

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: September 23, 2015

TO: Planning Commission

FROM: Planning Staff

SUBJECT: EXECUTIVE SUMMARY: Consideration of the certification of an Initial Study and Mitigated Negative Declaration, subject to the California Environmental Quality Act, a Resource Management District Permit, and a Grading Permit, to construct a new 2,500 sq. ft. single-family residence with a detached 728 sq. ft. garage that involves a total of 3,023 cubic yards of grading. Eighteen trees are proposed for removal. The project site is unaddressed and is located 2.5 miles south of Skyline Boulevard on La Honda Road in the unincorporated Sky Londa area of San Mateo County.

County File Number: PLN 2014-00301 (Ritson/Larson)

PROPOSAL

The applicant proposes to construct a new 2,500 sq. ft. single-family residence (including a 900 sq. ft. unfinished partial basement) with a detached 728 sq. ft. garage. The project includes the installation of a septic system, three 5,000-gallon water storage tanks, and a fire hydrant. The project also includes approximately 3,023 cubic yards of grading. The proposed grading includes the after-the-fact legalization of 1,372 cubic yards of fill that was placed on the property without the benefit of permits. Of this, a large portion will be removed and relocated on-site as engineered fill. The remainder of the grading is associated with the creation of a driveway, fire truck turnaround, and to create the building pads for the proposed structures. The project also involves the removal of 18 trees ranging in size from 14 inches to 38 inches in diameter and consisting of Monterey pine and oak trees. The subject property is located within the La Honda Road County Scenic Corridor in the unincorporated Sky Londa area.

RECOMMENDATION

That the Planning Commission certify the Initial Study and Mitigated Negative Declaration, and approve the Resource Management Permit and Grading Permit, County File Number PLN 2014-00301, by making the required findings and adopting the conditions of approval as listed in Attachment A.

SUMMARY

The proposed project involves the construction of a single-family residence and detached garage along with associated site improvements. The project also involves the remediation of previous grading activities (VIO 2013-00042) along with site alterations necessary to attain compliant vehicle and emergency access to the site. While the subject parcel is within the La Honda Road Scenic Corridor, the proposed project's visual impacts are minimal given the distance between public viewpoints and the project site, topography, and existing vegetation. In addition, the proposed single-family residence is a partial two-story structure, which follows the topography of the site and is subordinate to the surrounding landscape and reduces its overall visibility. The proposed project size and location also allow for the majority of the parcel to remain open in its natural state, which preserves the intent of the underlying Resource Management (RM) District.

The project is further consistent with the environmental quality criteria, site design criteria, utilities, water resources, cultural resources, hazards to public safety, and primary scenic resources areas criteria of the RM District zoning standards. The project was also found to be in compliance with the objectives of the scenic corridor, as the proposed structures and site improvements are minimized from view due to their location and design. Furthermore, the project utilizes colors that blend with the natural environment. The project was found to be in compliance with the County's Grading Ordinance as the project, as conditioned, will not have an adverse environmental impact and conforms to the County's General Plan. The Initial Study and Mitigated Negative Declaration include a number of conditions to further ensure that the project will not result in any significant impacts to the subject or surrounding parcels and that the proposed development will be constructed and maintained in a manner consistent with applicable policies and standards.

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**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: September 23, 2015

TO: Planning Commission

FROM: Planning Staff

SUBJECT: Consideration of the certification of an Initial Study and Mitigated Negative Declaration, subject to the California Environmental Quality Act, a Resource Management Permit, pursuant to Section 6315 of the County Zoning Regulations, and a Grading Permit, pursuant to Section 8600 of the County Ordinance Code, to construct a new 2,500 sq. ft. single-family residence with a detached 728 sq. ft. garage, involving a total of 3,023 cubic yards of grading. Eighteen trees are proposed for removal. The project site is an unaddressed vacant parcel and is located 2.5 miles south of Skyline Boulevard on La Honda Road in the unincorporated Sky Londa area of San Mateo County.

County File Number: PLN 2014-00301 (Ritson/Larson)

PROPOSAL

The applicant proposes to construct a new 2,500 sq. ft. single-family residence (including a 900 sq. ft. unfinished partial basement) with a detached 728 sq. ft. garage. The project includes the installation of a septic system, three 5,000-gallon water storage tanks, and a fire hydrant. The project also includes approximately 3,023 cubic yards of grading. The proposed grading includes the after-the-fact legalization of 1,372 cubic yards of fill that was placed on the property without the benefit of permit (VIO 2013-00042). Of this, a large portion will be removed and relocated on-site as engineered fill. The remainder of the grading is associated with the creation of a driveway, fire truck turnaround, and to create the building pads for the proposed structures. The project also involves the removal of 18 trees ranging in size from 14 inches to 38 inches in diameter and consisting of Monterey pine and oak trees. The subject property is located within the La Honda Road County Scenic Corridor in the unincorporated Sky Londa area.

RECOMMENDATION

That the Planning Commission certify the Initial Study and Mitigated Negative Declaration, and approve the Resource Management Permit and Grading Permit, County File Number PLN 2014-00301, by making the required findings and adopting the conditions of approval as listed in Attachment A.

BACKGROUND

Report Prepared By: Angela Chavez, Project Planner, Telephone 650/599-7217

Applicant: Marc Ritson

Owner: Allen and Julia Larson Family, LLP

Location: La Honda Road, Unincorporated Sky Londa

APN: 078-110-050

Size: 9.8-acre parcel

Existing Zoning: RM (Resource Management) District

General Plan Designation: Open Space Rural

Parcel Legality: The subject parcel had its legality confirmed via a Certificate of Compliance (Type A), County File Number PLN 2014-00245, which was recorded on June 3, 2015.

Existing Land Use: Undeveloped

Water Supply: A private individual on-site well services the property. There is no domestic water service available in this area.

Sewage Disposal: The site currently has no on-site septic system and municipal sewer service is not available in this area. However, the installation of an on-site septic system is proposed as part of this project. The County's Environmental Health Division has preliminarily reviewed the plans and provided conditional approval.

Flood Zone: The project site is located in Flood Zone X as defined by FEMA (Community Panel Number 06081C0385E, dated October 16, 2012), which is an area with minimal potential for flooding.

Environmental Evaluation: An Initial Study and Mitigated Negative Declaration were prepared for this project and circulated from June 18, 2015 to July 20, 2015. As of the publication of this report, comments were received and are discussed in the Environmental Evaluation section of this report.

Setting: The parcel is currently undeveloped aside from an unimproved driveway and water well. The surrounding area consists largely of parcels that are undeveloped open space. However, the development that is present in the area consists of low-density residential development including the parcel immediately to the south of the project parcel. A tributary to La Honda Creek runs along the northern property boundary where

it meets La Honda Creek at the rear of the subject property approximately 600 feet from the proposed residence. The parcel is heavily forested.

DISCUSSION

A. KEY ISSUES

1. Conformity with the General Plan

Staff has reviewed the project for conformity with all applicable General Plan Policies. The policies applicable to this project include the following:

Policy 1.24 (*Protect Vegetative, Water, Fish and Wildlife Resources*) calls for the regulation of development to minimize significant adverse impacts and encourage enhancement of vegetative, water, fish and wildlife resources. The subject parcel is located in a heavily wooded area between La Honda Road and the La Honda Creek Open Space Preserve. The project proposes to remove 18 trees which consist largely of Monterey pine and oak trees. The applicant submitted an arborist report which discusses 12 of the 18 trees proposed for removal. The arborist report describes the health of the trees as ranging from fair to poor and recommends the removal of the trees given their health, age, and proximity to the proposed development. The remaining trees are located amongst the unpermitted fill, which was previously placed on the property. The trunks of these trees have been partially buried and are proposed for removal, as they have likely been damaged due to the covering of the trunk with fill and in order to remove the fill. As part of the permit application, the applicant submitted a replanting plan that would not immediately address the disturbed slopes and proposed plants and trees that were inconsistent with the forested nature of the surrounding area. In order to compensate for the loss of the trees and to ensure that replacement trees would contribute to the natural ecosystem of the area, a mitigation measure was included in the Initial Study and also as a condition of approval in Attachment A of this document, requiring that the applicant consult with a registered professional forester to develop a replanting plan which utilizes native and non-invasive species that are appropriate to the woodland ecology at a 2:1 replacement ratio. Also, given the current drought conditions and project location, the condition also includes direction to utilize native drought- and fire-resistant plants.

Given the proposed tree removal, the project was referred to and reviewed by the California Department of Forestry and Fire Protection's (Cal-Fire) Division of Resource Management. This review determined that the project parcel qualifies as timberland and that the proposed project constitutes a conversion of said timberland into a non-timber growing use. Therefore, Cal-Fire added a condition requiring that the property owner secure a less than 3-acre conversion permit prior to the removal of trees and/or issuance

of a building permit. This requirement has been included as a condition of approval in Attachment A.

A review of the California Natural Diversity Database identifies Anderson's manzanita (*Arctostaphylos andersonii*) as a mapped resource within the project area. A site survey was completed by botanist Neal Kramer of Kramer Botanical, on October 24, 2014. Per the botanist's report, the walk through of the entire site included transects to ensure 100% visual coverage of the project area. The botanist determined that Anderson's manzanita is not present on the project site, that no mitigation measures were necessary, and that the proposed development will not adversely impact the special status plant species.

