September 12, 2024

Owner / Applicant:	Elizabeth Lacasia
File No:	PLN2021-00478
Location:	779 San Carlos, El Granada
APN:	047-105-020
CDRC Meeting:	Meeting <u>Link</u>

Coastside Design Review Permit

The project has been reviewed for compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, County of San Mateo Zoning Regulations Aug 2019, Chapter 28.1, Section 6565.20.

CDRC renders a no decision by split vote on Project PLN2021-00248.

Requirements to satisfy the standards:

1. Section 6565.20(D)1b ELEMENTS OF DESIGN Neighborhood Scale: New and enlarged homes should respect the scale of the neighborhood through building dimensions, shape and form, facade articulation, or architectural details that appear proportional and complementary to other homes in the neighborhood.

Section 6565.20(D)1a ELEMENTS OF DESIGN Relationship to Existing Topography: Conform to the existing topography of the site by requiring the portion of the house above the existing grade to step up or down the hillside in the same direction as the existing grade.

The previously approved proposed building was significantly smaller and less "boxy" with a smaller upper floor than the currently proposed property. In addition to the recommendation by the CDRC to utilize a different exterior facade material (e.g., wood) between the third level and levels one and two, the committee also recommends addressing the massing towards the back of the structure as shown on the South Elevation (sheet A10). The previously approved building stepped down from third to second floor and more closely followed the contour of the natural grade than the current design which has "tallest" wall on the downslope.

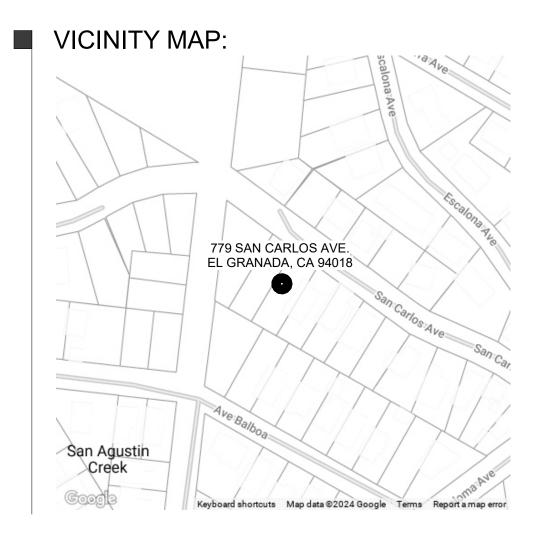
2. Section 6565.20(D)2c Entries & 2d Garages: (Entries) Design front entries on a scale compatible with the other features of the house to maintain a residential rather than institutional or commercial appearance. (Garages) Avoid making the garage the dominant feature as seen from the street. Where it is unavoidable, for example on steeply sloping lots, pay special attention to garage appearance by choosing decorative doors (or two single rather than one large double door) that are consistent with the style of the house, and by articulation of the front garage facade. The prominence of the garage and the narrowness of the front entrance pathway appears out of scale.

Recommendation for further review:

- 1. Spread footings at the ground level appear to encroach into the 30' riparian zone setback. Design should reflect footing width below grade.
- 2. Committee recommends a building section to understand the buildup from floor to ceiling.

LACASIA RESIDENCE

779 SAN CARLOS AVE. EL GRANADA, CA 94018



PROPOSED NEW RESIDENCE AND ADU.

PLANNING INFORMATION:

APN: ZONING: BLOCK NO.:	047-105-020 R-1/S-17
LOT NO.:	
MAP PAGE/GRID:	
LOT SIZE:	7,070 S.F.
ZIP CODE:	94018
YEAR BUILT:	
BUILDING SIZE:	1,832 S.F.
LEVELS:	3

PROJECT DATA:

	EXISTING	PROPOSED	TOTAL
LOT AREA: LIVING AREA: ADU: GARAGE AREA: COVERED DECK AREA: DECK ABOVE 30"	7,070 S.F. S.F. S.F. S.F. S.F. S.F.	S.F. 1,670 S.F. 791 S.F. 371 S.F. 63 S.F. 120 S.F.	7,070 S.F. 1,670 S.F. 791 S.F. 371 S.F. 63 S.F. 120 S.F.

LOCAL AND STATE CODES:

All work shall comply with the current 2022 CA Building Code and comply with the County of San Mateo Code and Planning Ordinance including, 2022 CA Mechanical Code, 2022 CA Plumbing Code, 2022Energy Code, 2022 California Green Building Standard Code, 2022 California Electrical Code, and the 2022 California Residential Code.

All walls to be sheetrocked with and 1/2" drywall and 5/8" drywall on all ceilings.

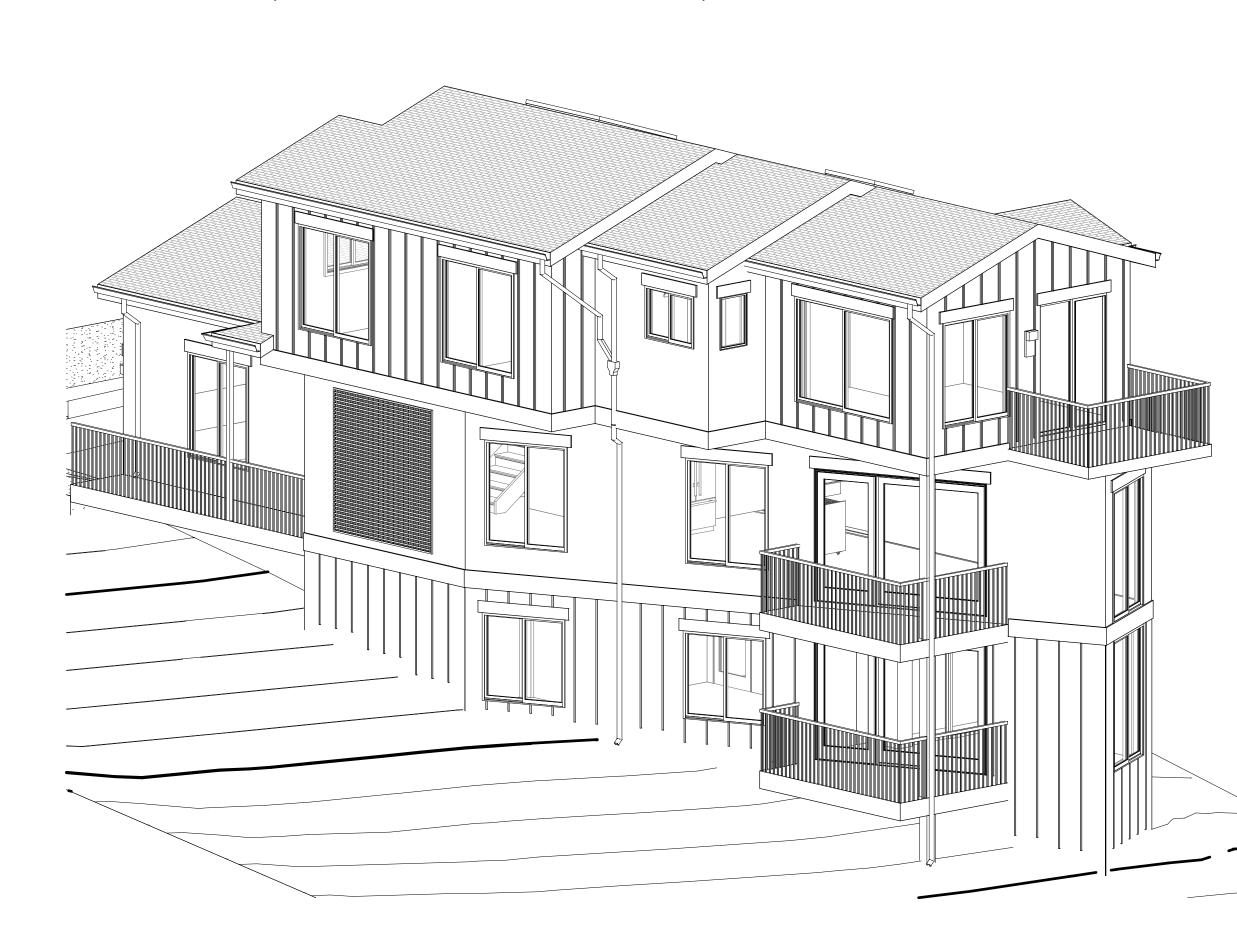
All walls to be insulated with R-21 Batt Insulation.

Ceilings to have R-39+ Batt Insulation.

Floors to have R-19 Batt Insulation.

All tempered glass shall be rated.

All windows shall be properly flashed with modified bitumen and Copper or stainless steal z-metal flashing at header trim.



PLAN SHEET LEGEND:

SHEET NO.: SHEET NAME: GENERAL NOTES AND LEGEND A1 A2 PROJECT NOTES AND SPECIFICATIONS A3 PROJECT NOTES AND SPECIFICATIONS A4 SITE PLAN A5 LANDSCAPE PLAN 1ST LEVEL - ADU A6 A7 2ND AND 3RD LEVEL EAST AND WEST ELEVATION A8 A9 NORTH ELEVATION SOUTH ELEVATION A10 A11 **BUILDING MATERIAL** A12 PERSPECTIVE VIEWS C-1 GRADING AND DRAINAGE PLAN C-2 EROSION AND SEDIMENT CONTROL PLAN

PROPOSED FLOOR PLAN (NOT ALL DETAILS MAY BE SHOWN):

GENERAL NOTES

All work shall comply with applicable codes and trade standard which govern each phase of work, including, but not limited to: 2022 California Building Code (C.B.C.), 2022 California Mechanical Code (CMC), 2022 National Electrical Code (NEC), 2022 California Electrical Code (CEC), 2022 California Fire Code (CFC), 2022 California Plumbing Code (CPC), 2022 California Energy Standards (CES), and all the applicable city, state, or local codes and/or legislation including 2022 California Green Building Standard Code.

It is the responsibility of the general contractor and all sub-contractors to check and verify all the dimensions and conditions indicated on these drawings and notify the designer of any discrepancies prior to commencing their work.

No guarantee for quality of construction is implied by the architectural documents, and the general contractor shall assume full responsibility for any or all construction deficiencies.

The owner & contractor agrees to indemnify, defend, & hold the designer (HAWK DESIGN & CONSULTING), harmless from and against any and all claims liabilities, suits demands, losses, costs, and expenses, including reasonable attorney's fees and all legal expenses and fees incurred on appeal and all interest thereon, accruing or resulting to any and all persons, firms, or any other legal entity on account of any damage to property or persons, including death, arising out of the performance or non-performance of obligations under this agreement, except where the designer is found to be solely liable for such damages or losses by a court or forum of competent jurisdiction.

The general contractor shall verify size, location, & characteristics of all work and equipment supplied by the owner or others, with the manufacturer or supplier, prior to the start of related work.

Do not accumulate trash or debris on site. Promptly remove material from site per local ordinance.

All dimensions take precedence over scale.

It is important that all delivery times be checked and holds placed on materials as required to meet construction schedule.

Contractor to seal all penetrations, (e.g. from pipes, drilled holes, etc.), between floors and walls. All new walls or patched openings in existing walls shall be finished to match

Seal all control joints where exposed to view. Sealant color shall match the color of the finish material.

Provide wood blocking in all stud walls at millwork and special item anchoring points.

It is the intent of the drawings that all exposed surfaces receive finishes as indicated on the drawings unless specifically noted otherwise. The general contractor shall assume full responsibility for the coordination of the complete finish-out of the project. Any surfaces which do not have a specific finish noted, nor are noted to remain unfinished, shall be brought to the attention of the designer and finished per the designer's instructions.

Provide USG Durock cement board at all areas subject to water or moisture.

The temporary (N.F.R.C.) Label which states the listed u-value for all fenestration products shall not be removed prior to inspections.

Verify rough-in dimensions for equipment provided on this contract and equipment by others.

All equipment, fixtures, & other manufactured items shall be installed in strict accordance with the manufacturer's recommendations.

Design/build portions of the work shall incorporate all design elements, specific fixtures, apparatus, appliances, & performance & aesthetic criteria shown in the these documents in their designs. design/build sub-contractors shall provide all necessary drawings & calculations to size lines & equipment & to obtain respective permits. No compensation shall be made by the planning consultant or any design or related fees for these portions of the work.

Details indicated on the drawings are representative and typical. All attachments and connections shall conform to best practice and shall be the contractor's responsibility.

These drawings are "instruments of service" & therefore the copyright property of HAWK DESIGN & CONSULTING. The design and specifications are for use only on the subject property and project, unless prior agreements have been made. Any use, re-use, change, revisions or reproductions of these drawings without expressed written permission of HAWK DESIGN & CONSULTING is strictly prohibited by law. In the event of unauthorized use of these drawings, the user shall hold the designer harmless and bear responsibility of any related legal costs.

All dimensions given are to face or wall unless otherwise noted.

All new walls or patched openings in existing walls shall be finished to match adjacent surfaces.

Electrical, plumbing, & HVAC are design/build portions of the work



DESIGN | CONSULTING

P.O. BOX 3535 HALF MOON BAY, CA 94019 650 . 560 . 8100 www.hawkdesignandconsulting.com

■ PROJECT:

LACASIA RESIDENCE

- OWNER: Elizabeth Lacasia
- PROJECT ADDRESS: 779 SAN CARLOS AVE. EL GRANADA, CA 94018
- CONTACT INFORMATION EMAIL: elacasia@gmail.com PHONE: 650-766-2706 ----

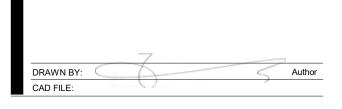
OWNER/AGENT

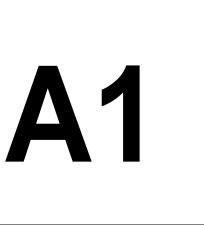
GENERAL CONTRACTOR

SUBCONTRACTOR

NO.	REVISION/DESCRIPTION	DATE
1	PLANNING SUBMITTAL	10/18/24

SHEET TITLE: GENERAL NOTES AND LEGEND





ARCHITECTURAL

SCALE:

PLEASE VERIFY ALL DIMENSIONS AND REVIEW DETAILS AND NOTES FOR, BUT NOT LIMITED TO, CABINETS, PLUMBING, STRUCTURAL, AND ELECTRICAL COMPONENTS.

PROJECT NOTES

- 1. The work included under this contract consists of all labor, materials, transportation, tools and equipment necessary for the construction of
- the project leaving all work ready for use; excluding materials provided by owner. 2. All construction shall conform to the 2022 California building, 2022 California residential, 2022 California fire, 2022 California mechanical,
- 2022 California electrical, 2022 California energy, 2022 California plumbing and 2022 California green building standards codes. 3. Conflict, the most stringent requirements shall apply.
- 4. All work described in the drawings shall be verified by the contractor for dimension, grade, extent and compatibility to the existing site. Any errors, omissions, conflicts, discrepancies and unexpected conditions that effect or change the work described in the contract documents shall be brought to the designers attention immediately. Do not proceed with the work in the area of discrepancy until all such discrepancies are resolved. If the contractor chooses to do so, contractor shall be proceeding at their own risk. Any revision to the set of plans must be submitted to and approved by the County of San Mateo building department prior to the revision being completed.
- 5. The general contractor shall maintain a current and complete set of the construction approved plans for use of all the trades, and shall provide all the sub contractors
- with current construction documents as required.
- 6. The general contractor shall verify and assume responsibility for all dimensions and site conditions. The general contractor shall inspect the existing premises and take notes of existing conditions prior to submitting prices. No claim shall be allowed for difficulties encountered which could have reasonably been inferred from such and examination.
- 7. Written dimensions take precedence. Do not scale drawings. 8. All dimensions to and from new construction when shown in plan are to face of
- interior finish or structural member unless otherwise noted. 9. All dimensions on reflected ceiling plans and elevations are from face of finish
- or center line of column to center line of fixtures(s).
- 10. All vertical dimensions are to face of finish & finish floor, unless otherwise noted. 11. All dimensions noted "verify" and "V.I.F." are to be checked by contractors prior to construction. Immediately report any variances to the designer for resolution.
- 12. All walls are wood studs @ 16" O.C. unless otherwise noted. 13. Coordinate all work with existing conditions, including but not limited to irrigation
- pipes, electrical conduit, water lines, gas lines, drainage lines, etc. 14. Contractors shall provide all seismic bracing and hold-down clips as required by code for all suspended ceiling and soffit framing conditions.
- 15. Provide adequate temporary support as necessary to assure the structural value or integrity of the building. 16. Protect all existing building and site conditions to remain including walls, cabinets,
- finishes, trees and shrubs, paving, etc. 17. Details shown are typical. Similar details apply in similar conditions.
- 18. Verify all architectural details with structural, civil, and design/build before ordering or installation of any work.
- 19. Where locations of windows and doors are not dimensioned, they shall be centered in the wall placed two stud widths from adjacent wall as indicated on the drawings.
- 20. Omissions from the drawings and specification or the mis-distributions of the work which is manifestly necessary to carry out the intent of the drawings and specifications, or which is customarily performed, shall not relieve the contractor from such omitted or misdescribed details of the work as if fully and completely set forth and described in the drawings & specifications.
- 21. All changes in floor materials occur at centerline of door or framed opening unless otherwise indicated on the drawings.
- 22. Install all fixtures, equipment and materials per manufacturers recommendations. 23. Verify clearances for vents, chases, soffits, fixtures, etc. Before any construction, ordering, or installation of any items of work.
- 24. Sealant, caulking and flashing, etc. Locations shown on drawings are not intended to be inclusive. Follow manufacturer's installation recommendation and standard industry and building practices.
- 25. All roof deck penetrations and exterior wall openings shall be guaranteed by the contractor to be water tight for a minimum of five years after substantial
- completion of all work under this contract. 26. The general contractor shall remove all rubbish and waste materials of all subcontractors/trades on a regular basis, and shall exercise a strict control over job cleaning to prevent any direct debris or dust from affecting, in any way, finished areas in or outside job site.
- 27. Contractor shall leave premises and all affected areas clean and orderly, ready for occupancy. This includes cleaning of all glass (inside and outside) and frames, both new and existing.
- 28. All wood in contact with concrete shall be pressure treated. 29. A certificate of construction compliance, signed by the general based upon his observation of the construction work shall be submitted to the inspecting building official prior to issuance of a certificate of occupancy.
- 30. All exterior windows to be weathered-stripped per title 24 requirements. **31. Install smoke detectors in accordance with specifications and in conformance**
- with local fire marshal requirements 32. Glass subject to human impact shall be safety glazing material to meet state and federal requirements.
- 33. Survey monuments within the area of construction shall be preserved or reset by a registered civil engineer or a licensed land surveyor.
- 34. Provide on site health and safety facilities including temporary bathrooms and wash stations

35. All non-compliant plumbing fixtures shall be replaced with appropriate water conserving plumbing fixtures. plumbing replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by a local building department. [CALLGREEN 4.303.1] NON COMPLIANT PLUMBING FIXTURE MEANS ANY OF THE FOLLOWING [CALIFORNIA CIVIL CODE. 1101.3(c)

(1) any toilet manufactured to use more than 1.6 gallons of water per flush.

