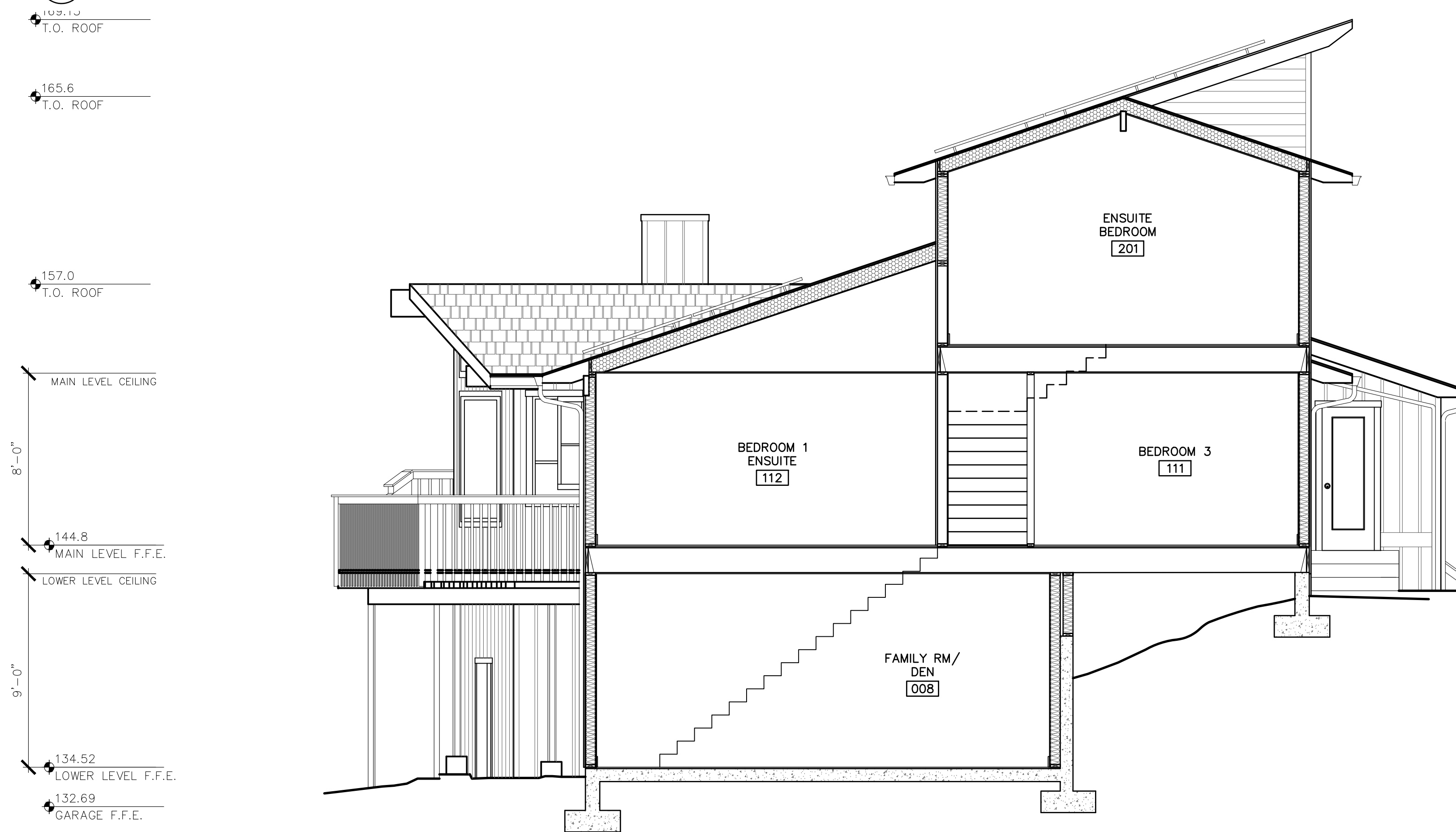
CLARE & BEN
HULSE
1850 SUNSHINE VALLEY RD
MOSS BEACH, CA 94038



P.O. BOX 2115 EL GRANADA, CA 94018
REBECCA@KAKINARCHITECTURE.COM
415.706.0981



2 PROPOSED WEST TO EAST SECTION



1 PROPOSED SOUTH TO NORTH SECTION

PROJECT:

HULSE RESIDENCE

1850 SUNSHINE VALLEY RD
MOSS BEACH, CA

APN: 037-159-060
APN: 037-159-050
APN: 037-159-040

ISSUE:

NO.	DESCRIPTION	DATE

DESIGN REVIEW

SCALE: 1/4" = 1'-0"

DATE: 10.10.2024

A4.0

PROPOSED
BUILDING SECTIONS