Policy 2.17 (*Minimize Soil Erosion and Sedimentation*) calls for the regulation of development to minimize soil erosion and sedimentation. The project involves improvements to the existing driveway in order to meet the requirements set by the County Fire Authority regarding emergency access. The parcel slopes downward from La Honda Road and the proposed driveway modifications include alterations to the grade and turning radii in order to accommodate emergency vehicles. This work will result in approximately 295 cubic yards of cut and fill. The proposed house and detached garage are located immediately adjacent to this area, and site preparation for these structures will result in an additional 149 cubic yards of cut and fill. The remaining 2,579 cubic yards of cut and fill involves largely the removal of unpermitted fill placed above the proposed house location and engineering of that cut into fill to be placed around the parcel. The applicant is proposing to leave a portion of the unpermitted fill in its present location as un-engineered fill. The proposed grading activity will alter the natural grades of the parcel from just a few inches to approximately 11.6 feet at a high point. While the unpermitted fill and re-grading results in the most considerable portion of the grading associated with the project, keeping the fill on-site limits the environmental impact. Off hauling of the unpermitted fill would result in air pollution associated with haul trucks and additional vehicle miles on local roads to remove the fill from the site. Given the overall size of the parcel, the large majority of the parcel still remains undisturbed and many of the revised contours attempt to mimic the surrounding natural topography. The proposed grading does not pose any impacts to La Honda Creek given the distance to the creek and the proposed remediation included in the project. The Mitigated Negative Declaration includes mitigation measures requiring the implementation of soil and erosion control measures during project construction, as well as post-construction measures to ensure that the disturbed areas are secured and revegetated. These measures have also been included as conditions of approval in Attachment A of this report.

Policy 4.22 (*Scenic Corridors*) calls for the protection and enhancement of the visual quality of scenic corridors by managing the location and appearance of structural development. The subject property is located within the La Honda Road County Scenic Corridor. The property is buffered from public viewpoints from the roadway by existing mature vegetation and site topography. Further, both of the proposed structures have relatively low profiles, as the detached garage is a single-story structure and the proposed residence is a partial two-story structure with a maximum height of 25'-3". Both structures utilize colors and materials that blend with the natural environment and are designed so that they are subordinate to the surrounding topography of the parcel. Given that the parcel slopes downward from La Honda Road and the natural visual buffer of the existing vegetation, the proposed development would be minimally, if at all, visible.

Policies 4.25 and 4.26 (*Location of Structures and Earthwork Operations*) call for the regulation of the location of development to minimize the impacts of noise, light, glare and odors on adjacent properties and roads. These policies also call for the proposed development to conform to the natural vegetation, landforms, and topography of the existing site while keeping grading or earth-moving operations to a minimum. As discussed previously, the proposed driveway modifications and structures are clustered on the parcel. While the grading quantities are substantial given the size of the parcel, the overall majority of the parcel remains undisturbed. In addition, the revised contours attempt to mimic the surrounding natural topography and avoid harsh cutting or terracing of the site.

2. Conformance with the RM (Resource Management) District Regulations

a. Setbacks and Height Requirements

As shown in the table below, the proposed structures comply with Sections 6317, 6319A, and 6319B of the San Mateo County Zoning Regulations, which regulate the height of structures and required setbacks.

	A	B
	Resource Management Development Standards	Proposed
Minimum Lot Size	N/A	9.8 acres (existing)
Minimum Front Setback	50 feet	92 feet
Minimum Side Setback	20 feet	>20 feet (right) >20 feet (left)
Minimum Rear Setback	20 feet	>20 feet
Maximum Building Height	36 feet	25 feet 3 inches

b. Resource Management (RM) District Development Review Criteria

Pursuant to Section 6313 and Section 6324 of the Zoning Regulations, all development proposed for parcels with an RM zoning designation are further subject to the Development Review Criteria found in Chapter 20A.2 of the Zoning Regulations. Compliance with the applicable criteria is discussed below:

(1) Environmental Quality Criteria

The proposed project adheres to the standards set by this section, as it is designed and located to reduce impacts to the environment. The proposed structures, driveway, and water tanks are to be clustered amongst each other on the site. The project is also in compliance with these criteria, as the proposed residential use does not introduce significant amounts of air pollution, noxious odors, pesticides, or other chemicals.

(2) Site Design Criteria

This section addresses site design criteria as well as primary scenic resource area goals. The project is compliant with these criteria, as the proposed development has been located, sited, and designed so that it fits the existing environment, thus resulting in grading which mimics the natural topography and clusters site disturbance. The proposed structures are designed so that they will be subordinate to the surrounding forest canopy and will utilize natural earth-tone colors, which blend with the surrounding natural vegetation. While the project site is located within the La Honda Road County Scenic Corridor, as designed and located, the structures due to distance, topography, existing trees, and vegetation are buffered visually from the scenic corridor.

(3) Utilities

With regard to the provision of utilities, the proposed project has been reviewed by the County's Environmental Health Division. This review determined that the proposed septic system met the preliminary requirements in order for the project to move forward. The area in which the property is located does not have local municipal water service available and therefore is served by an individual on-site well. The Environmental Health Division has confirmed that the existing well was installed in late 2014 and met the standards for domestic water. However, the Environmental Health Division provided a conditional of approval

to be addressed at the building permit stage requiring confirmation that existing well water source continues to meet the required quality and quantity standards.

(4) Water Resources Criteria

The project, as designed, involves a significant amount of cut and fill in order to remediate the previous grading activity, to complete the required driveway improvements, and to prepare the site for the proposed structures. The proposed project includes the installation of on-site drainage measures to ensure that adequate drainage and post-development flows and velocities shall not exceed pre-development levels. These measures were reviewed by the Department of Public Works and received conditional approval. Further, the project will be required to utilize best management practices for grading activities. As conditioned, the expected impact to the natural runoff of water on the property is consistent with the requirements that seek to maintain surface water runoff at their current levels. The project, as conditioned, also requires replanting and reseeded of the disturbed areas to provide vegetative cover, which will prevent erosion and sedimentation processes to assure the stability of slopes. Given the project parcel's proximity to La Honda Creek, these measures will also help to prevent erosion, sedimentation, and treatment of surface water runoff into the creek.

(5) Cultural Resources Criteria

These criteria require the preservation of archaeological and/or paleontological resources. An initial referral to the California Historical Resources Information System recommended that a cultural resources study be completed for the property. A cultural resources study was conducted by Holman and Associates, Archaeological Consultants (April 2015) and a report was submitted as part of the project application. The report states that no historical resources were observed in the project area, but that remnants of an un-datable structure were noted. While the subject property had not been previously surveyed, the report notes that three recorded field studies have been completed within 1,312 feet of the project area. No recorded archaeological or other historical resources have been previously found in this area. However, the report notes that local history acknowledges that the overall project vicinity was part of the early logging industry era (late 1800s) and the site could contain subsurface deposits or obscured evidence given

the foliage and unpermitted fill on the property. Therefore, the archaeologist provided mitigation measures to be implemented during project construction in order to protect resources should they exist on the project site. These include informing all supervisory and construction personnel about the possibility of archaeological resources on the site and best practices should resources be encountered. These measures were included in the Mitigated Negative Declaration and in the conditions of approval as detailed in Attachment A.

(6) Hazards to Public Safety

There are no identified hazards located in the immediate vicinity of the project. However, the applicant is required to comply with all building and fire code requirements to ensure health and safety of the future occupants. These requirements have been included as conditions of approval in Attachment A.

(7) Primary Scenic Resource Areas Criteria

The criteria of this section specifically apply to properties located within scenic corridors and other primary scenic resource areas. As mentioned previously, this parcel is located within the La Honda Road County Scenic Corridor and therefore is subject to review under this section. The project was found to be compliant with these criteria, as the proposed structures are located below the scenic roadway and are designed to follow the topography of the parcel. Further, the structures utilize earth-tone colors which help to blend the structures into the natural environment and minimize any visual impacts. Access to the site will be provided by an existing driveway cut which will be improved to meet County and State access standards. Utilizing the existing driveway cut limits the number of access points from the scenic roadway. The proposed driveway curves downward from the La Honda Road, thereby screening the visibility of the driveway from the road. In accordance with the criteria of this section, the project has been carefully designed to respect the natural environment while utilizing the existing landscape and required revegetation efforts to provide a visual buffer from the adjacent scenic roadway.

3. Conformity with the Grading Ordinance

The proposed grading activities for this project involve cut and fill activities in order to modify the existing driveway to provide compliant emergency access to the development on the parcel, to create the building pads for the

proposed structure, and to remediate previous unpermitted grading activities. In order to remediate the fill that was placed on the property and complete the site improvements necessary, approximately 3,023 cubic yards of earthwork is required. This involves mainly excavating the unpermitted fill and refilling areas in and around the proposed single-family residence and its associated development (i.e., septic system, in ground drainage, etc.). The project does not include the off-site disposal of any soil.