(2) any urinal manufactured to use more than one gallon of water per flush. (3) any showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute.

(4) any interior faucet that emits more than 2.2 gallons of water per minute. 36. Mechanical and gravity outdoor air intake openings shall be located a minimum of 10 feet from any hazardous or noxious contaminant, such as vents, chimneys, plumbing vents, streets, alleys, parking lots and loading docks, except as otherwise specified in this code. Toilet rooms, bathrooms and kitchens shall not be considered hazardous or noxious. [R303.5.1]

37. Where a water heater is installed in an attic, attic-ceiling, floor-ceiling assembly, or floor-subfloor assembly where damage results from a leaking water heater, a watertight pan of corrosion resistant materials shall be installed beneath the water heater with not less than ³/₄ of an inch diameter drain to an approved location. [CPC 507.5]

FLOORING MATERIALS, LEAD BASED PAINT AND LEAD BASED TILE. DATED FEBRUARY 1, 2012. **PLEASE NOTE:** Contractor and owner is notified, dwelling built prior to 1978 may present exposure to lead poisoning as a result of lead-based paint and/or lead-based material hazards. Therefore the contractor is required to perform a pre-construction risk assessment, testing and or inspection for possible lead-based hazards prior to ratifying any agreement with owner to perform scope of work. Contractor is responsible for all lead-based paint or other material abatement in this scope, in line with but not limited to the federal Department of Environmental Protection (EPA) and all applicable other cities, state, or local codes and or legislation. ALSO NOTE: Contractor and owner is notified "popcorn" ceilings, 9x9 Vinyl Composite Tile (VCT) tiles, flooring mastics, flooring, ducting, roofing and siding may and can contain harmful asbestos: therefore, contractor is responsible to identify such hazards and perform pre-construction risk assessment testing and inspection for possible asbestos hazards prior to ratifying any agreement with owner to perform scope of work. Contractor is responsible for all asbestos abatement regarding this scope, in line with but not limited to the federal Department of Environmental Protection (EPA) and all applicable other cities, state, or local codes and or legislation. Contractor to test and abate lead tiles per county and state requirements. **REGARDING MOLD INSPECTION:** Molds, fungus, mildew, and similar organisms ("Mold Conditions") may exist in the property of which the owner and designer is unaware and has not actual knowledge. The mold conditions generally grow in places where there is excessive moisture, such as where leakage may have occurred in roofs, pipes, walls, plant pots or where there has been flooding. A professional inspection may not disclose mold conditions. As a result, owner or contractors may wish to obtain an inspection specifically for mold conditions to more fully determine the condition of the property and this environmental status prior to commencing work. Neither the designer, owner nor owner's agents are experts in the field of mold conditions and other related conditions therefore contractors shall not rely on designers, owners or its agents for information relating to such conditions. Contractor is strongly encouraged to satisfy itself as to the condition of the property prior to any contractual agreement. Hold harmless: contractors decision to commence with approved scope of work on the property is independent of representation of the designer, owner or owners agents involved in the transaction regarding mold conditions. accordingly, contractor agrees to indemnify and hold harmless designer and owner in the event any mold conditions are present on the property.

PAINT PREPERATIONS

1. Lead paint remediation as indicated by ASBESTOS, LEAD AND MOLD REMEDIATION AND ABATEMENT per above. Reference to Hazard Management Service, INC. Hazmat report including but not limited to remediation and general requirements for removal of flooring materials, lead based paint, lead based tile. Dated February 1, 2012. 2. Nail holes or imperfections to be filled with a bondo or wood putty and sanded. 3. New wood to be painted promptly (within a few weeks) because weathering of the wood will reduce adhesion of primer and paint. 4. Dull any shiny (mill glazed) areas with fine grit (#220) sandpaper. 5. Moisture in treated wood left from the treatment process to be allowed to dry prior to painting; once constructed, two weeks' exposure to the weather to be adequate for most siding materials.

chalk, etc. by scrubbing with detergent and water (rinse thoroughly) or by careful power washing using plain water; NOTE: Contractor responsible for woods that tend to be very soft, such as old and weathered cedar and redwood, can easily be damaged by high pressure jet of power washing 7. Previously painted wood with flaking or peeling paint req. removal of all loose or poorly adhering paint. If gloss or semigloss paint will be used, follow by sanding with fine grit (#220).

8. Dull any glossy paint by sanding with fine (#220) grit garnet paper; wear eye protection, dust mask and work gloves. 9. Treat any mildew with a 3:1 water: household bleach mixture, leaving it on for 20 minutes and adding more as it dries; wear eye and skin protection; rinse thoroughly; 10. Refresh the surface of any weathered wood by sanding with medium grit (#120) garnet paper, sanding in the direction of the grain.

SURFACE PREPERATION - STUCCO REQUIREMENTS

1. Lead paint remediation as indicated by ASBESTOS, LEAD AND MOLD **REMEDIATION AND ABATEMENT per above. Reference to Hazard Management** Service, INC. Hazmat report including but not limited to remediation and general requirements for removal of flooring materials, lead based paint, lead based tile. Dated February 1, 2012.

otherwise authorized in writing.

3. If efflorescence is present, remove by hand wire brushing; wear eye protection and gloves; identify and eliminate any source of water from behind the stucco that could have caused the efflorescence scrape out and widen any cracks; brush out dust. and seal with 100% acrylic and siliconized acrylic caulk; make second application in several hours if needed 4. Treat any mildew with a 3:1 water: household bleach mixture, leaving it on for 20 mins and adding more as it dries: wear eye and skin protection: rinse thoroughly. 5. Remove dirt, chalk, dust, unbound sand, treated mildew, etc. by scrubbing with detergent and water, and rinse thoroughly: or power wash with plain water, taking care to not drive water into cracks or porous areas.

WINDOW DATA

- 1. ALL WINDOWS TO MEET SECTION R310.1 LISTED
- **BELOW:**
- B. Opening shall have a min. clear opening of 5.7 SQ.FT.
- C. Opening shall have a min. clear height of 24".
- D. Openings shall have a min. clear width of 20".

2. All windows shall meet Title-24 energy specifications.

Please note: Installation stickers may be required by local officials as proof of new windows meeting title 24 or safety requirements.

3. All windows shall have Low-E glass.

5. Include ANS and all applicable CAL fire codes or WUI(Wild Land Urban Interface codes).

6. Provide safety glazing for tub/shower enclosures and doors. Minimum width of shower doors is 22". Doors shall open outward. Shower door or rod shall be installed prior to final.

7. Provide safety glazing for windows in tub or shower enclosures within 60" above the drain inlet.

ASBESTOS, LEAD AND MOLD REMEDIATION AND ABATEMENT

REQUIRED PROCEDURES. REFERENCE TO HARZARD MANAGEMENT SERVICE, INC. HAZMAT REPORT INCLUDING BUT NOT LIMITED TO REMEDIATION AND GENERAL REQUIREMENTS FOR REMOVAL OF

6. Previously painted wood with a sound paint surface, will require removal of dirt,

2. Fresh stucco surfaces must be cured for 30 days prior to painting unless

A. Openings must be no more than 44" above the

4. Z-bar flange may need to be ripped and caulked to fit opening

STAIR AND HANDRAIL DATA

1. All new (N) stairs shall have a maximum rise of 7 3/4" and a minimum run of 11". The maximum drop (elevation change) at all door thresholds shall be 7 3/4".

(a) Stairways shall have handrails or stair railings on each side, and every stairway required to be more than 88 inches in width shall be provided with not less than one intermediate stair railing for each 88 inches of required width. Intermediate stair railings shall be spaced approximately equal within the entire width of the stairway.

Note: Intermediate stair railings may be of single rail construction.

Exceptions:

(1) Stairways less than 44 inches in width may have one handrail or stair railing except that such stairways open on one or both sides shall have stair railings provided on the open side or sides.

(2) Stairways having less than four risers need not have handrails or stair railings.

(3) Stairways giving access to portable work stands less than 30 inches high.

(4) Stairs that follow the contour of tanks or other cylindrical or spherical structures where the construction requires the inside clearance between the inside stair stringer and wall or tank side to be 8 inches or less, shall not be considered an "open side."

(5) Guardrails may be erected provided a handrail is attached.

(b) A stair railing shall be of construction similar to a guardrail (see Section 3209) but the vertical height shall be in compliance with Section 3214(c). Stair railings on open sides that are 30 inches or more above the surface below shall be equipped with midrails approximately one half way between the steps and the top rail.

Note: Local building standards may require 4-inch spacing of intermediate vertical members.

(c) The top of stair railings, handrails and handrail extensions installed on or after April 3, 1997, shall be at a vertical height between 34 and 38 inches above the nosing of treads and landings. For stairs installed before April 3, 1997, this height shall be between 30 and 38 inches. Stair railings and handrails shall be continuous the full length of the stairs and, except for private stairways, at least one handrail or stair railing shall extend in the direction of the stair run not less than 12 inches beyond the top riser nor less than 12 inches beyond the bottom riser. Ends shall be returned or shall terminate in newel posts or safety terminals, or otherwise arranged so as not to constitute a projection hazard.

(d) A handrail shall consist of a lengthwise member mounted directly on a wall or partition by means of brackets attached to the lower side of the handrail so as to offer no obstruction to a smooth surface along the top and both sides of the handrail. The handrail shall be designed to provide a grasping surface to avoid the person using it from falling. The spacing of brackets shall not exceed 8 feet.

(e) Handrails projecting from a wall shall have a space of not less than 1 1/2 inches between the wall and the handrail.

(f) The mounting of handrails shall be such that the completed structure is capable of withstanding a load of at least 200 pounds applied in any direction at any point on the rail.

Exception: Handrails and stair rails on flights of stairs serving basements or cellars that are covered by a trap door, removable floor or grating when not in use, shall stop at the floor level or entrance level so as not to interfere with the cover in the closed position. (Title 24, Part 2, Section 1006.9.2.7a.)

CALGREEN MANDATORY MEASURES

A: Duct systems are sized, designed, and have their equipment selected per section 4.507.2 B: Protect annular spaces around pipes, electric cables, conduits at exterior walls against the passage of rodents per CALGreen Section 4.406.1.

C: Cover duct openings and other related air distribution component opneings during construction per CALGreen Section 4.504.1.

D: Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits per CALGreen Section 4.504.2.1.

E: Paints, stains and other coatings shall be compliant with VOC limits per CALGreen 4.504.2.2.

F: Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds per CALGreen Section 4.504.2.3.

G: Carpet and Carpet systems shall be compliant with VOC limits per CALGreen Section 4.504.3. H: Minimum 80% of floor area receiving resilient flooring shall comply with CALGreen

Section 4.504.4. I: Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior

finish systems shall comply with loy formaldehyde emission standards. J: install capillary break and vapor retarder at slab on grade foundations per CALGreen Section 4.505.2.

K: Check moisture content of building materials used in wall and floor framing before enclosure per CALGreen SEction 4.505.3.

FOUNDATION VENT NOTES

R408.1 Ventilation. The under-floor space between the bottom of the floor

and the earth under any building (except space occupied by a basement) shall have ventilation openings through foundation walls or exterior walls.

The minimum net area of ventilation openings shall not be less than 1 square foot (0.0929 m2) for each 150 square feet (14 m2) of under-floor space area, unless the ground surface is covered by a Class 1 vapor retarder material.

When a Class 1 vapor retarder material is used, the minimum net area of ventilation openings shall not be less than 1 square foot (0.0929 m2) for each 1,500 square feet (140 m2) of under-floor space area. One such ventilating opening shall be within 3 feet (914 mm) of each corner of the building.

Ventilation openings shall be covered for their height and width with any of the following materials provided that the least dimension of the covering shall not exceed 1/4 inch (6.4 mm)

DEMOLITION NOTES

- 1.1 Principal work in this section.
- A. Demolish existing construction where indicated on the drawings and required by job conditions.
- B. Protect existing construction designated to remain. C. Remove demolished items from the site and dispose of them in a legal manner.
- 1.2 Related work in other sections.
- A. Disconnecting, cutting, capping or relocating any active
- utility lines encountered. 1.3 Reference standards.
- A. ANSI A10.6 "safety requirements for demolition" published by the American National Standards Institute.
- 1.4 Protection.
- A. Cease operations and immediately notify the designer if the safety of existing construction appears to be endangered at any time. Take precautions to support such endangered construction and do not resume operations until authorized by the designer.
- 2.0 Execution 2.1 Ownership of demolished materials.
- A. All demolished materials shall become the contractor's property unless otherwise directed by the owner.
- B. Remove demolished materials from the site and dispose of them in a legal manner. No on-site sale or burning of demolished materials will be permitted.
- 2.2 Performance of work.
- A. The contractor shall be fully responsible for the adequacy and installation of all the temporary shoring
- systems used during the removal of all structural elements B. The drawings do not necessarily indicate the full extent of the work required to be performed. Inspect the existing construction carefully to determine the full extent of compensation will be allowed because of failure to estimate the full extent of the work for any contingencies in connection there with.
- C. All work shall be performed by the skilled and properly equipped personnel. Demolition and removal of items scaffold high or higher shall be lowered by controlled methods, not by throwing or dropping. Perform cutting and stripping so that the work to remain is undamaged and in such manner that the new work can properly connected with it.
- 2.3 Methods: A. Procedure
- 1. Sawing:
- a. Sawing shall be performed by experienced craftsmen customarily engaged in and properly equipped for the performance of the type of work required by job conditions.
- b. Provide wet vacuum equipment as required for
- control of waste cooling water.
- 2.4 Demolition for installation of piping, conduit, etc. 2.5 Damage and repair
- A. Repair, restore or replace damage to existing construction which occurs as a result of demolition operations at no additional cost to the owner. 2.6 Clean-up
- A. Do not allow demolished materials to accumulate on the premises. Provide for continuous removal and legal off site disposal of demolished materials as work progresses.
- 1. Demolition and preparation
- 1.0 General 1.1 Scope: furnish equipment and perform labor required to execute necessary to complete the contract including, but not limited to these major items: a. Removal of perimeter hardscaping
- b. Removal of single family dwelling
- c. Debris removal
- **1.2 Related work specified elsewhere**
- A. All new work. 1.3 General requirements.
- A. Field conditions: take into consideration as necessary work all obvious existing conditions and installations on the site as though they were completely shown or described. Accept the site of the work as it exists and clear obstructions to the work indicated.
- B. All contractors submitting proposals for this work shall first examine the site and all conditions and limitations thereon and thereabouts. All proposals shall take into account all such conditions and limitations whether or not the same are specifically shown or mentioned in any of these documents and every proposal shall be construed as in every part as shown, described or reasonably required or implied and attain the completed conditions contemplated by the contractor.
- C. Codes: Perform all work in accordance with the building code of the governing bid having jurisdiction the governing state industrial safety orders and the requirements of the Occupational Safety and Health Act.
- D. Unforeseen conditions: include in the base bid miscellaneous cutting and patching necessitated as a result of unforeseen conditions.
- E. Noise control: Carry on all work in a manner which will produce the least amount of noise. Instruct all workmen in
- noise control procedure. F. Dust control: Carry on all work in a manner which will produce the least amount of dust. Implement dust control procedures like spraying and ground watering.
- 2.0 Execution
- 2.1 Protection
- A. Glass: Provide such protection as may be required to prevent glass breakage at no additional cost, replace in kind all broken glass.
- B. Lowering Material: Provide hoists and chutes as required to lower removed material. Throwing dropping or permitting the free fall of material and debris from heights which would cause damage to work to remain, undo noise or nuisance or excessive dust is expressly prohibited.
- C. Protection of personnel: Erect signs, barricades and such other forms of warning as may be requested to prevent personnel from putting themselves in the way of injury.
- D. Existing work to remain: Provide such forms of protection as may be necessary to prevent damage to existing work and equipment to remain.
- 2.2. General Demolition: A. Remove as described in 1.1
- 2.3 Mechanical, electrical and plumbing
- A. Carefully preview plans and determine lines to be removed and those to be kept active or to be reactivated. Protect lines to remain. Provide for minimum service interruption of lines to remain. B. Remove lines completely wherever possible. Cut and cap or plug in positive manner.
- 2.4 Removed Material and Debris.
- A. All removed material, not otherwise designated, and all debris becomes the property of the contractor who shall remove it from the site. B. Do not allow materials and debris generated by demolition
- activities to accumulate, remove daily and dispose of in a legal manner.