Staff has reviewed the proposal against the required findings for the issuance of a grading permit and concluded that the project conforms to the criteria for review contained in Section 8605 of the Grading Ordinance (i.e., standards for erosion and sediment controls and submittal of a geotechnical report). Given that the areas proposed for improvement are clustered amongst the existing development, the disturbed areas are focused and contained allowing the majority of the parcel to remain in its natural state. In order to approve this project, the Planning Commission must make the required findings contained in the grading regulations. Staff concludes that the findings can be made with a discussion of the findings provided below:

a. That the granting of the permit will not have a significant adverse effect on the environment.

The project will have a less than significant impact on the environment with the implementation of the mitigation measures proposed by the Mitigated Negative Declaration on elements identified as having a potential impact. These include aesthetics, air quality, cultural resources, geology and soils, climate change, and noise.

b. That the project conforms to the criteria of the San Mateo County Grading Ordinance, including the standards referenced in Section 8605, and is consistent with the General Plan.

The project, as proposed, does conform to the criteria for review contained in the Grading Ordinance. As discussed in previous sections, the proposed grading and site impacts associated with this project are consistent with the County General Plan Policies regarding land use compatibility in rural lands and development standards to minimize land use conflicts with the natural environment. The project is also consistent with the intent of the Grading Ordinance, as the project avoids severe cuts or terracing of the site and instead utilizes a grading approach that will mimic the natural topography of the site. As proposed and condition, the project also includes revegetation and stabilization of the disturbed areas. In addition, the large majority of the parcel remains undisturbed, avoids any sensitive habitat, and would minimize potential impacts to open space resource lands as the development is clustered.

B. ENVIRONMENTAL REVIEW

An Initial Study and Mitigated Negative Declaration were prepared for this project and circulated from June 18, 2015 to July 20, 2015. Staff received two comments during the review period. One set of comments was provided by the California Department of Transportation (CalTrans) and has been provided as Attachment J of this document. The submitted comments did not challenge the analysis of the Mitigated Negative Declaration, but confirmed that an encroachment permit would be required. In order to issue the required encroachment permit, additional information including a hydrologic analysis to confirm that the post-project runoff does not exceed that of pre-project runoff and an on-site conceptual drainage plan are also required in association with the State's smart mobility goals, which are meant to support a vibrant economy and to encourage building of active communities rather than sprawl. Per consultation with CalTrans, these additional requirements will need to be satisfied prior to the issuance of a building permit in order for the CalTrans encroachment permit to be issued. The conditions have been included as conditions of approval in Attachment A.

The second comment was received from Lennie Roberts, the legislative advocate for the Committee for Green Foothills. The letter requested additional information including a more detailed location map, the site survey completed by the botanist, the type of trees to be removed, and the overall slope of the parcel. There were also additional questions regarding the proposed septic system and production of the domestic drinking water well. The requested items were provided, and no additional comments were received. There were also questions regarding the proposed removal of trees, the requirement for a less than 3-acre conversion permit from the California Department of Forestry and Fire Prevention (Cal-Fire), and Mitigation Measure 1 requiring that the landscaping plan be prepared by a forester. Staff forwarded the proposed plans and discussed the project with Cal-Fire directly. The response from Cal-Fire included the requirement of a less than 3-acre conversion permit and staff noted this in the required permits section of the Mitigated Negative Declaration accordingly. The letter also questioned the rationale behind the requirement that the replanting plan be completed under the consultation of a forester rather than a landscape architect or designer. The applicant did submit a very ambitious replanting plan which suggested that at least a portion of the replanting would be completed over a 5-year period. However, given the project parcel's location within a diverse ecosystem and due to its proximity to both the La Honda Open Space Preserve and La Honda Creek, staff included the provision that the applicant consult with a forester to formulate a replanting plan in an effort to encourage the natural forest like features of the parcel and to encourage the applicant to utilize plantings that will continue to support this natural ecosystem. While a landscape architect or designer may be capable of accomplishing this, the purpose of requiring the forester's plan is to ensure that the parcel will be landscaped with native, drought-tolerant, and naturally occurring vegetation in a natural manner that is compatible with, and

ecologically beneficial to, the surrounding forest, thereby avoiding a manufactured landscape appearance.

Mitigation measures have been included as conditions of approval in Attachment A.

C. REVIEWING AGENCIES

Building Inspection Section
Department of Public Works
Environmental Health Division
Geotechnical Section
Cal-Fire
CalTrans
California Department of Fish and Wildlife

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Site Plan/Grading Plan
- D. Elevations
- E. Floor Plans
- F. Section Elevation/Utility Basement Floor Plan
- G. Arborist Report
- H. Botanist Report
- I. Initial Study and Mitigated Negative Declaration
- J. Comments Received in Response to Initial Study and Mitigated Negative Declaration

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2014-00301 Hearing Date: September 23, 2015

Prepared By: Angela Chavez
Project Planner

For Adoption By: Planning Commission

RECOMMENDED FINDINGS

Regarding the Mitigated Negative Declaration, Find:

1. That the Planning Commission does hereby find that this Mitigated Negative Declaration reflects the independent judgment of San Mateo County.
2. That the Mitigated Negative Declaration is complete, correct, and adequate and prepared in accordance with the California Environmental Quality Act (CEQA) and applicable State and County Guidelines.
3. That, on the basis of the Initial Study, comments received hereto, and testimony presented and considered at the public hearing, there is no substantial evidence that the project will have a significant effect on the environment.
4. That the mitigation measures in the Mitigated Negative Declaration and agreed to by the owner and placed as conditions on the project have been incorporated into the Mitigation Monitoring and Reporting Plan in conformance with the California Public Resources Code Section 21081.6.

Regarding the Resource Management District Permit, Find:

General Criteria

5. That the project conforms to the Development Review Criteria contained in Chapter 20A.2 of the San Mateo County Zoning Regulations. The project complies with Section 6324.1 and Section 6324.4, which respectively address the potential for environmental impacts and water resources, as the project will not introduce noxious odors, chemical agents, or long-term noise levels. The project also complies with Sections 6324.2 through 6325.1, which address site design criteria, utilities, cultural resources, hazards and primary scenic resource areas, as the project is not located near any sensitive habitats or waterways. The project,

as designed and conditioned, preserves the majority of mature trees and dominant vegetation. While the project is located within the scenic corridor, its design, existing topography and vegetation ensure that the impact from scenic public viewpoints is minimal.

Regarding the Grading Permit, Find:

6. That this project, as conditioned, will not have a significant adverse effect on the environment. The project has been reviewed by Planning staff, the Geotechnical Section, and the Department of Public Works, which found that the project can be completed without significant harm to the environment, as conditioned.
7. That this project, as conditioned, conforms to the criteria of the San Mateo County Grading Ordinance and is consistent with the General Plan. Planning staff, the Geotechnical Section, and the Department of Public Works have reviewed the project and have determined its conformance to the criteria of Chapter 8, Division VII, San Mateo County Ordinance Code, including the standards referenced in Section 8605 and the San Mateo County General Plan.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. The approval applies only to the proposal as described in this report and materials submitted for review and approval by the Planning Commission on September 23, 2015. The Community Development Director may approve minor revisions or modifications to the project if they are found to be consistent with the intent of and in substantial conformance with this approval.
2. This permit shall be valid for two (2) years from the date of approval in which time a building permit shall be issued. Any extension of this permit shall require submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. The Department of Fish and Game has determined that this project is not exempt from Department of Fish and Game California Environmental Quality Act filing fees per Fish and Game Section 711.4. The applicant shall pay to the San Mateo County Recorder's Office an amount of \$2,260 plus the applicable recording fee at the time of filing of the Notice of Determination by the County Planning and Building Department staff within ten (10) business days of the approval.

Mitigation Measures

4. **Mitigation Measure 1:** Prior to the issuance of a building permit, the applicant shall submit for review and approval of the Current Planning Section a detailed landscaping/restoration plan to be completed by a registered professional forester.

The landscaping plan shall include non-invasive and native tree replacement (with size, type and location detailed) at a 2:1 ratio for each tree to be removed. Further, the plan shall make use of native species that are appropriate to the woodland ecology and that blend the surrounding environment. Native plants, including drought- and fire-resistant plants, shall be used to the extent feasible throughout the proposed development areas. The property owner shall provide written and photographic evidence demonstrating that the approved landscape plan has been installed in compliance with this condition prior to the completion of the grading permit/building permit for the project.

5. **Mitigation Measure 2:** The applicant shall implement the following dust control measures during grading and construction activities:
 - a. Water all active construction and grading areas at least twice daily.
 - b. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least 2 feet of freeboard.
 - c. Apply water two times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at the project site.
 - d. Sweep streets daily (with water sweepers) if visible soil material is carried onto adjacent public streets/roads.
 - e. Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).

6. **Mitigation Measure 3:** All supervisory and construction personnel shall be made aware of the possibility of encountering archaeological materials prior to commencement of work on the site. If resources are encountered, all excavations within 10 meters/30 feet should be halted in order to have a qualified archaeologist assess the situation and propose appropriate measures. Construction within these areas shall not recommence until the measures that will be implemented to avoid, minimize, and mitigate impacts to archaeological and/or historical resources have been reviewed and approved by the Community Development Director.

7. **Mitigation Measure 4:** The most common and recognizable evidence of prehistoric archaeological resources are areas with darker fine-grained soil (midden), carbon/charcoal and burnt rocks, often containing bones and ocean shellfish such as clams, mussels, usually in fragments; chert; obsidian; basalt, and other stone flakes left from manufacturing stone tools, or the tools themselves (mortars, pestles, arrowheads, and spear points); and human burials, often as dislocated bones. Historic materials or features, such as structural remnants, privy pits, artifact caches, or logging materials, are probably more likely to occur on this property than evidence of prehistoric cultural use. Historic materials older

than 45 years old (bottles, artifacts, features, structural remains, etc.) may also have scientific and cultural significance and should be more readily identified. If during the proposed construction of the project any such evidence is uncovered or encountered, all excavations within 10 meters/30 feet should be halted in order to have a qualified archaeologist assess the situation and propose appropriate measures. Construction within these areas shall not recommence until the measures that will be implemented to avoid, minimize, and mitigate impacts to archaeological and/or historical resources have been reviewed and approved by the Community Development Director.

8. **Mitigation Measure 5:** Prior to commencement of the project, the applicant shall submit to the Planning Department for review and approval an erosion and drainage control plan that shows how the transport and discharge of soil and pollutants from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plan shall also limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plan shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including:
- a. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.
 - b. Minimize the area of bare soil exposed at one time (phased grading).
 - c. Clear only areas essential for construction.
 - d. Within five (5) days of clearing or inactivity in construction, stabilize bare soils through either non-vegetative best management practices (BMPs), such as mulching, or vegetative erosion control methods, such as seeding. Vegetative erosion control shall be established within two (2) weeks of seeding/planting.
 - e. Project site entrances shall be stabilized immediately after grading and frequently maintained to prevent erosion and control dust.
 - f. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.

- g. Soil and/or other construction-related material stockpiled on-site shall be placed a minimum of 200 feet from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.
 - h. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.
 - i. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow energy.
 - j. Install storm drain inlet protection that traps sediment before it enters any adjacent storm sewer systems. This barrier shall consist of filter fabric, straw bales, gravel, or sand bags.
 - k. Install sediment traps/basins at outlets of diversions, channels, slope drains, or other runoff conveyances that discharge sediment-laden water. Sediment traps/basins shall be cleaned out when 50% full (by volume).
 - l. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5 acre or less per 100 feet of fence. Silt fences shall be inspected regularly and sediment removed when it reaches 1/3 the fence height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion-resistant species.
 - m. Utilize coir fabric/netting on sloped graded areas to provide a reduction in water velocity, erosive areas, habitat protection, and topsoil stabilization.
 - n. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved erosion control plan.
9. **Mitigation Measure 6:** The applicant shall implement the following basic construction measures at all times:
- a. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxic Control Measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
 - b. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.

- c. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person, or his/her designee, shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
10. **Mitigation Measure 7:** All grading and construction activities associated with the proposed project shall be limited to 7:00 a.m. to 6:00 p.m., Monday through Friday, and 9:00 a.m. to 5:00 p.m. on Saturday. Construction activities will be prohibited on Sunday and any nationally observed holiday. Noise levels produced by construction activities shall not exceed the 80-dBA level at any one moment.
11. The applicant shall submit an on-site drainage plan, as prepared by a civil engineer, showing all permanent, post-construction stormwater controls and drainage mechanisms at the time of each respectively submitted project application. The required drainage plan shall show, in all respective cases, the mechanisms necessary to contain all water runoff generated by on-site impervious surfaces, and to reduce the amount of off-site runoff through the use of on-site percolation facilities. The drainage plan shall also include facilities to minimize the amount of pollutants in stormwater runoff through on-site retention and filtering facilities.

The on-site drainage plan shall be submitted to the Current Planning Section for review and approval by the Community Development Director prior to the issuance of building permits. The plan shall be included as part of the project's final building permit application and construction plans. The County Building Inspection Section shall ensure that the approved plan is implemented prior to the project's final building and/or grading inspection approval.
12. The proposed project qualifies as a stormwater regulated site and will require monthly erosion and sediment control inspections during the rainy season, as required by the Regional Water Quality Control Board.
13. As the project involves over 1 acre of land disturbance, the property owner shall file a Notice of Intent (NOI) with the State Water Resources Board to obtain coverage under the State General Construction Activity NPDES Permit. A copy of the project's NOI, WDID Number, and Stormwater Pollution Prevention Plan (SWPPP) shall be submitted to the Current Planning Section and the Building Inspection Section, prior to the issuance of the grading permit "hard card."
14. No grading activities shall commence until the property owner has been issued a grading permit (issued as the "hard card" with all necessary information filled out and signatures obtained) by the Current Planning Section.
15. No grading shall be allowed during the winter season (October 1 to April 30) to avoid potential soil erosion. An applicant-completed and County-issued grading

permit “hard card” is required prior to the start of any land disturbance/grading operations. Along with the “hard card” application, the applicant shall submit a letter to the Current Planning Section, at least two (2) weeks prior to commencement of grading, stating the date when grading operations will begin, anticipated end date of grading operations, including dates of revegetation and estimated date of establishment of newly planted vegetation.

16. Prior to any land disturbance and throughout the grading operation, the property owner shall implement the erosion control plan, as prepared and signed by the engineer of record and approved by the decision maker. Revisions to the approved erosion control plan shall be prepared and signed by the engineer and submitted to the Community Development Director for review and approval.
17. Prior to issuance of the grading permit “hard card,” the property owner shall submit a schedule of all grading operations to the Current Planning Section, subject to review and approval by the Current Planning Section. The submitted schedule shall include a schedule for winterizing the site. If the schedule of grading operations calls for the grading to be completed in one grading season, then the winterizing plan shall be considered a contingent plan to be implemented if work falls behind schedule. All submitted schedules shall represent the work in detail and shall project the grading operations through to completion.
18. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program “General Construction and Site Supervision Guidelines” including, but not limited to, the following:
 - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
 - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - c. Performing clearing and earth-moving activities only during dry weather.
 - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
 - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.

- g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
 - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilization of designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
 - m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
19. It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading remediation activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.
20. For the final approval of the grading permit, the property owner shall ensure the performance of the following activities within thirty (30) days of the completion of grading at the project site:
- a. The engineer shall submit written certification that all grading has been completed in conformance with the approved plans, conditions of approval/mitigation measures, and the Grading Regulations, to the Department of Public Works and the Planning and Building Department's Geotechnical Engineer.

- b. The geotechnical consultant shall observe and approve all applicable work during construction and sign Section II of the Geotechnical Consultant Approval form, for submittal to the Planning and Building Department's Geotechnical Engineer and Current Planning Section.
21. Only the trees identified in the approved plans are approved for removal as part of this permit approval. A separate permit shall be required for the removal of any additional trees. An application and processing, including applicable fees, shall be required prior to any additional tree removal.

Building Inspection Section

22. The applicant shall comply with all requirements of the Building Inspection Section at the building permit stage of the application.

Environmental Health Division

23. At the building application stage, the applicant shall submit an application for a septic system along with three sets of septic design plans to the Environmental Health Division for approval.
24. At the building application stage, the applicant shall submit documentation verifying that the existing water source meets the quality and quantity standards of the Environmental Health Division.

Geotechnical Section

25. The applicant shall comply with all requirements of the Geotechnical Section prior to the issuance of the building permit and during the construction phase of the project.

Department of Public Works

26. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.
27. No proposed construction work within the CalTrans right-of-way shall begin until CalTrans requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a CalTrans Inspector 48 hours prior to commencing work in the public right-of-way.
28. Prior to the issuance of the building permit or planning permit (for Provision C.3 Regulated Projects), the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the

Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.

Cal-Fire

29. Fire Department access shall be within 150 feet of all exterior portions of the buildings or facility and all portions of the exterior walls of the first story of the buildings as measured by an approved access route around the exterior of the building or facility. Access shall be 20 feet wide, all weather capability, and able to support a fire apparatus weighing 75,000 lbs. Where a fire hydrant is located in the access, a minimum of 26 feet is required for a minimum of 20 feet on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Grades over 15% shall be paved and no grade shall be over 20%. When gravel roads are used, it shall be class 2 base or equivalent compacted to 95%. Gravel road access shall be certified by an engineer as to the material thickness, compaction, all weather capability, and weight it will support.
30. This project is located in a wildland urban interface area. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors, and underfloor protection shall meet CRC R327 or CBC Chapter 7A requirements. This condition is to be met at the building permit phase of the project.
31. All buildings that have a street address shall have the number of that address on the building, mailbox, or other type of sign at the driveway entrance in such a manner that the number is easily and clearly visible from either direction of travel from the street. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least 6 feet above the finished surface of the driveway. An address sign shall be placed at each break of the road where deemed applicable by the San Mateo County Fire Department. Numerals shall be contrasting in color to their background and shall be no less than 4 inches in height, and have a minimum 1/2-inch stroke. Remote signage shall be a 6-inch by 18-inch green reflective metal sign.
32. An Alternate Methods or Materials Request has been approved by the Fire Marshal for this project. All items on the approved request are to be met prior to Fire final inspection for the project.