DESIGN | CONSULTING

- P.O. BOX 3535 HALF MOON BAY, CA 94019 650.560.8100 www.hawkdesignandconsulting.com
- PROJECT: LACASIA RESIDENCE
- OWNER: Elizabeth Lacasia
- PROJECT ADDRESS: 779 SAN CARLOS AVE. EL GRANADA, CA 94018
- CONTACT INFORMATION EMAIL: elacasia@gmail.com PHONE: 650-766-2706

APPROVAL

OWNER/AGENT

GENERAL CONTRACTOR

SUBCONTRACTOR

NO.	REVISION/DESCRIPTION	DATE
1	PLANNING SUBMITTAL	10/18/24

SHEET TITLE: PROJECT NOTES AND SPECIFICATIONS





SCALE:

1/2" = 1'-0"

ARCHITECTURAL

PLEASE VERIFY ALL DIMENSIONS AND REVIEW DETAILS AND NOTES FOR, BUT NOT LIMITED TO, CABINETS, PLUMBING, STRUCTURAL, AND ELECTRICAL COMPONENTS.

GENERAL Provide each bedroom, basement, and habitable attics with a minimum of one exterior window with a 44" maximum clear opening height, 5.7 sq. ft. minimum clear openable area (minimum 5.0 sq. ft. at grade floor openings), 24" minimum clear openable height and 20" minimum clear width, or an openable exterior exit door. (CRC R310.2.1 and CRC R310.2.2) Window wells, ladders, and steps shall comply with CRC R310.2.3 Bars, grilles, covers, and sscreens shall be releasable or removable from the inside without the use of a key, tool, special knowledge, or force greater than 15lbs to operate the emergency escape and rescue openings. (CRC R310.4) Photovoltaic panels & modules shall not be below an emergency escape and rescue opening within 36". (R324.6.2.2) Each bathroom containing a bathtub, shower or tub/shower combination shall be mechanically ventilated with Energy Star approved equipment (minimum 50cfm) with an integral humidistat installed. (CRC R303.3.1) Provide attic cross ventilation: 1/150 of attic area or 1/300 with at least 40% but not

more than 50% of vents are a maximum 3 ft. below the ridge or highest space in the attic and the balance is provided in the lower third of the attic space (not limited to eaves or cornice vents). As an alternative in Climate Zone 16 (Truckee region), the net area may be reduced to 1/300 when a Class I or II vapor barrier is installed on the warm-in-winter side of the ceiling. Baffles are required at vents for insulation. Provide minimum of 1" inch of air space between insulation and roof sheathing. (CRC R806)

Enclosed rafter spaces shall have a 1-inch clear cross ventilation. (Properly sized rafters for insulation) (CRC R806.3)

- Under floor cross ventilation: minimum 1.0 sq. ft. for each 150 sq. ft. of under floor area. When a class 1 vapor retarder is installed on the ground surface the minimum area of ventilation may be limited to 1sq.ft for each 1,500 square feet of under-floor space. One ventilation opening shall be within three (3) feet of each corner of the building (CRC R408.1). Unvented crawl spaces shall comply with CRC R408.3. Unvented crawl space added option for dehumidification of 70 pints moisture per day per 1,000 sf to requirement for exemption. (R408.3)
- Exterior balconies and elevated walking surfaces exposed to water, where structural framing is protected by an impervious moisture barrier require construction documents with manufacturer's installation instructions (R106.1.5). Must be inspected and approved before concealing barrier. (R109.1.5.3)
- Enclosed framing in exterior balconies and elevated walking surfaces exposed to rain, snow or drainage from irrigation shall be provided with cross-ventilation area of at least 1/150. (R317.1.6)
- Provide landings and a porch light at all exterior doors. Landings are to be minimum 3 ft deep x width of door. Landings at required egress doors may step down a maximum of 7.75 inches when the door does not swing over the landing and 1.5 inches when door swings onto the landing. <u>Other</u> than required exterior exit doors may have a threshold of 7.75 inches maximum; a landing is not required if a stair with two or fewer risers is located on the exterior side and the door does not swing over the stairway. (CRC R311.3-R311.3.2)
- Mezzanines shall not be greater than 1/3 of the story unless fire sprinklers are installed then the area can be $\frac{1}{2}$ of the story. (R325.3) .0. The following windows shall be fully tempered: (CRC R308.4)
- Sliding/swinging glass doors
- Glazing in walls and enclosures facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers and swimming pools where the glazing is less than 60 inch-es above the standing surface within the compartment <u>and</u> within 60 inches horizontally of the water's edge (CRC R308.4.5)
- Glazing within a 24" arc of a door that is less than 60 inches above the floor. Safety glazing required on a wall less than 180 degrees from the plane of the door in a closed position and within 24" of hinge side of an in-swing door. (R308.4.2)
- Glazing where the exposed area is greater than 9sq.ft, bottom is less than 18 in. and at least 36 in. above the floor, and adjacent to a walking surface
- Within 60in. of the bottom tread of a stairway and less than 36in. above the landing Glazing in guards and railings
- Glazing adjacent to stairways, landings, and ramps within 36in. horizontally of the walking surface less than 36in. above the walking surface
 - **FOUNDATIONS & CONCRETE SLABS**
- Slope drainage 6" within the first 10ft. from the foundation wall. If physical obstructions or lot lines prohibit the 10ft distance, a 2-5 percent slope shall be provided to an approved alternative method of diverting the water away from the foundation. Impervious surfaces shall also be sloped a minimum of 2 percent for 10ft away from structures to an approved drainage way. (CRC R401.3)
- Footings shall extend at least 12 inches into the undisturbed ground surface. (CRC R403.1.4) Unless erected on solid rock, to protect against frost and freezing, the minimum foundation depth is 18 inches below grade if between 4,000-7,000 foot elevation and 24 inches below grade for 7,000 foot elevation and above. Exception: Interior footings shall be a minimum of 12 inches below grade. (L-V 3.14)
- Stepped footings shall be used when slope of footing bottom is greater than 1 in 10 (V, H). Step footing detail shall be shown on building elevations and foundation plan. (CRC R403.1.5)
- Concrete slabs: 3 1/2" minimum (CRC R506.1). Slabs under living areas and garages shall be reinforced with wire 6" x 6", 10 gaugé x 10 gauge welded mesh or equivalent steel reinforcement and 4" thickness of 3/8 minimum gravel under the concrete slab. Separate from soil with a 6 mil polyethylene vapor retarder with joints lapped not less than 6 inches in living areas. A capillary break shall be installed when a vapor retarder is required.
- Provide an 18" x 24" under-floor access, unobstructed by pipes or ducts and within 5 of each under-floor plumbing cleanout and not located under a door to the residence, is required. Provide a solid cover or screen. (CRC 408.4 & CPC 707.9)
- Minimum sill bolting: 1/2" anchor bolts or approved anchors at 6 ft. o.c. maximum for one-story. (CRC R403.1.6) Use anchor bolts at 4 ft. o.c. maximum for three story construction. Embed bolts 7" minimum. The anchor bolts shall be placed in the middle third of the width of the plate. Locate end bolts not less than 7 bolt diameters, nor more than 12" from ends of sill members. In SDC D0 and above: Provide 3"X3"X0.229 plate washers on each bolt at braced or shear wall locations, standard cut washers shall be permitted for anchor bolts not located in braced/shear wall lines. (CRC R403.1.6.1 & R602.11.1)

CLEARANCES AND TREATMENT FOR WOOD FRAMING

- Weather exposed glu-lam, beams and posts shall be pressure treated or shall be wood of natural resistance to decay (CRC R317.1.3 & 5)
- Columns exposed to the weather or in basements when supported on concrete pier or metal pedestals shall be pressure treated or natural resistance to decay <u>unless</u> the pier/pedestals project 1" above concrete or 6" above earth and the earth is covered by an approved impervious moisture barrier. (CRC R317.1.4 exc. 1)
- Columns in enclosed crawl spaces or unexcavated areas located within the periphery of the building shall be pressure treated or natural resistance to decay unless the column is supported by a concrete pier or metal pedestal of a height 8" or more and the earth is covered by an impervious moisture barrier. (CRC R317.1.4 exc. 2)
- Deck posts supported by concrete piers or metal pedestals projecting not less than 1 above a concrete floor or 6" above exposed earth. (CRC R317.1.4 exc. 3) <u>FLOORS</u>
- Under-floor areas with storage, fuel-fired equipment or **electric-powered** equipment with less than 2x10 solid joists shall be protected on the underside by half-inch sheetrock or a sprinkler system. (R302.13)
- Balconies must be designed for a minimum live load of 60lbs per square foot. (CRC T-R301.5) WALLS
- Positive connection shall be provided to ensure against uplift and lateral displacement. (CRC R502.9 & CBC 2304.10.7)
- All fasteners used for attachment of siding & into pressure treated lumber shall be of a corrosion resistant type. (CRC R317.3)
- Fire-block in concealed spaces of stud walls/partitions, vertically at ceiling/floor levels, & horizontally at 10ft. intervals. Fire-block at soffits, drop ceilings/similar locations & in concealed spaces at the top/bottom of stair stringers. (CRC R302.11)
- Provide approved building paper under the building siding and approved flashing at exterior openings. (CRC R703.2) Specify a minimum of 2 layers of Grade D paper under stucco and 2 layers of 15lb felt (or equivalent) under stone veneer.
- Stucco shall have a minimum clearance to earth of 4 inches and 2 inches to paved surfaces with an approved weep screed. (CRC R703.7.2.1) Masonry stone veneer shall be flashed beneath the first course of masonry and provided with weep holes immediately above the flashing. (CRC R703.8.5 and R703.8.6)
- Roof sheathing can only cantilever 9 inches beyond a gable end wall unless supported by overhang framing. (R802.5.2.1)
- Provide a minimum 22" x 30" access opening to attic (CRC R807); may be required to be 30"x30" to remove the largest piece of mechanical equipment per the California Mechanical Code.
- Roof drains/gutters required to be installed per the California Plumbing Code with leaf/ debris protection also installed.

 Roof construction and coverings shall comply wit nance. All roofing shall be tested/listed Class A min Asphalt shingles with sloped roofs 2/12 to <4/12 ment applied per CRC R905.2.2.

GARAGE AND CAR

- Garage shall be separated from the dwelling un board applied to the garage side. Garage beneat ed by not less than 5/8" type X gypsum board. assemblies used for required separations shall ha mum. Door openings from the garage to the dwe or honeycomb steel doors not less than 1 3/8" t Doors shall be self-closing & self-latching. No ope from the garage. When the dwelling and garage R309.6 and R313, doors into the dwelling unit fro closing and self-latching. (CRC R302.5.1 & T-R302 Ducts penetrating the garage to dwelling separat
- with no openings into the garage. (CRC R302.5.2) Penetrations through the garage to dwelling se
- listed above) shall be fire-blocked per CRC section Garage and carport floor surfaces shall be non-combustible material and slope to
- drain towards the garage door opening. (CRC R309.1) Appliances and receptacles installed in garage generating a glow, spark or flame shall be located 18" above floor unless it is listed as flammable vapor ignition resistant. (CMC 305.1) Provide protective post or other impact barrier from vehicles. (CMC
- Appliances in private garages and carports shall be installed with a mini-mum clearance of 6ft above the floor unless they are protected from vehicular impact. (CBC 406.2.9.3)

STAIRWAYS & RAMPS

- Stair landings required every 12'7" of vertical rise. (CRC R311.7.3) Exterior stair stringers must be naturally resistant to decay or pressure treated. (CRC
- R317.1) Rise shall be maximum 7.75"; Run shall be 10" minimum; headroom 6'-8" minimum; width 36" minimum, 31.5" between a handrail on one side and 27" with handrails on two sides. Variation between riser heights 3/8" maximum. A nosing not less than .75 inches but not more than 1.25 inches shall be provided on stairways with solid risers where the tread depth is less than 11 inches. The leading edge of treads shall project not more than 1.25 inches beyond the tread below. Open risers are permitted, provided the opening between the treads does not permit the passage of a 4" sphere. (Openings are not limited when the stair has a rise of 30" or less). (CRC
- Stairways with 4 or more risers shall have a handrail on one side 34" to 38" above the tread nosing. Circular handrails shall have an outside diameter of 1.25"-2"; if not circular, it shall have a perimeter dimension of 4"-6.25" with a maximum crosssectional dimension of 2.25". See R311.7.8.3 item# 2 for type II handrails with a parameter over 6.25". A minimum clearance of 1.5" shall be maintained from the wall or other surface. Handrails shall be returned, terminate in newel posts, or safety terminals. (CRC R311.7.8.2)
- Guards shall be 42" minimum height (unless acting as a handrail/guard for a stair-way; the guard height may be 34"-38" in height), with openings less than 4" inches clear (guards on the open sides of stairs may have 4 3/8" openings). (CRC R312)
- Provide landings at the top/bottom of the stairway the width of the stairway. The depth of the landing shall be 36" minimum. (see CRC R311.7.6 for exceptions).
- Usable spaces underneath enclosed/unenclosed stairways shall be protected by a minimum of 1/2" gypsum board. (CRC R302.7)
- Ramps serving the egress door shall have a slope of not more than 1 unit vertical in 12 units horizontal (8.3-percent slope). All other ramps shall have a maximum slope of 1 unit vertical in 8 units horizontal (12.5-percent slope). Exception: Where it is technically infeasible to comply because of site constraints, ramps shall have a slope of not more than 1 unit vertical in 8 units horizontal (12.5-percent slope) (CRC R311.8.1). Provide 3'X3' landings at the top and bottom of ramps, where doors open onto ramps, and where ramps change directions. (CRC R311.8.2)

Guards are required if deck or floor is over 30" above grade, minimum 42" high, with openings less than 4" (CRC R312). Guardrails shall be designed and detailed for lateral forces according to CRC Table 301.5.

- Provide deck lateral load connections at each end of the deck and at deck intersections per CRC R507.9.2. Specify connectors with a minimum allowable stress design capacity of 1,500lbs and install with 24" of the end of the deck. 750lb rated devices are allowed (DTT1Z as example) if located at 4 points along the deck.
- Posts/columns shall be retrained at the bottom end to prevent lateral displacement clearly show approved post bases, straps, etc to achieve this per CRC R407.3 Joists, girders, structural blocking and support posts shall be wood of nat-
- ural resistance to decay or pressure-treated lumber when exposed to the weather. (CRC R317.1.3)

ELECTRICAL

- No electrical panels in closets of bathrooms. Maintain a clearance of 36" inches in front of panels, 30" wide or width of equipment and 6'-6" high for headroom. (CEC
- Provide a minimum 3 lug intersystem bonding busbar at the main electrical service. (CEC 250.94)
- 3. All automatic garage door openers that are installed in a residence shall have a battery backup function that is designed to operate when activated because of an electrical outage. (CBC 406.2.1)
- placed in the bottom of a footing is required for all new construction. (CEC 250.52(A) (3)) Bond all metal gas and water pipes to ground. All ground clamps shall be accessible and of an approved type. (CEC 250.104)
- All 15/20 ampere receptacles installed per CEC 210.52 shall be listed tamper-resistant receptacles. (CEC 406.12) All branch circuits supplying 15/20 ampere outlets in family rooms, dining rooms,
- living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, kitchens, laundry room or similar rooms/areas shall be protected by a listed combination type arc-fault circuit interrupter. (CEC 210.12)
- Provide a minimum of one 20A circuit to be used for the laundry receptacle. (CEC 210.11(C)(2)) Provide a minimum of one 20A circuit for bathroom receptacle outlets. (CEC 210.11(C)(3)
- Provide at least 1 outlet in basements, garages, laundry rooms, decks, balconies, porches and within 3' of the outside of each bathroom basin. (CEC 210.52 (D), (F) &
- Furnaces installed in attics and crawl spaces shall have an access platform (catwalk in attics), light switch and receptacle in the space. Provide a service receptacle for the furnace. (CEC 210.63)
- 10. All dwellings must have one exterior outlet at the front and the back of the dwelling. (CEC 210.52(E))
- . Garage receptacles shall not serve outlets outside the garage. Exception: Garage circuit may serve readily accessible outdoor receptacle outlets. ((CEC 210.1 (C)(4)) A minimum of 1 receptacle shall be provided for each car space. (210.52(G)
- 12. At least one wall switched lighting outlet or fixture shall be installed in every habitable room, bathroom, hallways, stairways, attached garages and detached garages with electrical power, equipment spaces (attics, basements, etc). (CEC 210.70)
- 13. Kitchens, dining rooms, pantries, breakfast nooks, and similar areas must have a minimum of two 20A circuits. Kitchen, pantry, breakfast nooks, dining rooms, **work** surfaces and similar areas counter outlets must be installed in every counter space 12" inches or wider, not greater than 4' o.c., within 24" inches of the end of any counter space and not higher than 20" above counter. (CEC 210.52 (C)) Island counter spaces shall have at least 1 receptacle outlet unless a range top or sink is installed than 2 receptacles may be required. 1 receptacle is required for peninsular
- depth behind the sink is more than 12" for straight counters and 18" for corner installations. (CEC Figure 210.52(C)(1)) 4. Receptacles shall be installed at 12' o.c. maximum in walls starting at 6' maximum
- from the wall end. Walls longer than two feet shall have a receptacle. Hallway walls longer than 10 ft shall have a receptacle in hallways. (CEC 210.52(A)) 15. Receptacles shall not be installed within or directly over a bathtub or shower stall.
- (CEC 406.9(C) Light pendants, ceiling fans, lighting tracks, etc shall not be located within 3ft horizontally and 8ft vertically above a shower and/or bathtub threshold. (CEC 410.10(D))
- 16. All lighting/fan fixtures located in wet or damp locations shall be rated for the application. (CEC 410.10)
- 17. GFCI outlets are required: for all kitchen receptacles that are designed to serve countertop surfaces, dishwashers, bathrooms, in under-floor spaces or below grade level, in unfinished basements, crawl space lighting outlets, in exterior outlets, within 6' of a laundry/utility/wet bar sinks, laundry areas, and in all garage outlets including outlets dedicated to a single device or garage door opener. (CEC 210.8)
- 18. Carbon-monoxide alarms shall be installed in dwelling units with fuel-burning appliances or with attached garages (CRC R315):

h CRC Chapters 8, 9 and local ordi- inimum.	•	
2 shall have two layers of underlay-	•	
PORT	1	9
hit & attic area by ½ inch gypsum th habitable rooms shall be separat- . Structure supporting floor/ceiling	•	
ve $\frac{1}{2}$ " gypsum board installed mini- elling shall be solid wood/steel doors hick or a 20-minute rated fire door.	•	
enings directly into a sleeping room ge has fire sprinklers installed per	2	20
om the garage only need to be self- 2.6)	2	1
ion shall be a minimum of 26 gauge)	2	2
paration wall (other than ducts as R302.11, item #4.	2	3

A concrete-encased electrode (ufer) consisting of 20' of rebar or #4 copper wire

counter spaces. Receptacles shall be located behind kitchen sinks if the counter area

Outside of each separate sleeping area in the immediate vicinity of bedrooms

- On every level of a dwelling unit including basements
- Alterations, repairs, or additions exceeding 1,000 dollars (May be battery operated) Smoke alarms shall be installed (CRC (R314):
- In each room used for sleeping purposes.
- Outside of each separate sleeping area in the immediate vicinity of bedrooms.
- In each story, including basements.