33.
 - a. Any chimney or woodstove outlet shall have installed onto the opening thereof an approved (galvanized) spark arrester of a mesh with an opening no larger than 1/2 inch in size, or an approved spark arresting device.
 - b. Maintain around and adjacent to such buildings or structures a fuelbreak/firebreak made by removing and clearing away flammable vegetation for a distance of not less than 30 feet and up to 100 feet around the perimeter of all structures or to the property line, if the property line is less than 30 feet from any structure. This is neither a requirement nor an authorization for the removal of live trees. Remove that flammable portion of any tree which extends within 10 feet of the outlet of any chimney or stovepipe, or within 5 feet of any portion of any building or structures.
 - c. Remove that dead or dying portion of any tree which extends over the roofline of any structure.
34. Smoke alarms and Carbon Monoxide detectors are required to be installed in accordance with the California Building and Residential Codes. This includes the requirement for hardwired, interconnected detectors equipped with battery backup and placement in each sleeping room in addition to the corridors and on each level of the residence.
35. An approved automatic fire sprinkler system meeting the requirements of NFPA-13D is required to be installed in your project. Plans shall be submitted to the San Mateo County Building Inspection Section for review and approval by the San Mateo County Fire Department.
36. An interior and exterior audible alarm, activated by automatic fire sprinkler system water flow, shall be required to be installed in all residential systems. All hardware must be included on the submitted sprinkler plans.
37. A site plan showing all required components of the water system is required to be submitted with the building plans to the San Mateo County Building Inspection Section for review and approval by the San Mateo County Fire Department. Plans shall show the location, elevation and size of required water storage tanks, the associated piping layout from the tank(s) to the building/structures, the size of and type of pipe, the depth of cover for the pipe, technical data sheets for all pipes, joints, valves, valve indicators, thrust block calculations, joint restraint, the location of the standpipe/hydrant, and the location of any required pumps and their size and specifications.
38. Because of the fire flow and automatic sprinkler requirements for your project, an on-site water storage tank is required. Based upon building plans submitted to the San Mateo County Planning and Building Department, the San Mateo County Fire Department has determined that a minimum of 7,500 gallons of fire protection water will be required, in addition to the required domestic water storage. Plans

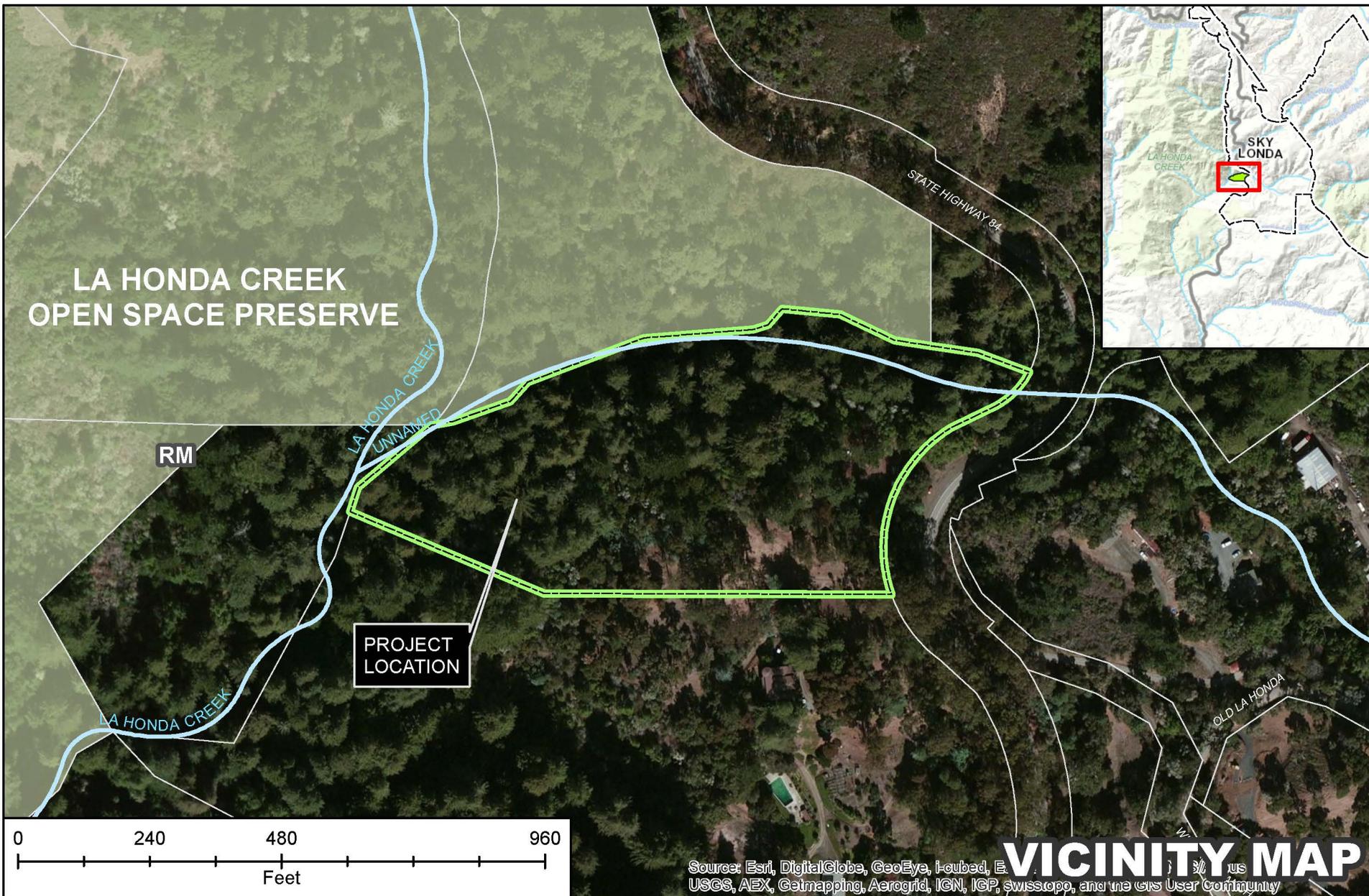
showing the tank(s) type, size, location and elevation are to be submitted to the San Mateo County Fire Department for review and approval.

39. The water storage tank(s) shall be so located as to provide gravity flow to a standpipe/hydrant. Plans and specifications shall be submitted to the San Mateo County Building Inspection Section for review and approval by the San Mateo County Fire Department.
40. A Wet Draft Hydrant with a 4 1/2" National Hose Thread outlet with a valve shall be mounted 30 to 36 inches above ground level and within 5 feet of the main access road or driveway, and not less than 50 feet from any portion of any building, nor more than 150 feet from the main residence or building.
41. The standpipe/hydrant shall be capable of a minimum fire flow of 1,000 GPM.

California Department of Transportation

42. Prior to the issuance of the building permit, provide a location map showing the location of the project in relation to State Routes 84 and 35.
43. Prior to the issuance of the building permit, a preliminary hydrologic analysis should be performed to ensure that post-project runoff from the project is no more than pre-project runoff. Please provide a copy of this analysis for review.
44. Prior to the issuance of the building permit, provide an on-site conceptual drainage plan for review.
45. Work that encroaches onto the State right-of-way (ROW) requires an encroachment permit that is issued by CalTrans. To apply, a completed encroachment permit application, environmental documentation, and five (5) sets of plans clearly indicating the State ROW must be submitted to: Mr. David Salladay, Office of Permits, California Department of Transportation, District 4, P.O. Box 23660, Oakland, CA 94623-0660. Traffic-related mitigation measures should be incorporated into the construction plans during the encroachment permit process. See the website link for more information:
<http://www.dot.ca.gov/hq/traffops/developserv/permits/>.

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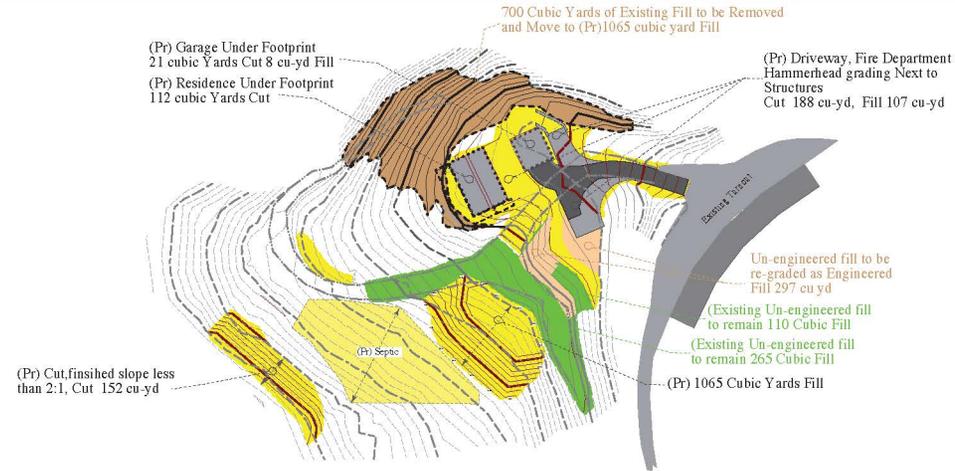


San Mateo County Planning Commission Meeting

Owner/Applicant: _____

Attachment: _____

File Numbers: _____



PROJECT DESCRIPTION:

Project Information
 Proposed new single family, single story, three bedroom, two bath Residence with an attached uncovered Deck, an attached covered entry Deck, and an attached entry access Ramp.
 Also a Proposed new detached, single story two car Garage. Also included is an improved access driveway, parking and turn around area(s), an on site individual domestic water well, and an on site septic system for waste water disposal.

Lot Size 9.8 acres

Proposed Residence - gross floor area - 1,600 Sq Ft
 Covered Deck - gross area - 48 " "
 Access Ramp - gross area - 94 " "
 Underfloor Storage- gross area - 900 " "
 Uncovered Deck - gross area - 729 " "

Garage - gross area - 728 Sq Ft

Asphalt Pavement = 2480 square ft
 Gravel Driveway = 2192 square ft

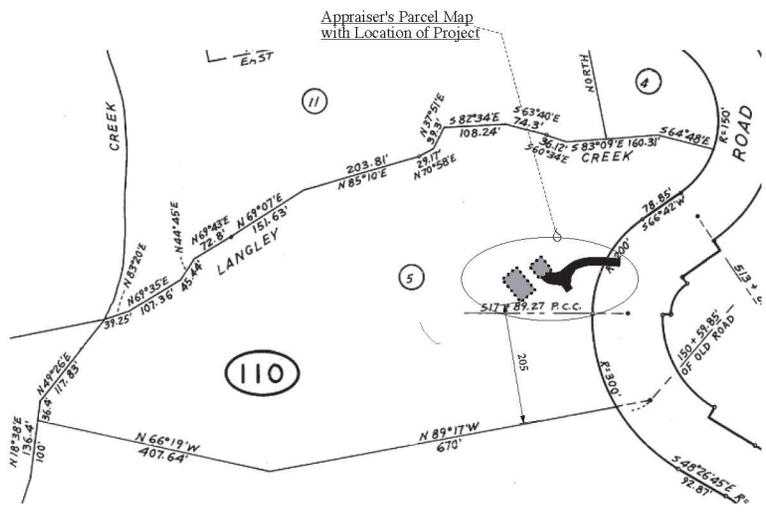
Grading Quantities
 Fill= 855 Cubic yd
 Cut= 955 Cubic yd

Fire Protection Notes:

The residence will be protected by an automatic fire sprinkler system to meet NFPA 18D requirements.

This project is located in a State Responsibility Area for wildfire protection, all buildings will meet all CRC R327 requirements.

700 Cubic Yards of Existing Fill to be Removed	Cut 700 cu-yd	
(Pr) Fill	Fill 1065 cu-yd	
(Pr) Driveway, Fire Department Hammerhead grading Next to Structures	Fill 107 cu-yd	Cut 188 cu-yd
(Pr) Garage Under Footprint 21 cu-yd Cut, 8 cu-yd Fill	Fill 8 cu-yd	Cut 21 cu-yd
(Pr) Residence Under Footprint 112 cu-yd Cut	Fill 8 cu-yd	Cut 112 cu-yd
(Pr) Cut, finished slope less than 2:1	Cut 152 cu-yd	
	(PR) Total Fill 1188 cu-yd	(PR) Total Cut 1173 cu-yd
Un-engineered fill to be re-graded as Engineered	Fill 297 cu yd	
(Existing) Un-engineered fill to remain	365 Cubic Fill	



SHEET INDEX:

- 1) Cover Sheet
- 2) Proposed Site Plan
- 3) Sheet A1 Proposed Floor Plans
- 4) Sheet A2 Proposed Building Elevations
- 5) Sheet A3 Underfloor Floor Plan & Section
- 6) Sheet G1 Proposed Grading Plan
- 7) Sheet G2 Proposed Grading Plan Cross-Sections
- 8) Sheet G3 Existing Grading Cross Sections
- 9) Sheet D1 Proposed Drainage Plan
- 10) Sheet D2 Proposed Drainage Plan Cross-Sections
- 11) Sheet E1 Erosion Control Plan
- 12) Sheet Site Topography & Boundary Map

Owner : Larson Family Limited Partnership
 Address : 2915 Evelyn Ave. Merced Ca. 95348
 Contact : Linda Larson 505-984-6458

TERRA FIRMA
 755 Weston Road
 Scotts Valley
 CA 95066

TEL: (931) 438-3216
 FAX: (931) 438-5428
 info@tfs.net

**Cover Sheet
 Proposed Residence**
 Larson Family Partnership

LOCATION: **APN 078-110-050**
La Honda Road, San Mateo County

Prepared by: Marc Risner RCE 37100
 Date: Nov. 17, 2014

San Mateo County Planning Commission Meeting

Owner/Applicant: _____ Attachment: _____

File Numbers: _____

LEGEND
Scale 1" = 20'

(Pr) -- Proposed Property Lines

--- Existing 2' Contours
--- Existing 10' Contours
--- Existing 2' Contours Uncontrolled Fill
--- Existing 10' Contours Uncontrolled Fill

--- New Remedial Grading 2' Contours
--- New Remedial Grading 10' Contours
--- New Grading 2' Contours
--- New Grading 10' Contours

--- Down Spouts
--- New Drainage Pipes

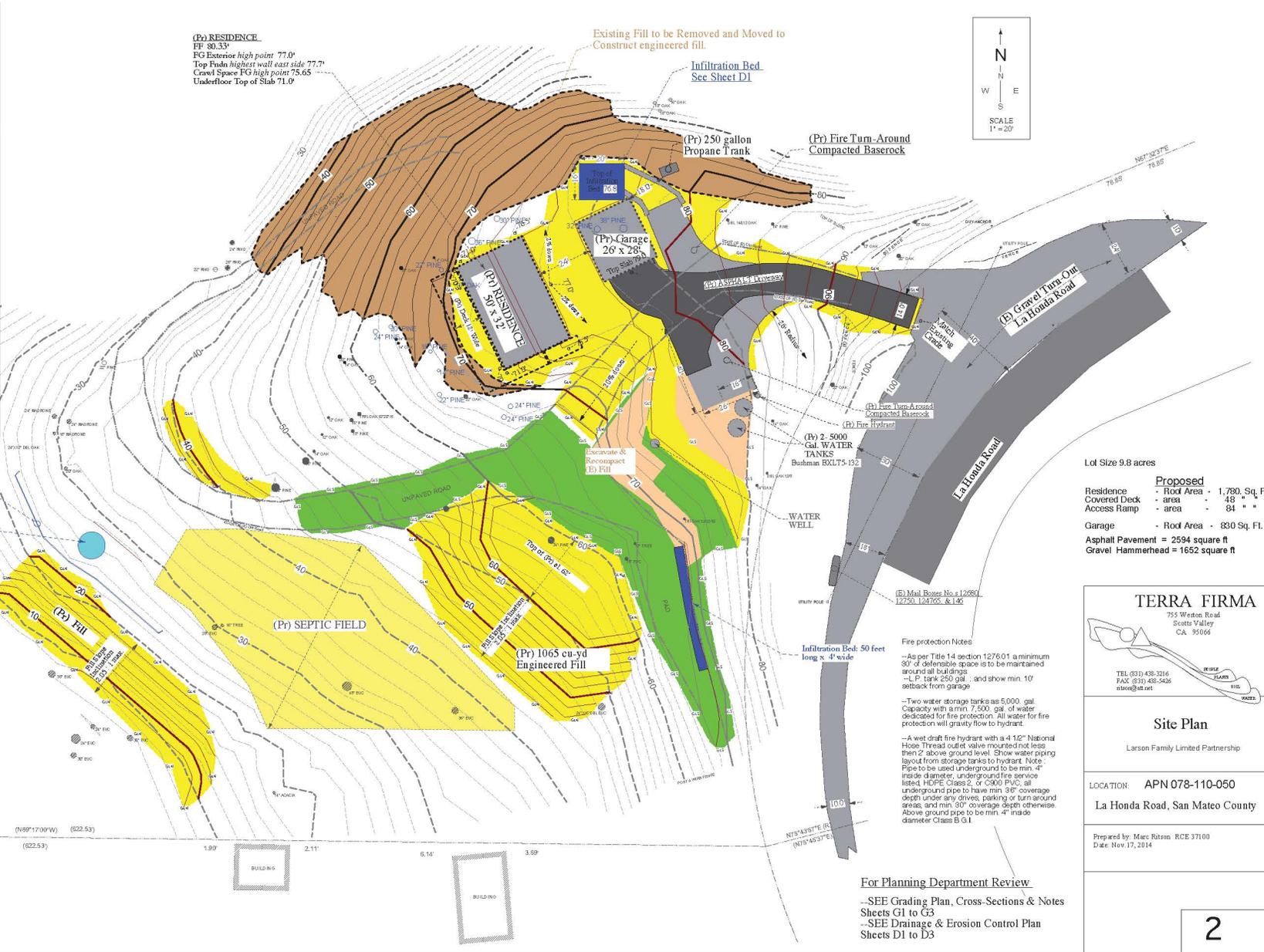
--- Existing Flow Direction
--- New Flow Direction

--- Grading Limits Removal of Uncontrolled Fill

--- Grading Limits Uncontrolled Fill to Remain

--- Grading Limits (Pr) Cut & Fill

--- Trees to be Removed



(Pr) RESIDENCE
FP 80.33'
FG Exterior high point 77.0'
Top Foundation highest wall east-side 77.7'
Crawl Space FG high point 75.65'
Underfloor Top of Slab 71.0'

Existing Fill to be Removed and Moved to Construct engineered fill.