(CEC 406.9(B)(1))

- . At the top of stairways between habitable floors where an intervening door or obstruction prevents smoke from reaching the smoke detector. Shall not be installed within 20ft horizontally of cooking appliances and no closer than 3ft to mechanical registers, ceiling fans and bathroom doors with a bathtub or
- shower unless this would prevent placement of a smoke detector (314.3(4)). Alterations, repairs, or additions exceeding 1,000 dollars. (May be battery operated.)
- All smoke and carbon-monoxide alarms shall be hardwired with a battery backup (smoke alarms shall have a 10-year sealed battery). (CRC R314.4 & R315.1.2)
- 24. Smoke detectors within 10 feet to 20 feet of the stove shall be ionization type with alarm silencing switch. CRC R314.3.3. 5. All 15/20 ampere receptacles in wet locations shall have in-use (bubble) covers in stalled. All receptacles in wet locations shall also be listed weather-resistant type.

PLUMBING

- Underfloor cleanouts shall not be more than 5' from an underfloor access, access door or trap door. (CPC 707.9)
- ABS piping shall not be exposed to direct sunlight unless protected by water based synthetic latex paints. (CPC 312.13)
- PVC piping shall not be exposed to direct sunlight unless protected by water based synthetic latex paint, .04" thick wrap or otherwise protected from UV degradation. (CPC 312.14)
- Underground water supply lines shall have a 14 awg blue tracer wire. (CPC
- The adjacent space next to showers without thresholds shall be considered a "wet location" when using the CRC, CBC, and the CEC. (CPC 408.5)
- Shower compartments, regardless of shape, shall have a minimum finished interior of 1024 square inches (32" by 32") and shall also be capable of encompassing a 30" circle. The required area and dimensions shall be measured at a height equal to the top of the threshold and shall be maintained to a point of not less than 70' above the shower drain outlet. (CPC 408.6) Provide curtain rod or door a minimum of 22" in width. (CPC 408.5) Showers and tubs with showers require a nonabsorbent surface up to 6' above the floor. (CRC R307.2) Minimum shower receptor slope is 1/8'' per foot. (408.5)
- Show location and size of the water heater on plans. Provide pressure relief valve with drain to outside for water heater. (CPC 504.6) Provide seismic strapping in the upper & lower third of the water heater a minimum of 4" above controls. (CPC 507.2) The water heater shall be of an instantaneous type or the following shall be provided (new construction only) (CEC 150(n)):
- A 120V receptacles provided within 3ft
- A category III or IV vent, or a straight (without bends) Type B vent
- Condensate drain that is no more than 2 inches higher than the base of the water
- Gas supply line with a minimum 200,000 Btu/hr dedicated capacity for the water
- A dedicated 120/240, 3 wire circuit with 10AWG wire to a receptacle outlet within 3' of the water heater. The unused conductor shall be electrically isolated and have a reserved circuit breaker space. Both ends of the conductor shall be labeled "spare" and be electrically isolated. A reserve single-pole circuit breaker space near this circuit labeled "Future 240V Use." (CEC 150.0(n))
- Domestic hot water lines shall be insulated. Insulation shall be the thickness of the pipe diameter up to 2" in size and minimum 2" thickness for pipes larger than 2" ir diameter. (CPC 609.11)
- A 3-inch gravity drain shall be provided at the low point of the space, installed which provides 1/4-inch per foot grade and terminate at an exterior point of the building protected from blockage. The opening shall be screened with a corrosionresistant wire mesh with mesh openings of 1/4-inch in dimension. Lengths of the gravity drains over 10 feet in length shall be first approved by the Building Official. (L-V 8.8)
- 10. Water heaters located in attics, ceiling assemblies and raised floor assemblies shall show a water-tight corrosion resistant minimum 1 1/2" deep pan under the water heater with a minimum ³/₄ inch drain to the exterior of the building. (CPC 507.5)
- . Water closet shall be located in a space not less than 30" in width (15" on each side) and 24" minimum clearance in front. (CPC 402.5)
- 2. Indicate on the plans that the maximum hot water temperature discharging from a bathtub or whirlpool bathtub filler shall not exceed 120 degrees F. (CPC 408.3) 13. Provide anti-siphon valves on all hose bibs. (CPC 603.5.7)
- 14. Floor drains shall be provided with a trap primer. (CPC 1007)
- 15. Clearly label on the plans the maximum water flow rates per the (CGBSC 4.303.1):
- Water Closets: 1.28gpf
- Urinals: .125gpf
- Kitchen Faucets: 1.8gpm @ 60psi
- Lavatory Faucets: 1.2gpm @ 60psi Showerheads: 1.8gpm

MECHANICAL

- All newly installed gas fireplaces shall be direct vent and sealed-combustion type. (CMC 912.2)
- Any installed wood stove or pellet stove shall meet the U.S. EPA New Source Per formance Standard emission limits and shall have a permanent label certifying emission limits
- Top chimney must extend a minimum of 2 ft. above any part of the building within 10 ft. (CMC 802.5.4) Fireplaces shall have closable metal or glass doors, have combustion air intake
- drawn from the outside and have a readily accessible flue dampener control. Continuous burning pilot lights are prohibited. (CEC 150.0(e))
- Provide combustion air for all gas fired appliances per CMC Chapter 7.
- Gas vents passing through an insulated assembly shall have a metal insulation shield a minimum 2" above insulation. (CMC 509.6.2.7) Gas water heater and furnace are not allowed in areas opening into bathrooms
- closets or bedrooms unless installed in a closet equipped with a listed gasketed door assembly and a listed self-closing device with all combustion air obtained from the outdoors. (CPC 504)
- Roof top equipment on roofs with over 4/12 slope shall have a level 30"x30" working platform. (CMC 304.2)
- Exhaust openings terminating to the outdoors shall be covered with a corrosion resistant screen 1/4"-1/2" in opening size (not required for clothes dryers). (CMC
- 0. Vent dryer to outside of building (not to under-floor area). Vent length shall be 1^2 ft. maximum. Shall terminate a minimum of 3' from the property line and any opening into the building. (CMC 504.4.2) 1. Environmental Air Ducts shall not terminate less than 3' to a property line, 10' to a
- forced air inlet, 3' to openings into the building and shall not discharge on to a public way. (CMC 502.2.1) 12. Provide minimum 100 square inches make-up air for clothes dryers installed in clos-
- ets. (CMC 504.4.1(1)) Heating system is required to maintain 68 degrees at 3 ft. above floor level and 2ft from exterior walls in all habitable rooms. (CRC R303.10)
- 4. Wood burning appliances shall not be installed in a new or existing project that is not one of the following:
- A pellet-fueled wood burning heater.
- A U.S. EPA Phase II Certified wood burning heater.
- An appliance or fireplace determined to meet the U.S. EPA particulate matter emission standard of less than 7.5 grams per hour for a non-catalytic wood fired appliance or 4.1 grams per hour for a catalytic wood fired appliance and is approved in writing by the APCO.

TITLE 24 ENERGY

All ducts in conditioned spaces must include R-4.2 insulation. (150.1(c)9) Mini-

mum heating and cooling filter ratings shall be MRV 13 (150.0(m)12) Isolation water valves required for instantaneous water heaters 6.8kBTU/hr and above. Valves shall be installed on both cold and hot water lines. Each valve will need a hose bib or other fitting allowing for flushing the water heater when the valves are closed. (CEC 110.3(c)6)

- ALL luminaires must be high efficacy (150.0(k)1A)
- Luminaries recessed in insulated ceilings must meet five requirements (150.0(k)
- They must be rated for direct insulation contact (IC).
- They must be certified as airtight (AT) construction.
- They must have a sealed gasket or caulking between the housing and ceiling to prevent flow of heated or cooled air out of living areas and into the ceiling cavity.
- They may not contain a screw base sockets
- They shall contain a JA8 compliant light source In bathrooms, garages, laundry rooms, and utility rooms, at least on luminaire in each of these spaces shall be controlled by a vacancy sensor or occupant sensor provided the occupant sensor is initially programmed like a vacancy sen-
- sor (manual-on operation). (150.0(k)2I) Joint Appendix A (JA8) certified lamps shall be considered high efficacy. JA8 compliant light sources shall be controlled by a vacancy sensor or dimmer. (Exception:
- <70sf closets and hallway) (150.0(k)2K) Under-cabinet lighting shall be switched separately from other lighting systems (150.0(k)2L)
- All exterior lighting shall be high efficacy, be controlled by a manual on/off switch and have one of the following controls (the manual switch shall not override the automatic control device): (150.0(k)3A)
- Photo-control and motion sensor
- Photo-control and automatic time switch control

the kitchen and shall be HERS verified.

wall or fire resistive construction. (CRC R337.7)

struction requirements. (CRC R337.5-9)

burning embers. (CRC R337.6)

(CRC R337.8.3)

permitted. (R337.8.4)

service and/or subpanel.

operation at a time. (CGBSC 4.303.1.3.2)

demolition waste. (CGBSC 4.408.2)

Public transportation and carpool options

enter the system. (CGBSC 4.504.1)

age, irrigation systems, etc.

beled "EV CAPABLE".

(CGBSC 4.410)

or noncombustible material. (CRC R337.9)

and retain soil runoff on the site (CGBSC 4.106.2):

wattle or other method approved by the enforcing agency.

ing for electric vehicle (EV) charging stations (CGBSC 4.106.4):

Information from local utility, water and waste recovery providers

Information regarding routine maintenance procedures

State solar energy incentive program information

- Astronomical time clock control turning lights off during the day All high efficacy light fixtures shall be certified as "high-efficacy" light fixtures b the California Energy Commission.
- 10. Contractor shall provide the homeowner with a luminaire schedule giving the lamps used in the luminaires installed. (10-103(b))

WILDLAND URBAN INTERFACE (WUI)

shall be tested to meet the performance requirements of SFM Standard 12-7A-1.

GREEN BUILDING

a suitable box location for EV charging. The other end shall terminate to the main

1. The number of blank electrical boxes more than 5 feet above the finished floor shall not be greater than the number of bedrooms. These electrical boxes must be

served by a dimmer, vacancy sensor, or fan speed control. (150(k)1B) Provide a gasket/ insulation on all interior attic/under-floor accesses. (110.7) 3. Provide verification on the plans how the building will meet the minimum ventilation

and acceptable indoor air quality requirements per ASHRAE Standard 62.2. Window operation is not a permissible method of providing the whole building ventilation airflow required. This is subject to HERS testing. The following label must be attached to the fan switch: "To maintain minimum levels of outside air ventilation required for good health, the fan control should be on at all times when the building is occupied, unless there is severe outdoor air contamination." (California Energy Code 150.0(o)) A minimum 100 CFM indoor air quality fan is required in

Exterior wall coverings shall be noncombustible, ignition resistant, heavy timber, log

Exterior wall coverings shall extend from the foundation to the roof and terminate at 2 inch nominal solid blocking between rafters and overhangs. (CRC R337.7.3.2) Open/enclosed roof eaves and soffits, exterior porch ceilings, floor projections, un

der-floor areas and undersides of appendages to comply with ignition resistant con-Spaces created between roof coverings and roof decking shall be fire stopped by approved materials or have one layer of minimum 72lb mineral surfaced non-

perforated cap sheet complying with ASTM D 3909. (CRC R337.5.2) Indicate on the plans where valley flashing is installed, the flashing shall be not less than 26awg and installed over not less than one layer of minimum 72lb mineral surfaced non-perforated cap sheet complying with ASTM D 3909 and at least 36 inches wide running the full length. (CRC R337.5.3)

Attic gable and eaves above 12ft and under-floor ventilation shall be provided with fully covered metal wire mesh, vents, or other materials that have a minimum 1/16 inch and maximum 1/8 inch openings, non-combustible and corrosion resistant. All other eave vents shall be listed/approved to resist the intrusion of flame and

Indicate on plans exterior glazing shall have a minimum of one-tempered pane, glass block, have a fire resistive rating of 20 minutes or be tested to meet perfor-mance requirements of SFM Standard 12-7A-2. (CRC R337.8.2)

8. Operable skylights shall be protected by a noncombustible mesh screen 1/8" max openings (R337.8.2.2 Exterior doors including garage doors shall be noncombustible, ignition resistant material, minimum 1 3/8 inch solid core, minimum 20 minute fire resistive rating or

10. Garage door perimeter gap maximum 1/8". Metal flashing, jamb and header overlap, and weather-stripping meeting section requirements are

11. The walking surface material of decks, porches, balconies and stairs within 10ft of grade level shall be ignition resistant material, exterior fire-retardant treated wood

Projects which disturb less than one acre of soil and are not part of a larger com mon plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion

Retention basins of sufficient size shall be utilized to retain storm water on site

Where storm water is conveyed to a public drainage system, collection point, gutter, or similar disposal method, water shall be filtered by use of a barrier system,

All new residential construction with attached private garages shall have the follow-Install a minimum 1-inch conduit capable of supplying a 208/240V branch circuit to

The main panel and/or subpanel shall be of sufficient size to install a 40-ampere dedicated branch circuit. The dedicated overcurrent protection space shall be la-

Multiple shower heads serving a single shower shall have a combined flow rate of 1.8 gpm or the shower shall be designed to allow only one shower outlet to be in

Residential projects with an aggregate landscape area equal to or greater than 500 square feet shall comply with either a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. Automatic irrigation system controllers installed at time of final inspection shall have weather or soil based controllers and/or weather based controllers with rain sensors. Soil moisture based controllers are not required to have rain sensor input. (CGBSC 4.304) Recycle and/or reuse a minimum of 65 percent of nonhazardous construction and

(Clearly note on the plans) At time of final inspection, a building operation and maintenance manual, compact disc, etc shall be provided containing the following:

Directions that manual shall remain onsite for the life of the building Operation and maintenance instructions for equipment, appliances, roof/yard drain-

Material regarding importance of keeping humidity levels between 30-60 percent

A copy of any required special inspection verifications that were required (if any) The project shall meet minimum pollutant control requirements for adhesives, sealants, caulks, paints, carpet, resilient flooring systems, etc. (CGBSC 4.504) 10. Duct openings related to HVAC systems shall be covered with tape, plastic, sheet metal or other methods to reduce the amount of water, dust and debris which may



DESIGN | CONSULTING

P.O. BOX 3535 HALF MOON BAY, CA 94019 650.560.8100 www.hawkdesignandconsulting.com