Infiltration Bed
See Sheet D1

(Pr) 250 gallon Propane Tank

(Pr) Fire Turn-Around Compacted Baserock

(Pr) Garage 26' x 26'

(Pr) RESIDENCE 50' x 32'

(Pr) Gravel Turn-Out La Honda Road

(Pr) Fire Turn-Around Compacted Baserock

(Pr) Fire Hydrant

(Pr) 2,500 Gal. WATER TANKS
Bushman BXLTS-132

(E) Mail Boxes No. 12960
12750, 124765, & 149

Infiltration Bed: 50 feet long x 4' wide

Fire protection Notes

- As per Title 14 section 12760.1 a minimum 30' of defensible space is to be maintained around all buildings
- L.P. tank 250 gal. and show min. 10' setback from garage
- Two water storage tanks as 5,000 gal. Capacity with a min. 7,500 gal. of water dedicated for fire protection. All water for fire protection will gravity flow to hydrant.
- A wet draft fire hydrant with a 4 1/2" National Hose Thread outlet valve mounted not less than 2' above ground level. Show water piping layout from storage tanks to hydrant. Note: Pipe to be used underground to be min. 4" inside diameter, underground fire service listed, HDPE Class 2, or C300 PVC, all underground pipe to have min. 36" coverage depth under any drives, parking or turn around areas, and min. 30" coverage depth otherwise. Above ground pipe to be min. 4" inside diameter Class B G.I.

Lot Size 9.8 acres

Proposed

Residence - Root Area - 1,780 Sq. Ft.
Covered Deck - area - 48 " "
Access Ramp - area - 84 " "

Garage - Root Area - 830 Sq. Ft.

Asphalt Pavement = 2594 square ft
Gravel Hammerhead = 1652 square ft

TERRA FIRMA
755 Weston Road
Scotts Valley
CA 95066

TEL (531) 438-3316
FAX (531) 438-3426
stfoc@tff.com

Site Plan
Larson Family Limited Partnership

LOCATION: **APN 078-110-050**
La Honda Road, San Mateo County

Prepared by: Marc Rotson, RCE 37100
Date: Nov 17, 2014

2

For Planning Department Review

- SEE Grading Plan, Cross-Sections & Notes Sheets G1 to G3
- SEE Drainage & Erosion Control Plan Sheets D1 to D3

San Mateo County Planning Commission Meeting

Owner/Applicant: _____

File Numbers: _____

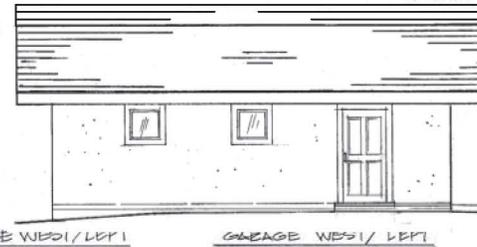
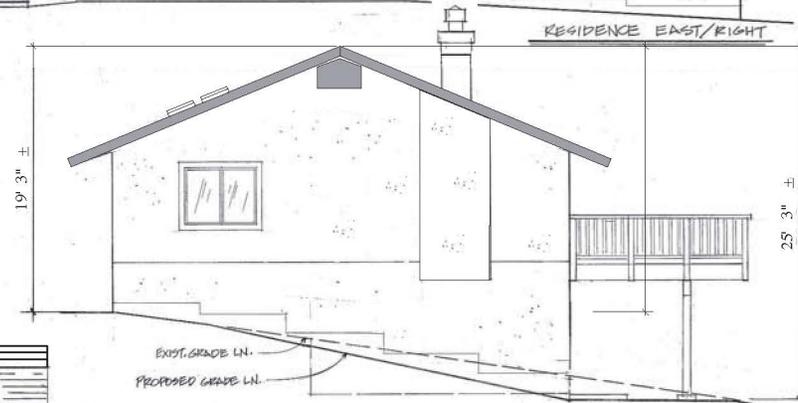
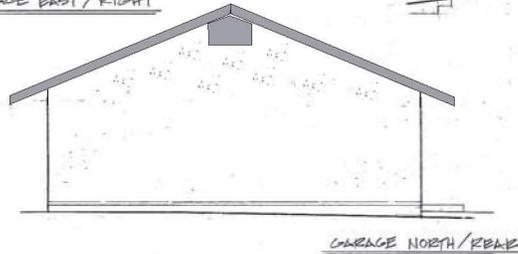
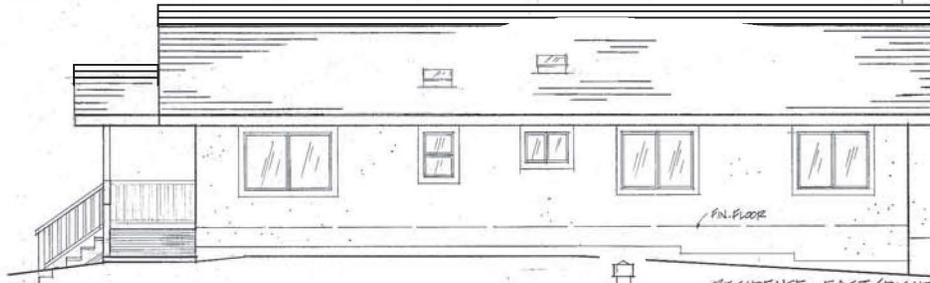
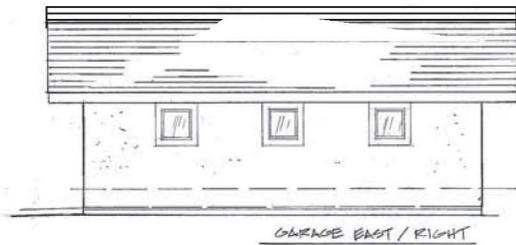
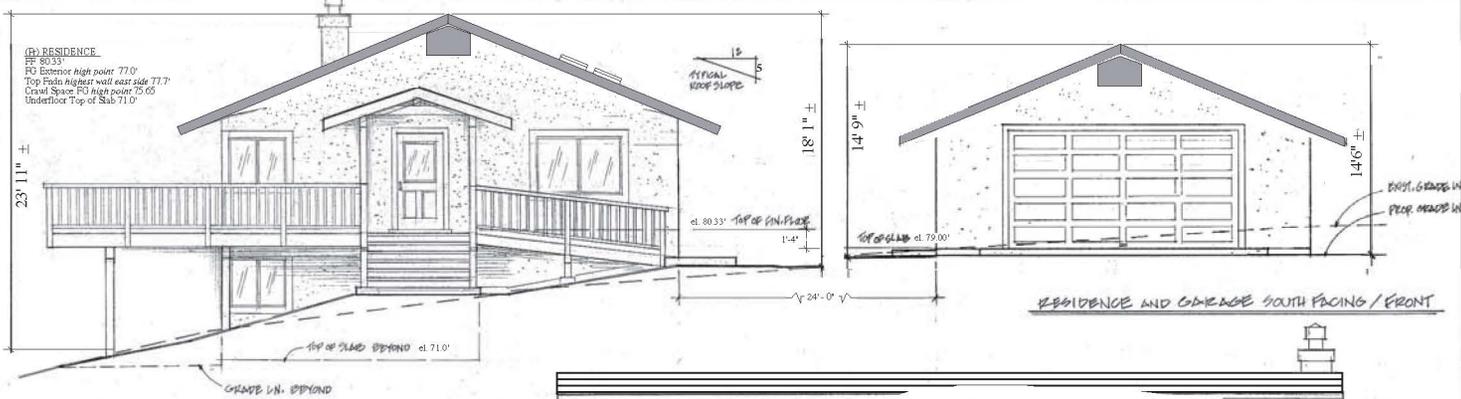
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EXTERIOR FINISH MATERIALS AND COLORS

ROOF: ALL ROOF AREAS
 CLAD: A FIRE-RESIST COMBINATION SHINGLES
 COLOR: HICKORY BROWN - TIMBERLINE BY GAF
 WALLS: STUCCO W/ LIGHT SHIP-TONNEL TEXTURE
 COLOR: MEDIUM BROWN - BONE # FPU3-14
 TRIM: 1X4 PROFILE CEMENTITIOUS COMPOSITE
 COLOR: WHITE - GLENN # 61620

NOTE: ALL EXTERIOR MATERIALS AND CONSTRUCTION DETAILS ARE TO COMPLY WITH ALL SPECIFICATIONS AND REQUIREMENTS AS PER THE STATE OF CALIFORNIA AND COUNTY OF SAN MATEO TO MEET STATE WILDLAND URBAN INTERFACE CRITERIA

RESIDENCE
 PG 8033
 PG Exterior High point: 77.0'
 Top Floor Highest wall east side: 77.7'
 Ground Space PG High point: 76.6'
 Underfloor Top of Slab: 71.0'



ELEVATIONS

1/8" = 1'-0"

NOTE:
 FOR FINISH MATERIALS
 AND COLORS SEE
 SEE INFO AT TOP LEFT
 OF THIS SHEET

REVISIONS	BY
10.01.2014	
Aug 6, 2015	MR

APN: 07B-110-050
 PROJECT ADDRESS:
 145B LA HONCA ROAD

OWNER:
 LARSON FAMILY LIMITED PARTNERSHIP
 2915 EVELYN AVE. MENLO PARK, CA. 94028
 CONTRACT #
 LAURA LARSON 505-904-6453

DATE	08-10-2014
SCALE	1/8" = 1'-0"
DRAWN	JAS
JOB	1404EN
SHEET	A2
OF	11 SHEETS

San Mateo County Planning Commission Meeting

Owner/Applicant:

File Numbers:

Attachment:



September 25, 2014

Linda Larson
c/o Tracy Johnson

Re: 145B La Honda Road, La Honda 94062

Dear Linda & Tracy:

Thank you for providing Nature First Tree Care, Inc. with the opportunity to review your site. Upon my inspection of the site on February 27, 2014 and a subsequent visit in June of 2014, I was able to observe the trees within the proposed development.