■ PROJECT: LACASIA RESIDENCE

■ OWNER: Elizabeth Lacasia

PROJECT ADDRESS: 779 SAN CARLOS AVE. EL GRANADA, CA 94018

CONTACT INFORMATION EMAIL: elacasia@gmail.com PHONE: 650-766-2706

APPROVAL

OWNER/AGENT

GENERAL CONTRACTOR

SUBCONTRACTOR

NO.	REVISION/DESCRIPTION	DATE
1	PLANNING SUBMITTAL	10/18/24

SHEET TITLE: **PROJECT NOTES AND** SPECIFICATIONS

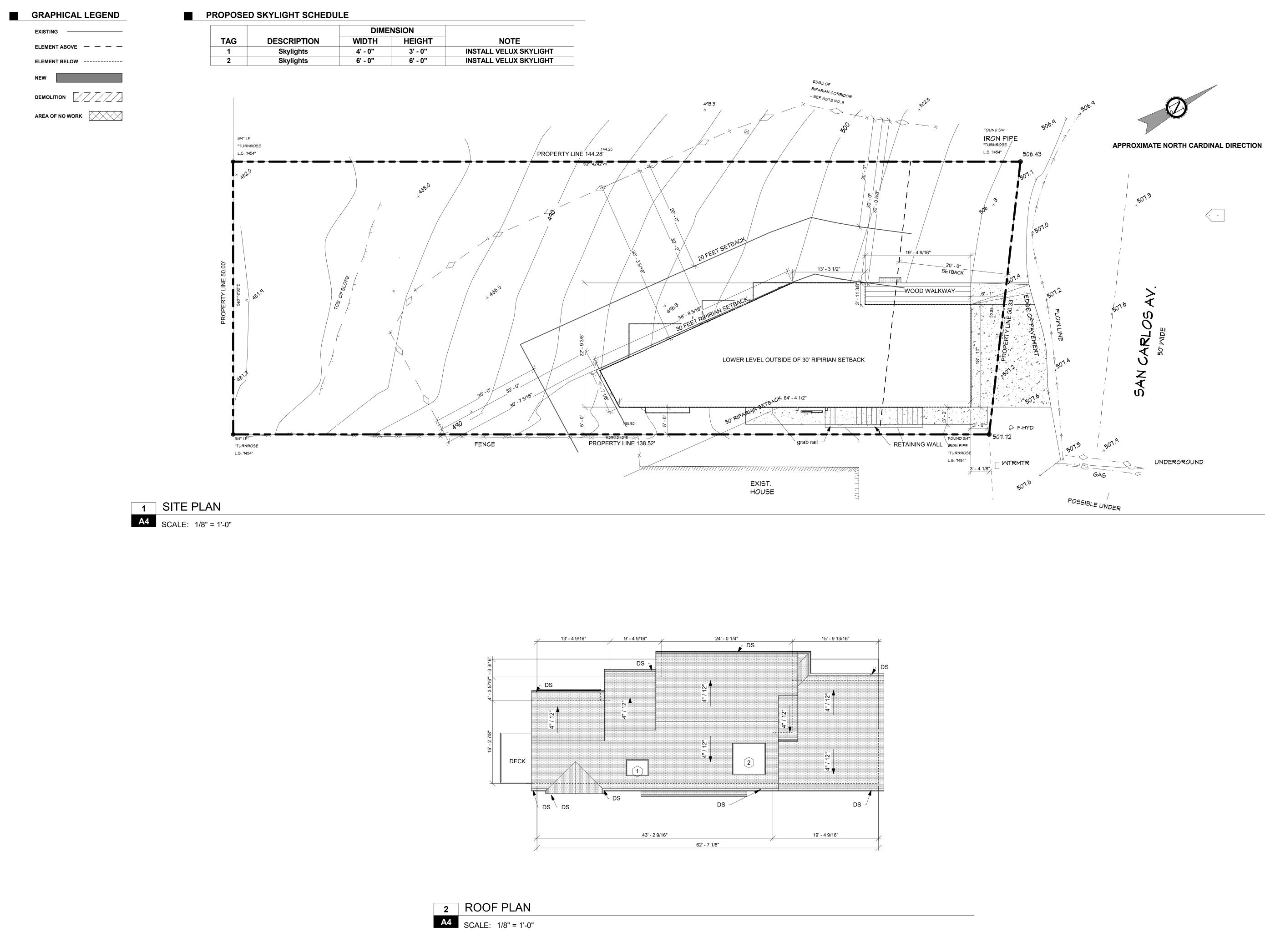






SCALE:

PLEASE VERIFY ALL DIMENSIONS AND REVIEW DETAILS AND NOTES FOR. BUT NOT LIMITED TO. CABINETS, PLUMBING, STRUCTURAL, AND ELECTRICAL COMPONENTS.





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APPROVAL

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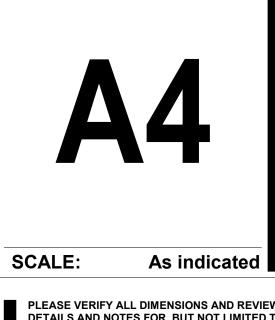
SUBCONTRACTOR

NO.	REVISION/DESCRIPTION	DATE
1	PLANNING SUBMITTAL	10/18/24

SHEET TITLE:

SITE PLAN



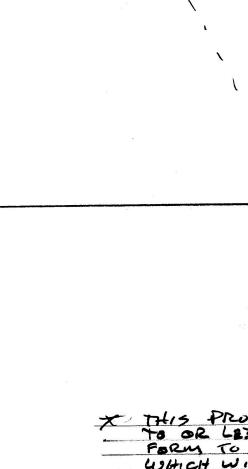


ARCHITECTURAL

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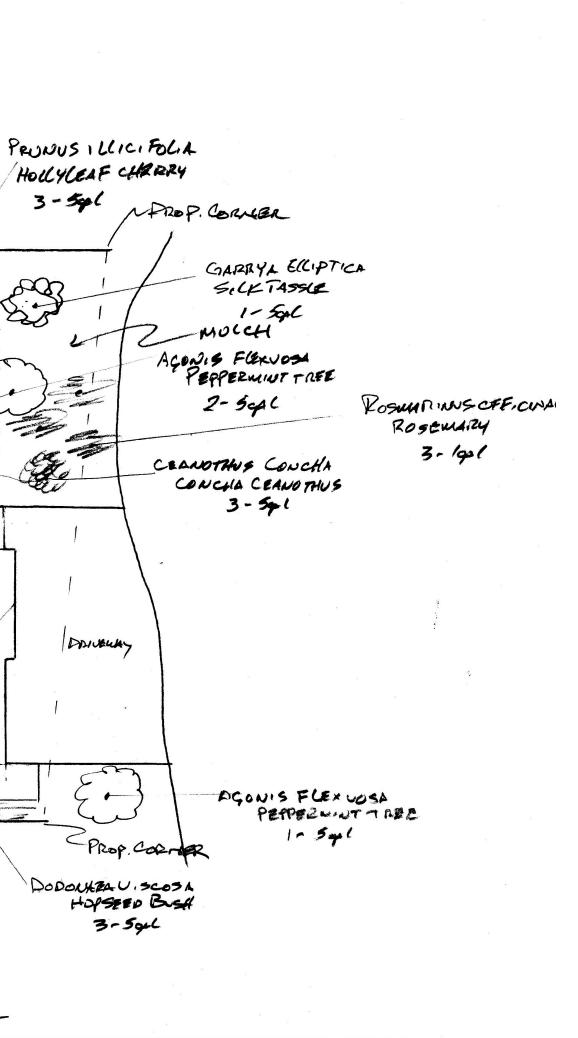
FLORA FARM 340 PURISSIMA ST HALF MOON BAY CA- 94019 Lic . # 549103

OWNER'. ELIZABETH LACASIA 779 AN CARLOS EL GRANADA, CA. 94018 1/8"=1" DETE: 3/22/24



APROR, LINE

- EDGE OF RIPORIAN The se Ne. WACKWAY ENTRY House Sit TOM PATH ORS 6 FENCE ARBUTUS MARINA CEANDTHUS STRAWBERRY TRZE ROSMARINUS OFFICINALIS · RAY HARTUGH ROSEMARY 1- 5gt 1 QUERCUS BERBERDIFULA Ray HARTMAN 2-1916 SCRUB OAK CESNOTIUS 3-5ql 3.591 THIS PROJECT DOES INCORPONATE LANDSCHPING FOUL TO OR LESS THAN 2900 SOFT. LOD WILL BE USEING THIS FORM TO IDENT, FY PRESCRIPTINE REQUIREMENTS WHICH WILL BE INCLUDED AS PART OF THE LANDSCHPE PROJECT. LONT LIST COMMON NAME BOTANICAL NAME AGONIS FLEXUOSA PRPPERWINT TREE TOTAL LANDSCHPE AREA: 1,100 Soft TURF AREA: N/A SPECIAL LANDSCAPE AREA: N/A WATED TYPE: POTABLE NAME OF WATED PURNETOR: COWD STRAWBERRY TREE ARBUTUS 'MARINA' QUERCUS BEREZDIELA SCRUB OAK Hollyleff CHERRY PRUNUS ILLICIFOLIA HUPSED BUSH DO DONAEL VISCOSA WITH THE REQUIREMENTS OF THE MUE! Contetta CENOTTAS CEPARTHUS CONCHA Raythe STIMAN CELADTHUS CEANSTITUS Ray Hartan 10 white 3/23/24 ROSMARINUS OFFICINALIS ROGEWARY GARRYA ELLAPTICA SILK TASSEL PRESCRIPTIJE COMPLY WITH THE REQUINEMENTS OF THE PRESCRIPTIJE COMPLIANCE OFTION OF THE MUELO PER APPENDON D. * ALL PLANTS TO BE HAND WATERED 3/23/24 PLANTING NOTES: 1. INCORPORATE COMPOST AT A RATE OF AT LEAST 4 CU. 405 PER 1000 34. TO A DEPTH OF 6" INTO LANDSLAPE AREA. 2. A M.N.MUM OF 3" LAYER OF MULCH SHOULD BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT IN AREAS OF CREEPING GROUND COVER ON TURF.



QTY/SIZE	WI	TYPE	
3 / Sogri	L.	TREE	
T/Sypl	L	TIZZ	ì
3/541	VL	TREE	
3/ Sopl	L	SHIRUB	
3/54	L	SHRUB	
3/541		SHRUB	1.1
3 / 504 (1000 000 000 000 00 000000000000000000	SARUB	
.5/10pl		GR. Carer	
1/ 5ggl	L .	SHEUB	

Nonth



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GENERAL CONTRACTOR

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NO.	REVISION/DESCRIPTION	DATE
1	PLANNING SUBMITTAL	10/18/24

SHEET TITLE: LANDSCAPE PLAN

Author

ARCHITECTURAL

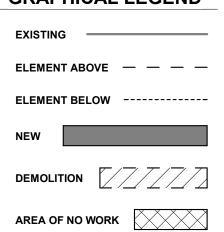
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SCALE:

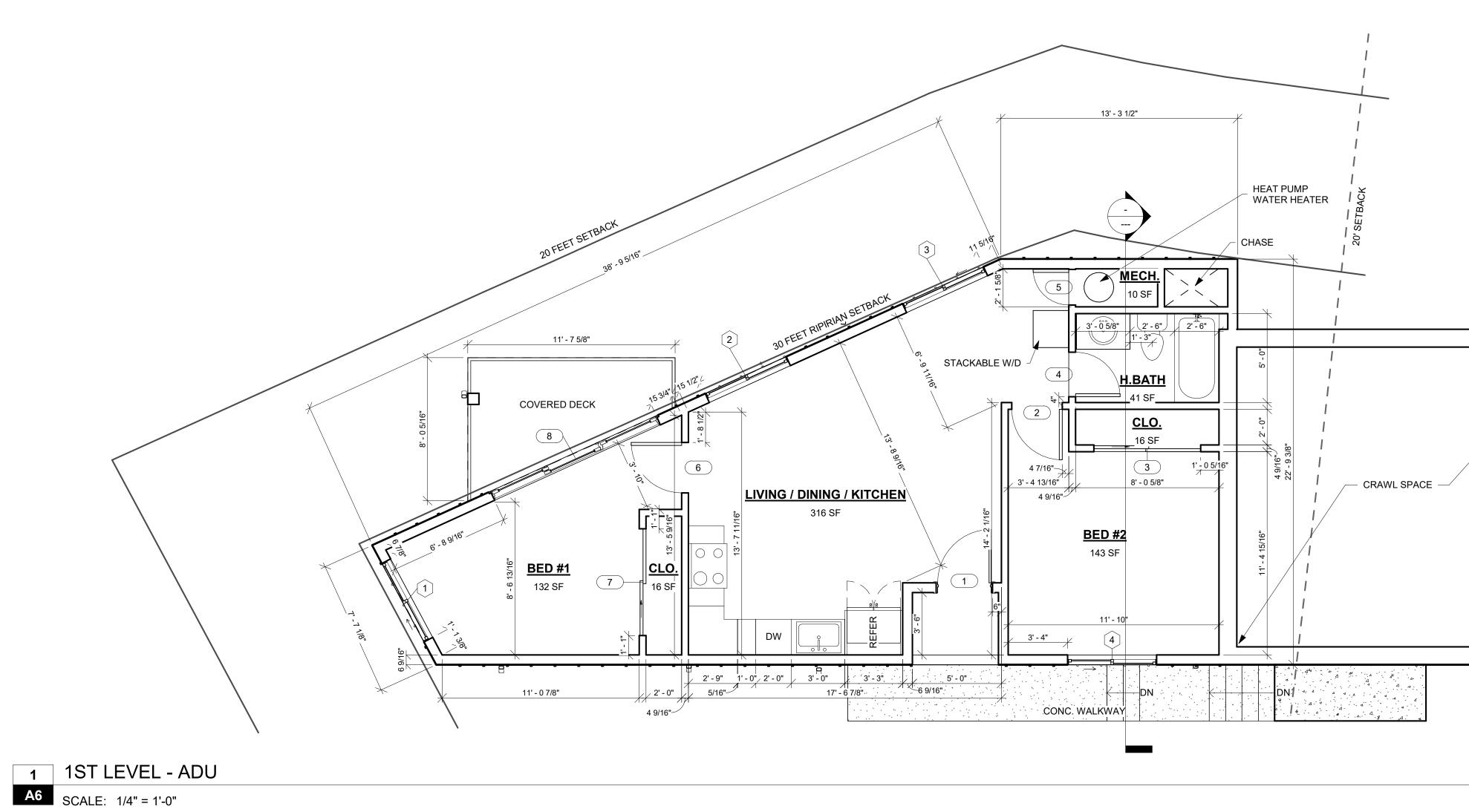
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GRAPHICAL LEGEND



PROPOSED DOOR SCHEDULE

		DIMEN	NSION	
TAG	DESCRIPTION	WIDTH	HEIGHT	NOTES
1	Doors	3' - 0''	6' - 8''	INSTALL NEW DOOR
2	Doors	2' - 10"	6' - 8''	INSTALL NEW DOOR
3	Sliding Doors	6' - 0''	6' - 8''	INSTALL NEW SLDIING DOOR
4	Doors	2' - 6''	6' - 8''	INSTALL NEW DOOR
5	Doors	2' - 0''	6' - 8''	INSTALL NEW DOOR
6	Doors	2' - 10"	6' - 8''	INSTALL NEW DOOR
7	Sliding Doors	6' - 0''	6' - 8''	INSTALL NEW SLDIING DOOR
8		10' - 2 3/4"	7' - 5 1/2"	INSTALL NEW TEMPERED GLASS SLIDING DOOR



PROPOSED WINDOW SCHEDULE

		DIMENSION		
TAG	DESCRIPTION	WIDTH	HEIGHT	NOTE
1	Sliding Windows	5' - 0''	7' - 6"	INSTALL NEW SLIDING WINDOW
2	Sliding Windows	5' - 0''	5' - 0''	INSTALL NEW SLIDING WINDOW
3	Sliding Windows	5' - 0''	5' - 0''	INSTALL NEW SLIDING WINDOW
4	Sliding Windows	5' - 0''	4' - 0''	INSTALL NEW SLIDING DOOR TO MEET EGRESS





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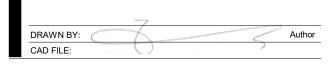
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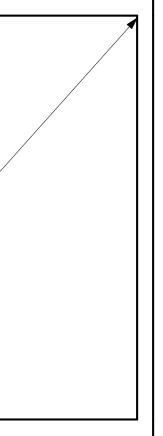
SUBCONTRACTOR

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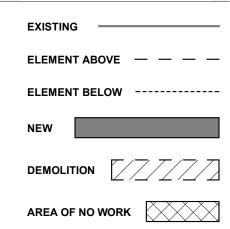
SHEET TITLE: 1ST LEVEL - ADU





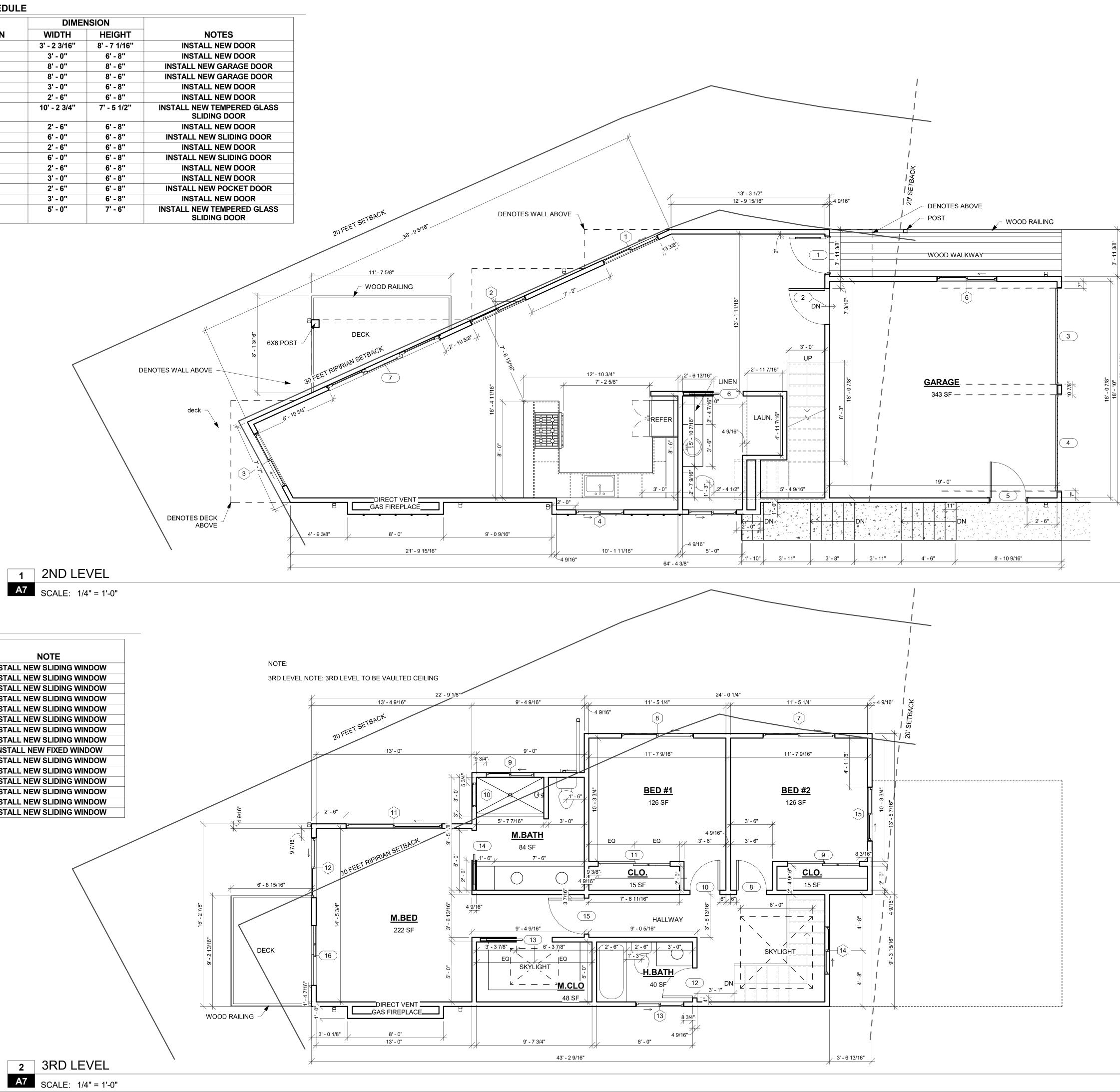






PROPOSED DOOR SCHEDULE

	ISION	DIMEN		
NC	HEIGHT	WIDTH	DESCRIPTION	TAG
INSTALL	8' - 7 1/16"	3' - 2 3/16"		1
INSTALL	6' - 8''	3' - 0''	Doors	2
INSTALL NEW	8' - 6''	8' - 0''	Doors	3
INSTALL NEW	8' - 6''	8' - 0''	Doors	4
INSTALL	6' - 8''	3' - 0''	Doors	5
INSTALL	6' - 8''	2' - 6''		6
INSTALL NEW T SLIDIN	7' - 5 1/2"	10' - 2 3/4"		7
INSTALL	6' - 8''	2' - 6"	Doors	8
INSTALL NEW	6' - 8''	6' - 0''	Sliding Doors	9
INSTALL	6' - 8''	2' - 6''	Doors	10
INSTALL NEW	6' - 8''	6' - 0''	Sliding Doors	11
INSTALL	6' - 8''	2' - 6"	Doors	12
INSTALL	6' - 8''	3' - 0''		13
INSTALL NEW	6' - 8''	2' - 6''		14
INSTALL	6' - 8''	3' - 0''	Doors	15
INSTALL NEW T SLIDIN	7' - 6''	5' - 0"	Sliding Doors	16



 1
 2ND LEVEL

 A7
 SCALE: 1/4" = 1'-0"

PROPOSED WINDOW SCHEDULE

		DIME	NSION	
TAG	DESCRIPTION	WIDTH	HEIGHT	NOTE
1	Sliding Windows	5' - 0''	6' - 0''	INSTALL NEW SLIDING WINDOW
2	Sliding Windows	5' - 0''	6' - 0''	INSTALL NEW SLIDING WINDOW
3	Sliding Windows	5' - 0''	7' - 6''	INSTALL NEW SLIDING WINDOW
4	Sliding Windows	4' - 0''	4' - 0''	INSTALL NEW SLIDING WINDOW
6	Sliding Windows	5' - 0''	6' - 0''	INSTALL NEW SLIDING WINDOW
7	Sliding Windows	6' - 0''	6' - 0''	INSTALL NEW SLIDING WINDOW
8	Sliding Windows	6' - 0''	6' - 0''	INSTALL NEW SLIDING WINDOW
9	Sliding Windows	4' - 0''	3' - 0''	INSTALL NEW SLIDING WINDOW
10	Fixed Windows	2' - 0''	3' - 0''	INSTALL NEW FIXED WINDOW
11	Sliding Windows	8' - 0''	6' - 0''	INSTALL NEW SLIDING WINDOW
12	Sliding Windows	5' - 0''	6' - 0''	INSTALL NEW SLIDING WINDOW
13	Sliding Windows	4' - 0''	4' - 0''	INSTALL NEW SLIDING WINDOW
14	Sliding Windows	4' - 0''	4' - 0''	INSTALL NEW SLIDING WINDOW
15	Sliding Windows	4' - 6''	4' - 6''	INSTALL NEW SLIDING WINDOW
19	Sliding Windows	4' - 0''	4' - 0''	INSTALL NEW SLIDING WINDOW



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APPROVAL

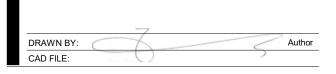
OWNER/AGENT

GENERAL CONTRACTOR

SUBCONTRACTOR

NO.	REVISION/DESCRIPTION	DATE
1	PLANNING SUBMITTAL	10/18/24

SHEET TITLE: 2ND AND 3RD LEVEL





GRAPHICAL LEGEND
EXISTING
ELEMENT ABOVE — — — —
ELEMENT BELOW
NEW

ROOF NOTE:

ALL ROOF INSTALLATIONS REGULATED BY THE CALIFORNIA BUILDING CODE CHAPTER 15 AND APPENDIX CHAPTER 15 SHALL COMPLY TO CBC 1505, BUT NO CASE SHALL BE LISTED AS LESS THAN A MINIMIM OF A CLASS B ROOFING ASSEMBLY (HMB14.04.110.G)

INSTALL (N) 40 YEAR ASPHALT SHINGLE ROOFING WITH 30# FELT UNDERLAYMENT ON ALL PITCHED ROOF SURFACES. COLOR TO BE LANDMARK® TL MOIRE BLACK (CLASS A FIRE-RESISTANCE RATING) PER CBC 1505

Hiline Indoor/Outdoor LED Wall Sconce By Modern Forms

Product Options

Finish: Black , Bronze Size: Short , Medium

Details

- Sealed LED Housing
- Multi-Tiered Deck Design Rated Life: 50,000 Hours
- Designed in 2015
- Material: Aluminum Shade Material: Etched Glass Light Shield
- Dimmer Range: 10%
- ADA compliant, Dark Sky compliant ETL Listed Wet
- Warranty: 5 Years Functional, 2 Years Finish Made In China
- Dimensions

Short Option Fixture: Width 5", Height 8", Depth 2.75" Medium Option Fixture: Width 6", Height 12", Depth 2.75" Tall Option Fixture: Width 7", Height 16", Depth 2.75"

Lighting

• 8 Watt (480 Lumens) 120 Volt Integrated LED: CRI: 85 Color Temp: 3000K Lifespan: 50000 hours

Additional Details

Product URL: https://www.lumens.com/hiline-indoor-outdoor-led-wall-sconce-by-modern-for ms-uu504690.html

Rating: ETL Listed Wet

Product ID: uu504690

Prepared by:

Prepared for: Project: Room: Placement: Approval:



Created July 22nd, 2020

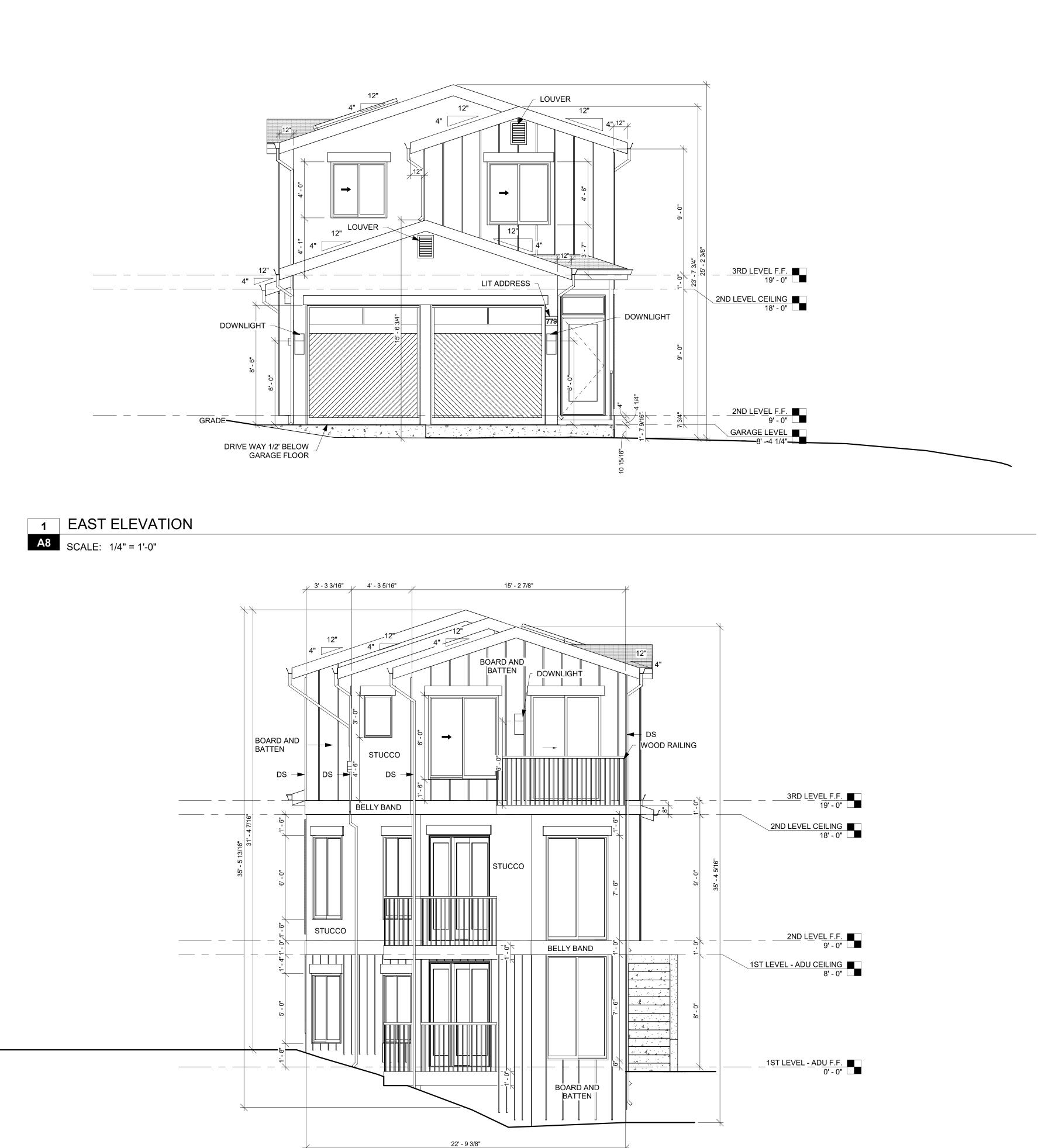
GRADE-













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APPROVAL

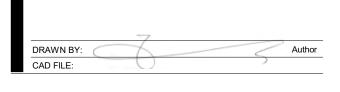
OWNER/AGENT

GENERAL CONTRACTOR

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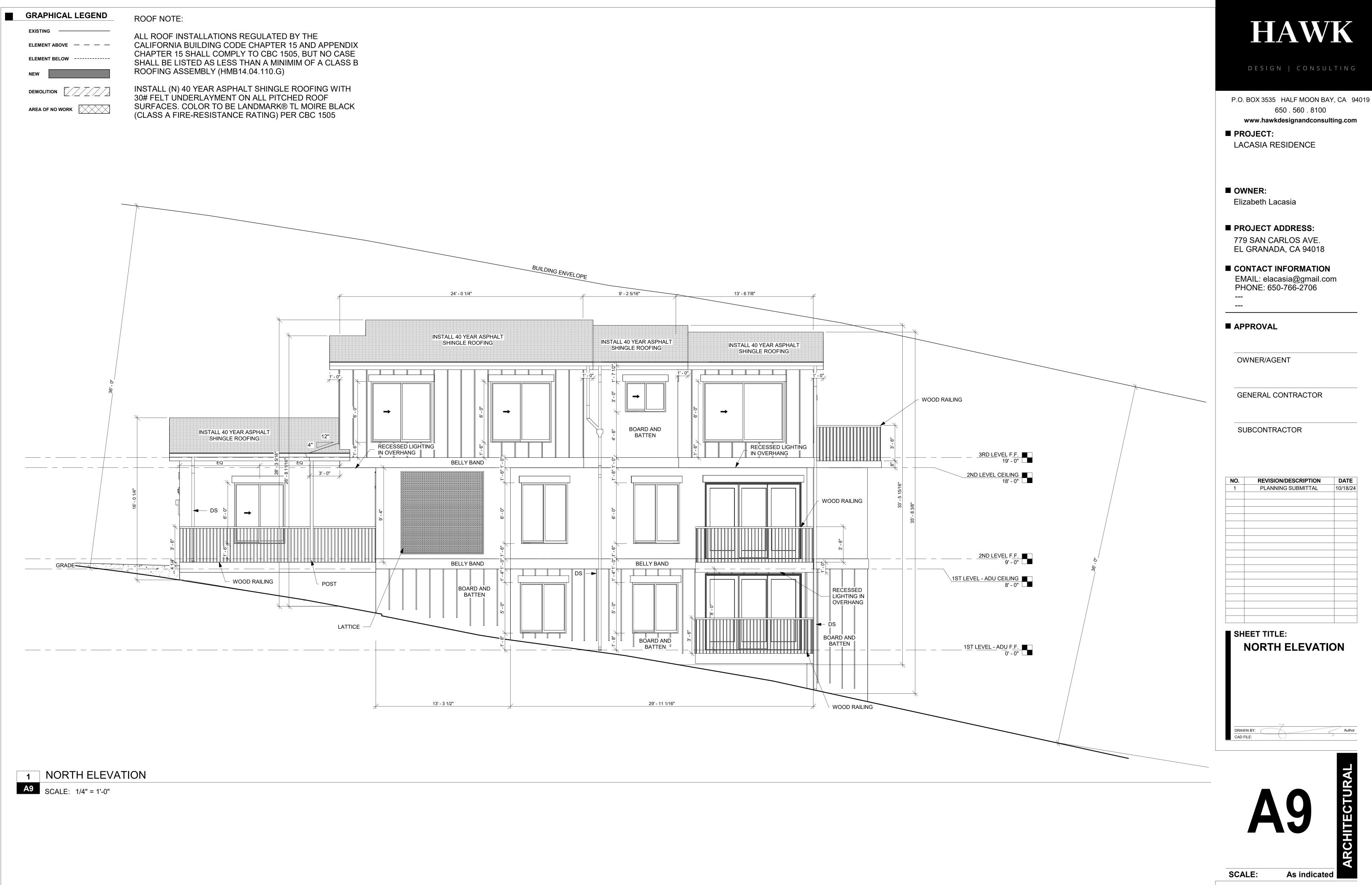
NO.	REVISION/DESCRIPTION	DATE
1	PLANNING SUBMITTAL	10/18/24

SHEET TITLE: EAST AND WEST ELEVATION



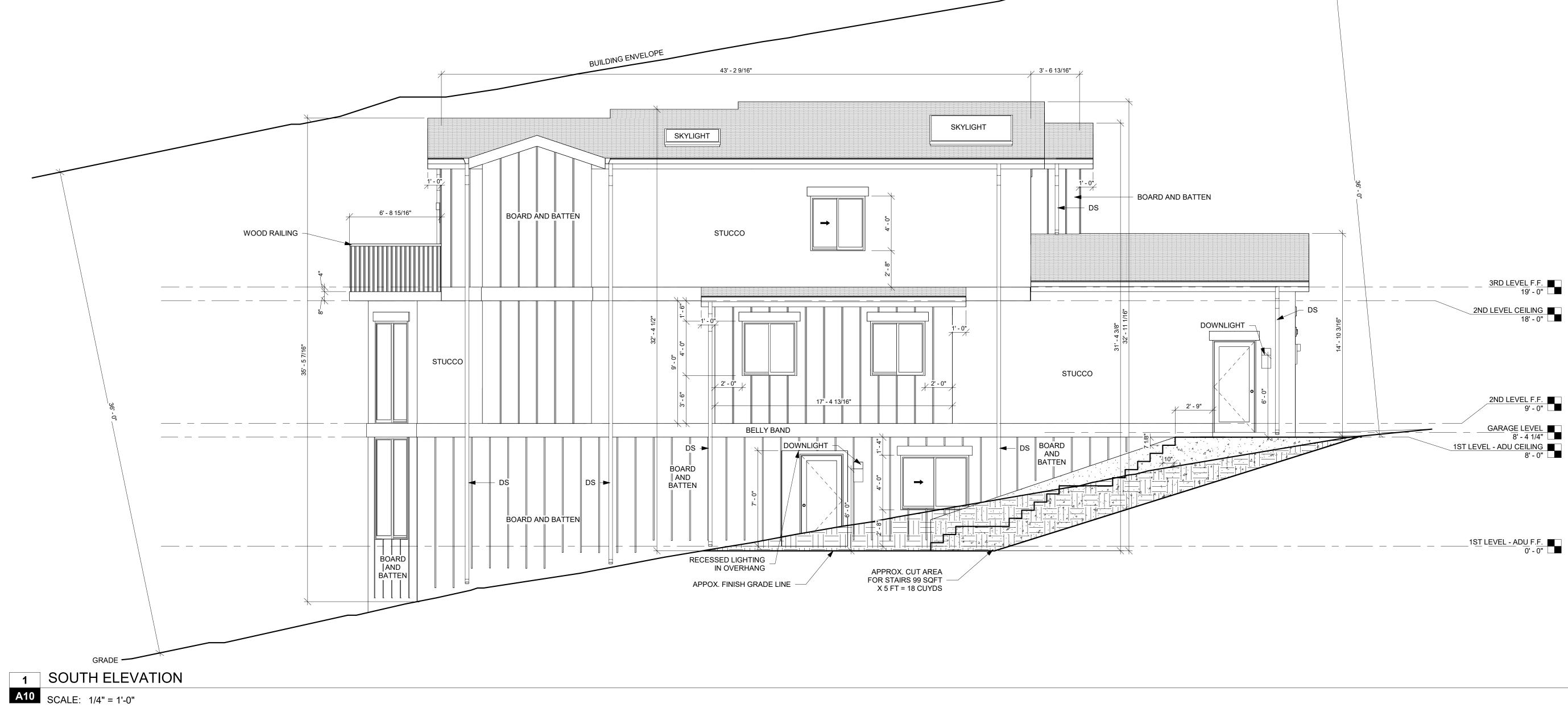


PLEASE VERIFY ALL DIMENSIONS AND REVIEW DETAILS AND NOTES FOR, BUT NOT LIMITED TO, CABINETS, PLUMBING, STRUCTURAL, AND ELECTRICAL COMPONENTS.



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GRAPHICAL LEGEND	ROOF NOTE:	
EXISTING ELEMENT ABOVE	ALL ROOF INSTALLATIONS REGULATED BY THE CALIFORNIA BUILDING CODE CHAPTER 15 AND APPENDIX CHAPTER 15 SHALL COMPLY TO CBC 1505, BUT NO CASE SHALL BE LISTED AS LESS THAN A MINIMIM OF A CLASS B ROOFING ASSEMBLY (HMB14.04.110.G)	Hi By Pre
	INSTALL (N) 40 YEAR ASPHALT SHINGLE ROOFING WITH 30# FELT UNDERLAYMENT ON ALL PITCHED ROOF SURFACES. COLOR TO BE LANDMARK® TL MOIRE BLACK (CLASS A FIRE-RESISTANCE RATING) PER CBC 1505	Fin Siz De
		•



Hiline Indoor/Outdoor LED Wall Sconce y Modern Forms

	LUMENS)
LIGI	HT AND LIVING	ż
	Call Us 877.445.4486	õ

roduct Options inish: Black , Bronze

ize: Short , Medium

etails Sealed LED Housing Multi-Tiered Deck Design Rated Life: 50,000 Hours Designed in 2015 Material: Aluminum Shade Material: Etched Glass Light Shield Dimmer Range: 10% • ADA compliant, Dark Sky compliant • ETL Listed Wet Warranty: 5 Years Functional, 2 Years Finish

 Made In China Dimensions

Short Option Fixture: Width 5", Height 8", Depth 2.75" Medium Option Fixture: Width 6", Height 12", Depth 2.75" Tall Option Fixture: Width 7", Height 16", Depth 2.75"

Lighting

• 8 Watt (480 Lumens) 120 Volt Integrated LED: CRI: 85 Color Temp: 3000K Lifespan: 50000 hours

Additional Details

Product URL: https://www.lumens.com/hiline-indoor-outdoor-led-wall-sconce-by-modern-for ms-uu504690.html Rating: ETL Listed Wet

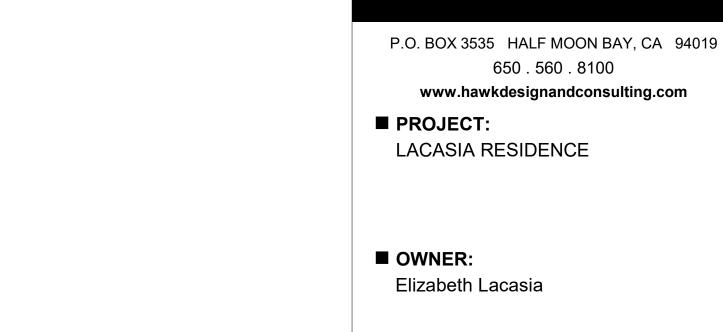
Product ID: uu504690

Prepared by: Prepared for: Project: Room: Placement: Approval:

Created July 22nd, 2020



Notes:



- PROJECT ADDRESS: 779 SAN CARLOS AVE. EL GRANADA, CA 94018
- CONTACT INFORMATION EMAIL: elacasia@gmail.com PHONE: 650-766-2706 ------

APPROVAL

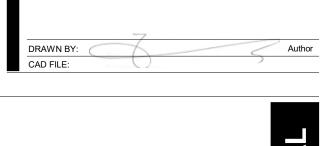
OWNER/AGENT

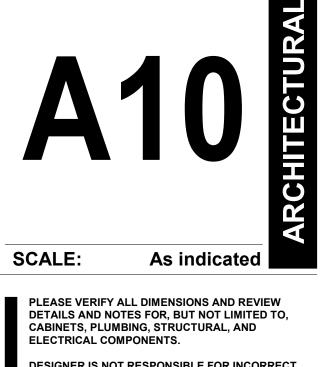
GENERAL CONTRACTOR

SUBCONTRACTOR

NO.	REVISION/DESCRIPTION	DATE
1	PLANNING SUBMITTAL	10/18/24

SHEET TITLE: SOUTH ELEVATION





DESIGNER IS NOT RESPONSIBLE FOR INCORRECT MEASUREMENTS. ANY AND ALL DIMENSIONAL DISPUTES SHALL BE BROUGHT TO THE DESIGNER'S AND/OR CONTRACTOR'S ATTENTION.



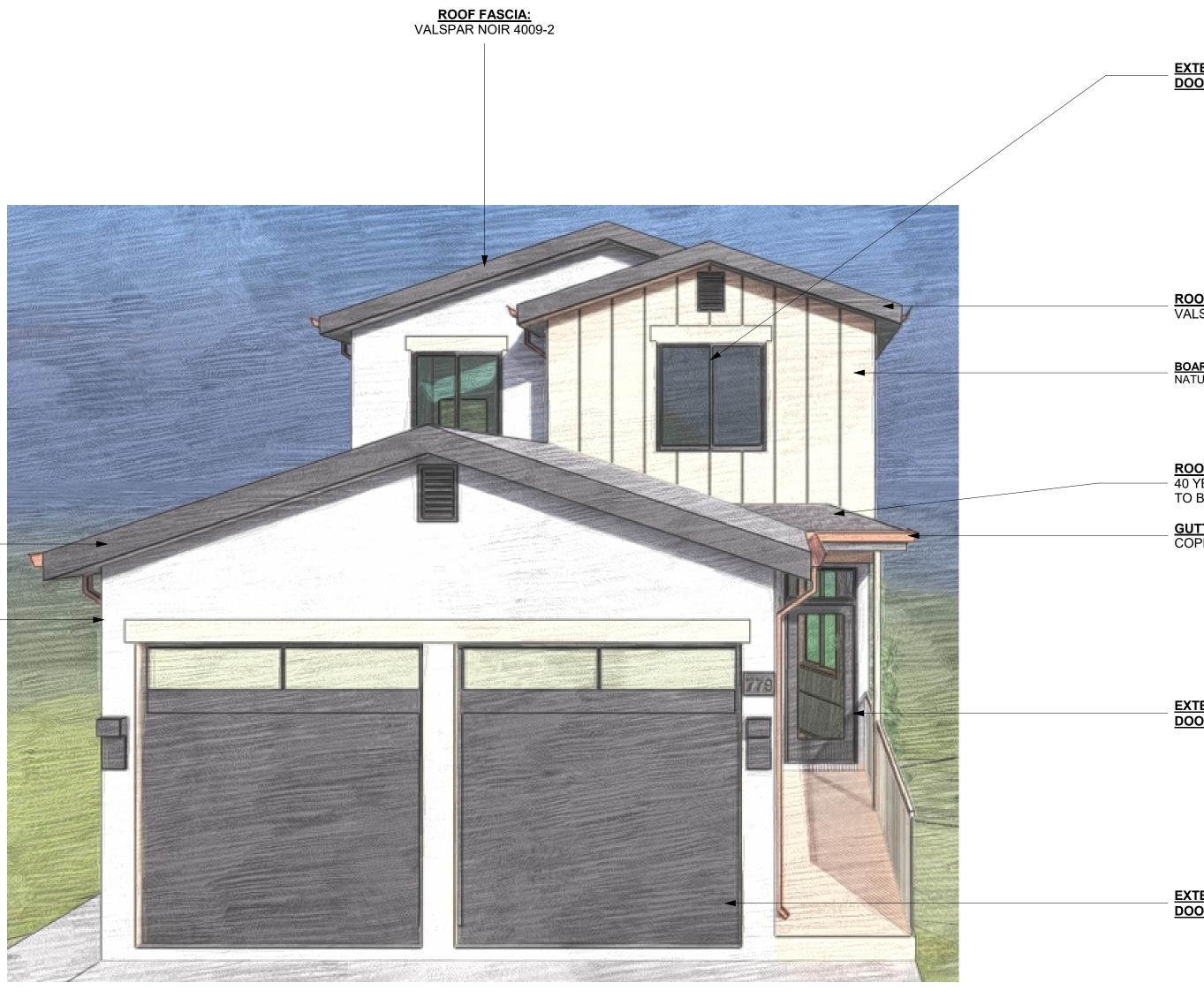
DESIGN | CONSULTING



EXTERIOR: PLASTER - CEMENT SAGE



GUTTER AND DOWNSPOUTS: COPPER



ROOF FASCIA: VALSPAR NOIR 4009-2

EXTERIOR: PLASTER - CEMENT SAGE



EXTERIOR WINDOW, LOUVER AND DOOR COLOR: VALSPAR NOIR 4009-2



ROOF FASCIA: VALSPAR NOIR 4009-2



ROOFING: 40 YEAR CERTAINTEED ROOFING COLOR TO BE LANDMARK® TL MOIRE BLACK



BOARD AND BATTEN: NATURAL WOOD RESAWN BOARD AND BATTEN

EXTERIOR WINDOW, LOUVER AND DOOR COLOR: VALSPAR NOIR 4009-2

ACCEPTION NOIR AND A PARENCIA: VALSPAR NOIR 4009-2

BOARD AND BATTEN: NATURAL WOOD RESAWN BOARD AND BATTEN

ROOFING: - 40 YEAR CERTAINTEED ROOFING COLOR TO BE LANDMARK® TL MOIRE BLACK

GUTTER AND DOWNSPOUTS: COPPER

EXTERIOR WINDOW, LOUVER AND DOOR COLOR: VALSPAR NOIR 4009-2

EXTERIOR WINDOW, LOUVER AND DOOR COLOR: VALSPAR NOIR 4009-2



DESIGN | CONSULTING

- P.O. BOX 3535 HALF MOON BAY, CA 94019 650 . 560 . 8100 www.hawkdesignandconsulting.com
- PROJECT: LACASIA RESIDENCE
- OWNER: Elizabeth Lacasia
- PROJECT ADDRESS: 779 SAN CARLOS AVE. EL GRANADA, CA 94018
- CONTACT INFORMATION EMAIL: elacasia@gmail.com PHONE: 650-766-2706 ----

APPROVAL

OWNER/AGENT

GENERAL CONTRACTOR

SUBCONTRACTOR

NO.	REVISION/DESCRIPTION	DATE
1	PLANNING SUBMITTAL	10/18/24

SHEET TITLE: BUILDING MATERIAL

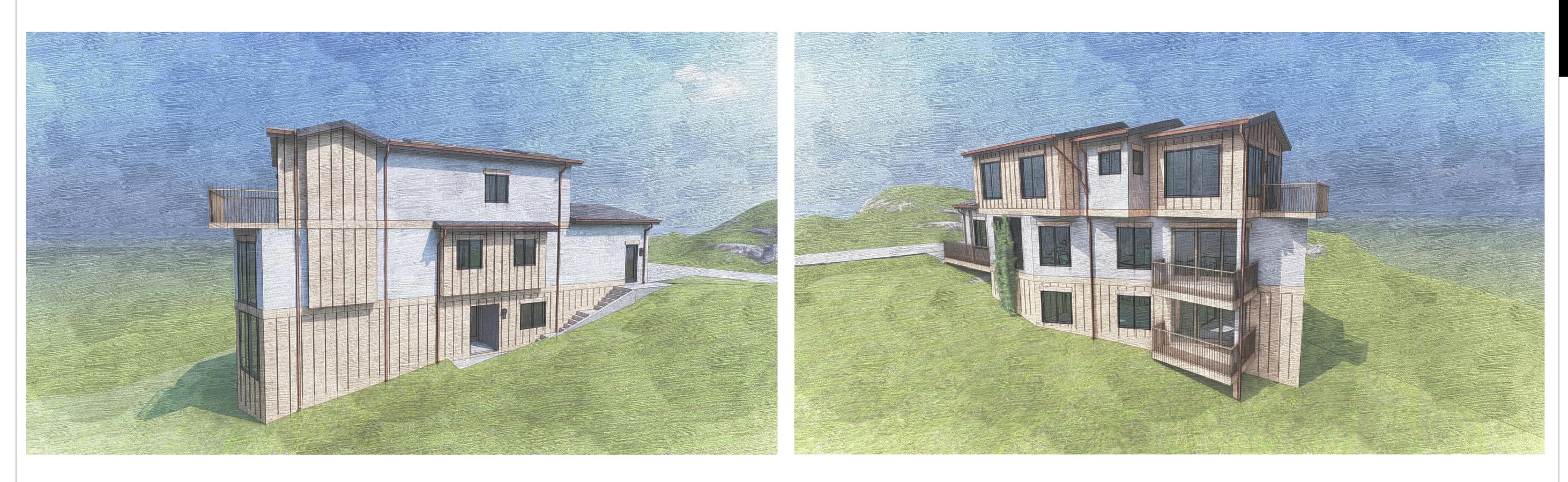


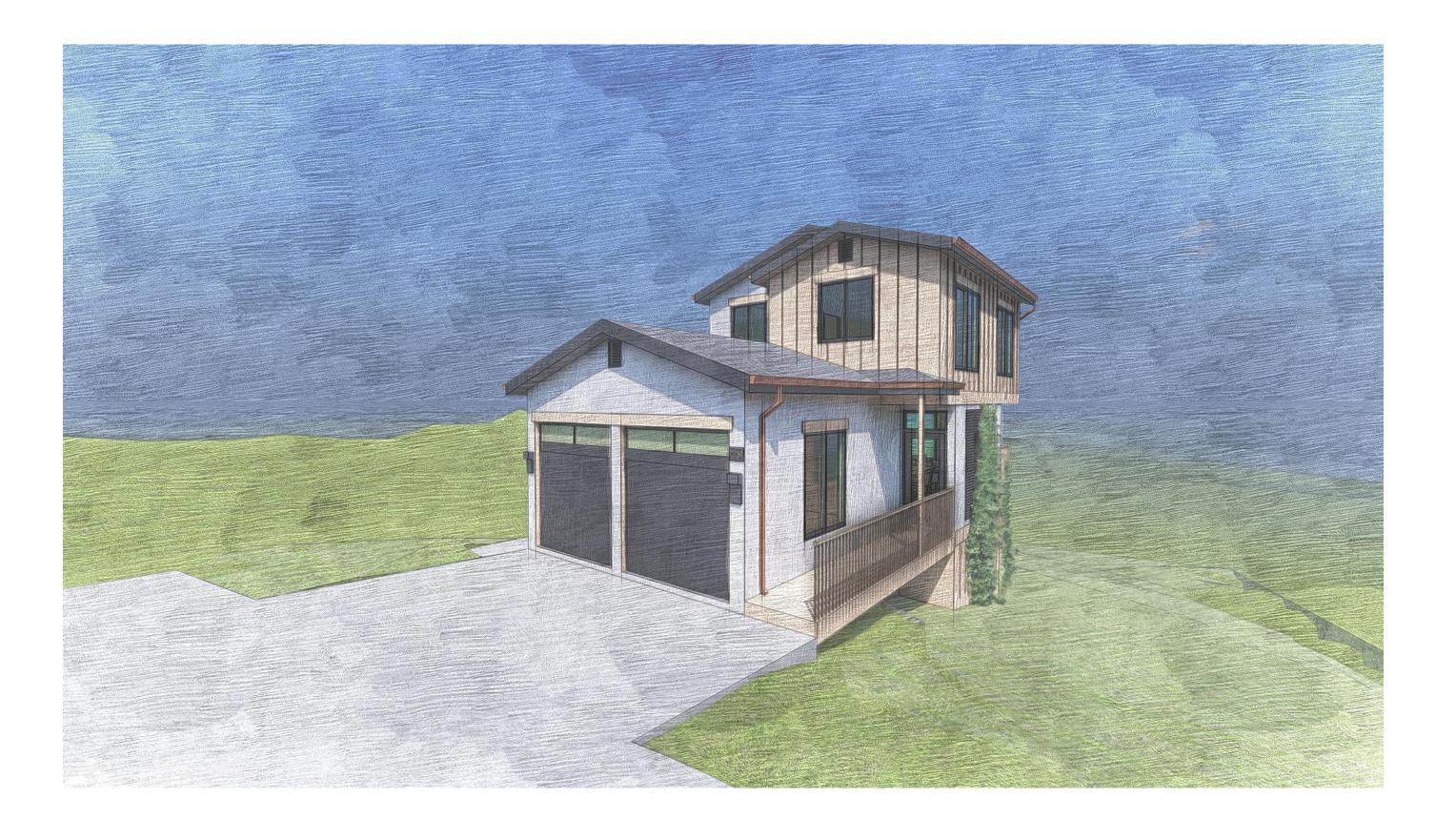




SCALE:

PLEASE VERIFY ALL DIMENSIONS AND REVIEW DETAILS AND NOTES FOR, BUT NOT LIMITED TO, CABINETS, PLUMBING, STRUCTURAL, AND ELECTRICAL COMPONENTS.







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SHEET TITLE: PERSPECTIVE VIEWS

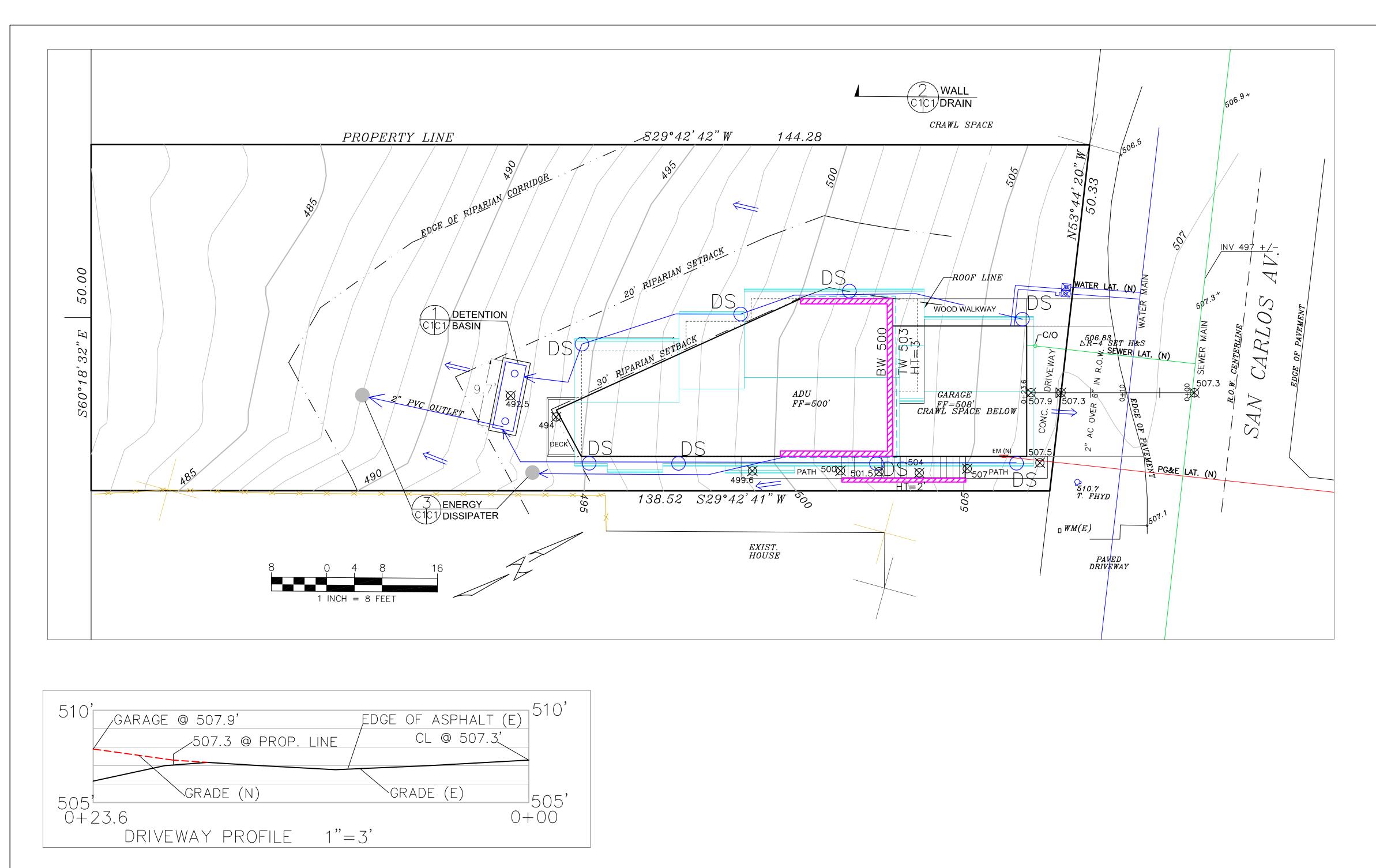
Author

DRAWN BY: CAD FILE:



SCALE:

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GENERAL NOTES

- 1. PLANS PREPARED AT THE REQUEST OF:
- ROD LACASIA, OWNER 2. TOPOGRAPHY BY M. TURNROSE , UNDATED.
- 3. THIS IS NOT A BOUNDARY SURVEY.
- 4. ELEVATION DATUM ASSUMED.
- 5. GEOTECHNICAL REPORT: PENDING

6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUG-BGRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650-306-8405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.

2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.

3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.

4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

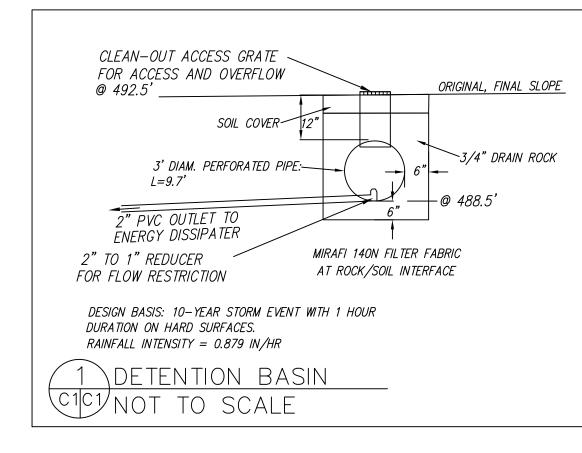
CUT VOLUME : 60 CY FILL VOLUME: 10 CY TOTAL: 70 CY

VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.



LEGEND



X PROPOSED SPOT ELEVATION 507.0

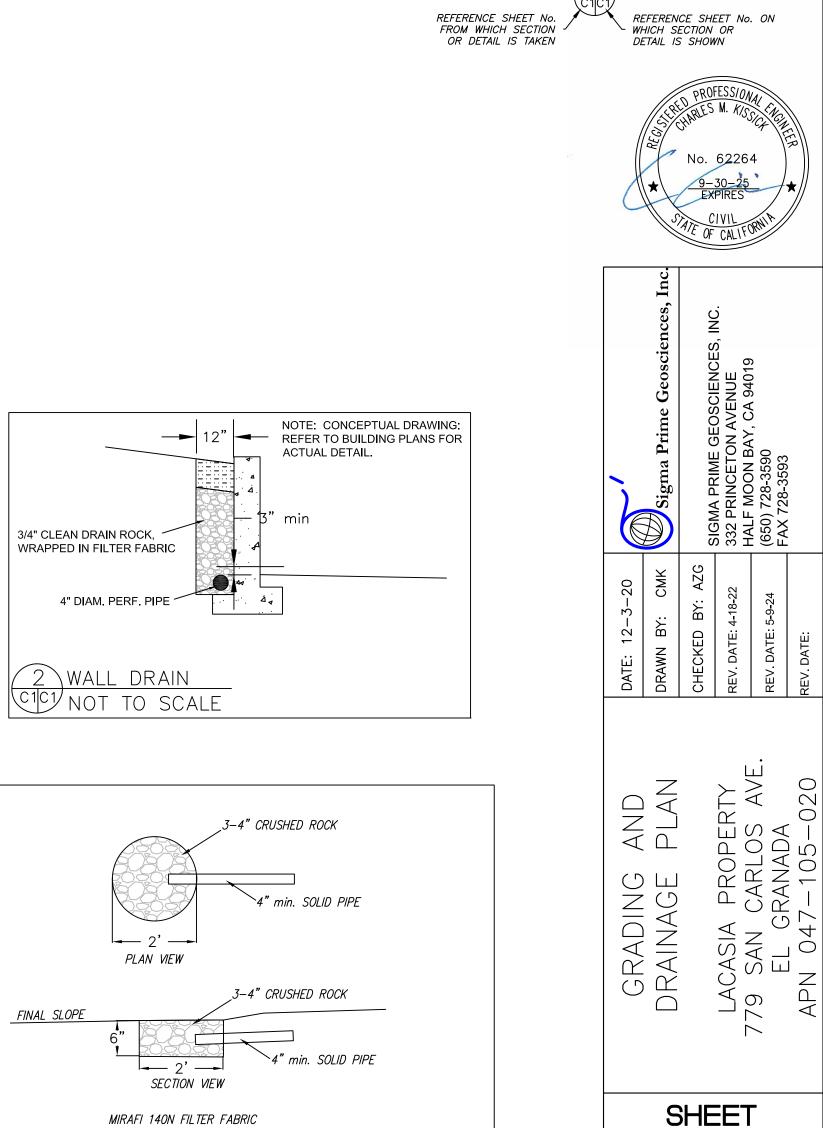
ENERGY DISSIPATER - PER DETAIL 3

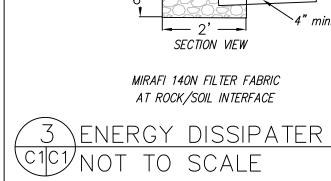


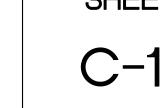
4" MIN SOLID DRAIN PIPE

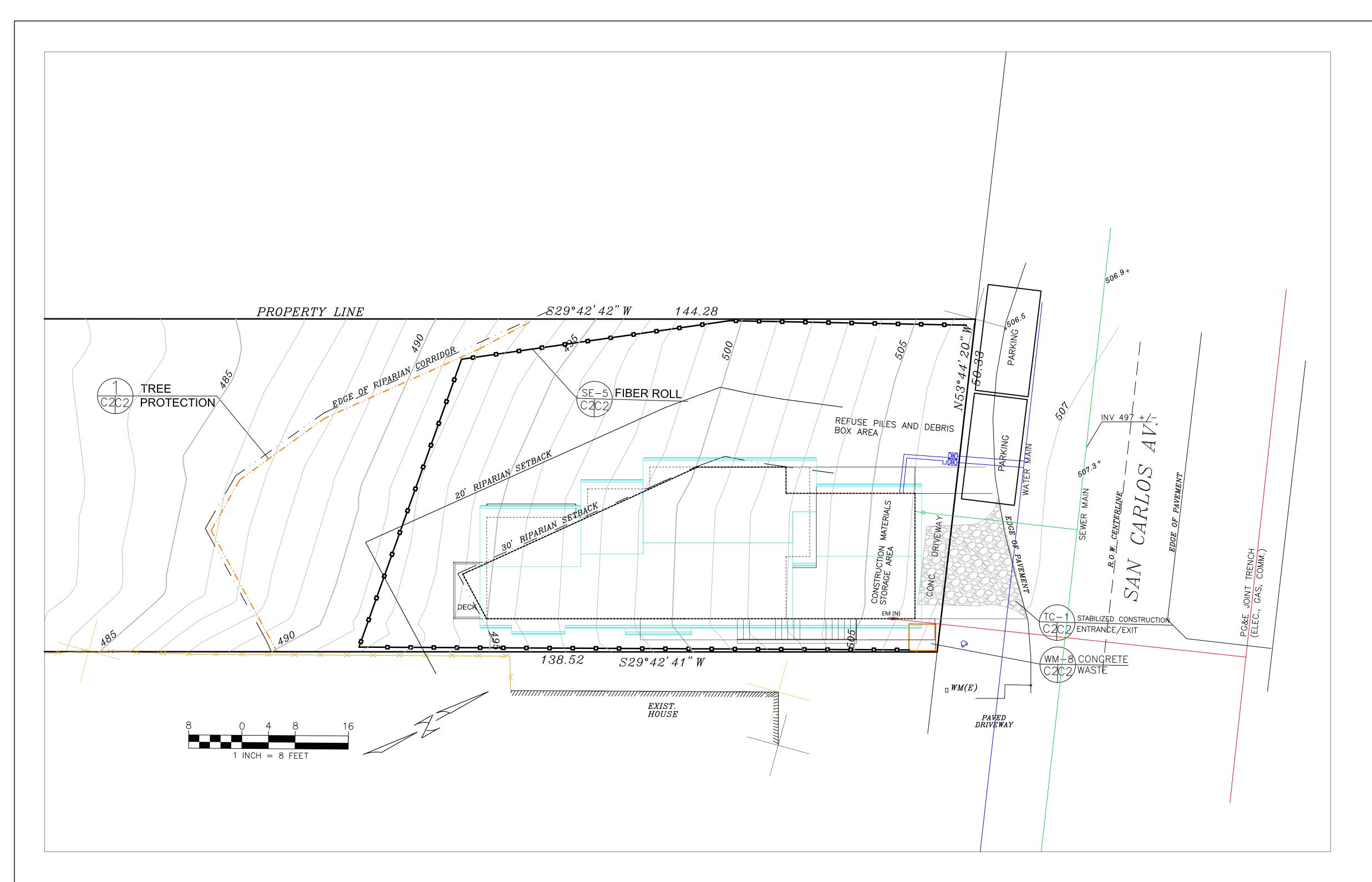
4" MIN PERFORATED DRAIN PIPE

SECTION AND DETAIL CONVENTION









TREE PROTECTION NOTES

1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSRUCTION PROCESS.

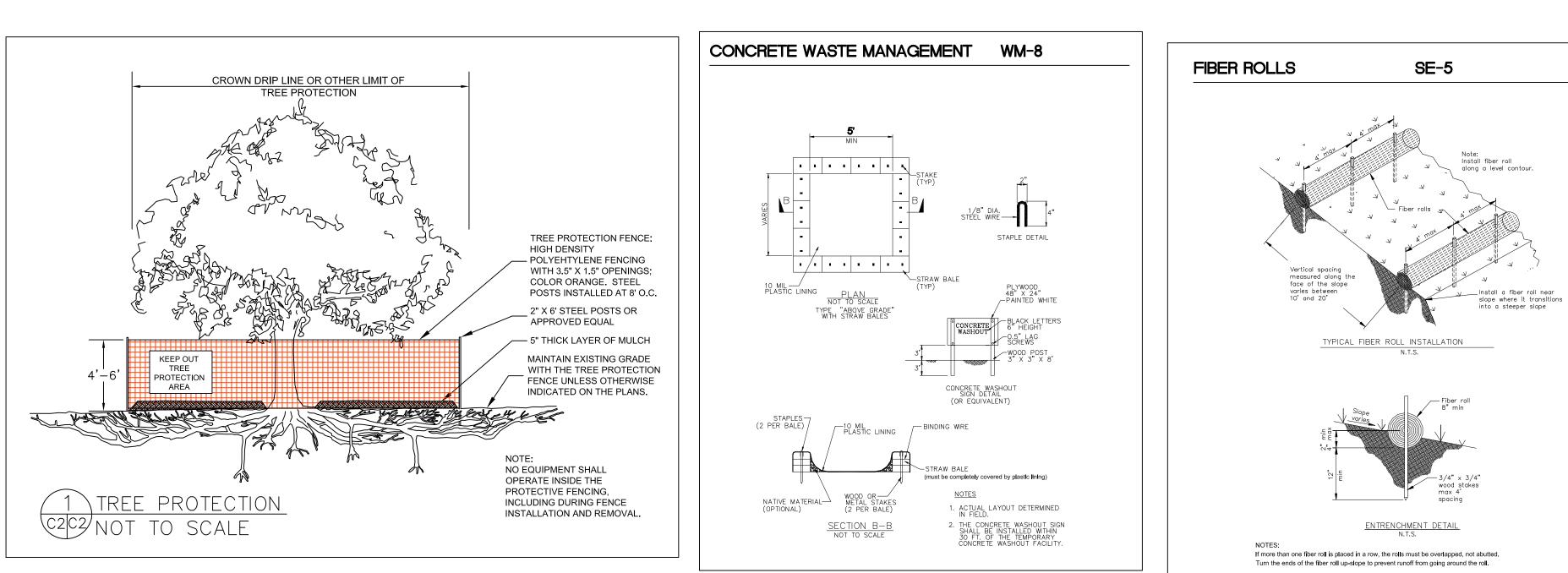
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.

3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.

4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.

5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.

6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



GENERAL EROSION AND SEDIMENT CONTROL NOTES

, FIBER ROLE INSTALL AT LOCATIONS SHOWN. AFIX AS SHOWN IN DETAIL SE-5

 There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.

- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- · Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round.
 Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- · Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- · Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.

No. 62264

<u>9-30-25</u> EXPIRES

> AVE CA

- · Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- · Erosion control materials shall be stored on-site.
- There are no trees or driplines oin the site.

EROSION CONTROL POINT OF CONTACT

 THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE

 AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS

 ARE REQUIRED.

 NAME:
 ROD LACASIA

TITLE/QUALIFICATION: OWNER

PHONE: 650-766-2463 _____

E-MAIL: ROD@MYRECONSTRUCTION.COM