Following are our findings and recommendations:

1. **Specie:** *Pinus radiata*
Common: Monterey Pine
DBH: 45.5 inches
Height: 90 feet
Spread: 70 feet
Condition: Fair to poor
2. **Specie:** *Pinus radiata*
Common: Monterey Pine
DBH: 29 inches
Height: 90 feet
Spread: 40 feet
Condition: Fair to poor
3. **Specie:** *Pinus radiata*
Common: Monterey Pine
DBH: 31 inches
Height: 90 feet
Spread: 50 feet
Condition: Fair to poor
4. **Specie:** *Pinus radiata*
Common: Monterey Pine
DBH: 36 inches
Height: 90 feet
Spread: 50 feet
Condition: Fair to poor
5. **Specie:** *Pinus radiata*
Common: Monterey Pine
DBH: 22 inches
Height: 60 feet
Spread: 35 feet
Condition: Fair to poor
6. **Specie:** *Pinus radiata*
Common: Monterey Pine
DBH: 24 inches
Height: 70 feet
Spread: 40 feet
Condition: Fair to poor
7. **Specie:** *Pinus radiata*
Common: Monterey Pine
DBH: 20 inches
Height: 50 feet
Spread: 30 feet
Condition: Fair to poor
8. **Specie:** *Pinus radiata*
Common: Monterey Pine
DBH: 16 inches
Height: 40 feet
Spread: 20 feet
Condition: Fair to poor

9. **Specie:** *Pinus radiata*
Common: Monterey Pine
DBH: 14 inches
Height: 40 feet
Spread: 20 feet
Condition: Fair to poor
10. **Specie:** *Pinus radiata*
Common: Monterey Pine
DBH: 22 inches
Height: 70 feet
Spread: 40 feet
Condition: Fair to poor
11. **Specie:** *Pinus radiata*
Common: Monterey Pine
DBH: 24 inches
Height: 80 feet
Spread: 35 feet
Condition: Fair to poor
12. **Specie:** *Pinus radiata*
Common: Monterey Pine
DBH: 24 inches
Height: 80 feet
Spread: 35 feet
Condition: Fair to poor

The site is located on the north side of La Honda Road. It is a sloped and terraced area with large mature trees throughout. There are various native tree species ranging in size and age.

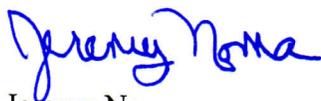
The (12) Monterey Pines located in the proposed development are approximately 60 years of age. Two of the pines have a lean towards the proposed building development. Another pine is straight while the remaining pine leans out towards the downward side of the slope. The grades around the pines seem to be at their natural height. The trees exhibit normal die-back with deadwood throughout the canopies. Some tip die-back is present with cone whorl, which is indicative of pine pitch canker. These trees normally live 60-80 years in an urban environment.

If this site is to be developed in the location of said trees, it is advisable to remove all twelve trees. This recommendation is based on the age and specie specific defects of the trees.

In addition and in support of removal, California law (PRC 4291) requires property owners and/or occupants to create 100 feet of defensible space around homes and buildings which includes an area of 30 feet immediately surrounding your home and fuel reduction zone in the remaining 70 feet (or to the property line).

Please call the office if you have any questions. We look forward to serving you.

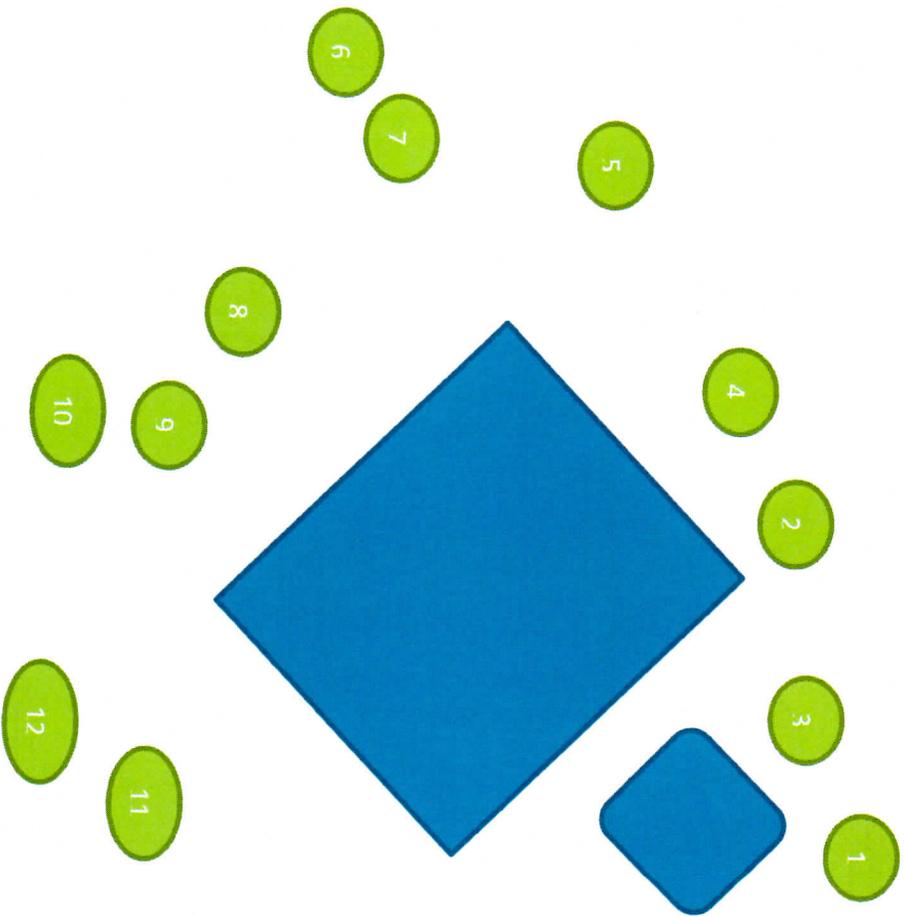
Sincerely,



Jeremy Nama
Certified Arborist WE-7472A

Tracy Johnson – 145B La Honda Road, La Honda

Tree Map



KRAMER BOTANICAL
Biological Consulting – Certified Arborist



October 25, 2014

Linda Larson
Larson Family Limited Partnership
1321 Marquette Ave. NW
Albuquerque, NM 87104

RE: Results of Anderson's Manzanita Survey Conducted at 145B La Honda Rd, La Honda in San Mateo County, CA

Dear Ms. Larson,

Per your request, a survey for Anderson's manzanita (*Arctostaphylos andersonii*) was conducted on the Larson Family property located at 145B La Honda Road, La Honda in San Mateo County, CA (APN 076 110 050). This survey was conducted as a requirement by the County for Project Application PLN2014-00301. A single family residence with detached garage is proposed for the project site.

The survey for Anderson's manzanita was conducted on October 24, 2014. During the survey, Kramer Botanical botanist Neal Kramer walked the entire project site choosing transects to ensure 100% visual coverage of the project area.

The October 24th survey confirms that Anderson's manzanita is not present on the project site. Based on this finding, it is concluded that development of the site will not adversely impact this special-status plant species.

If you have questions regarding this letter, please feel free to give me a call at 650.563.9943 (office) or 650.208.0061 (cell).

Sincerely,

Neal Kramer M.S.
Botanist/Plant Ecologist/Certified Arborist
Kramer Botanical

COUNTY OF SAN MATEO, PLANNING AND BUILDING DEPARTMENT

NOTICE OF INTENT TO ADOPT NEGATIVE DECLARATION

POSTING
ONLY

A notice, pursuant to the California Environmental Quality Act of 1970, as amended (Public Resources Code 21,000, et seq.), that the following project: Grading and Single-Family Residence, when adopted and implemented, will not have a significant impact on the environment.

FILE NO.: PLN 2014-00301

BESZ DE LA VEGA

OWNER: Allen and Julia Larson Family, LLP

JUN 18 2015

APPLICANT: Marc Ritson

ASSESSOR'S PARCEL NO.: 078-110-050

LOCATION: La Honda Road, Sky Londa

PROJECT DESCRIPTION

The project proposes to construct a new 2,500 sq. ft. single-family residence (includes a 900 sq. ft. unfinished partial basement) with a detached 728 sq. ft. garage. The project includes the installation of a septic system, three 5,000 gallon water storage tanks, and a fire hydrant. The project also includes approximately 3,023 cubic yards of grading. The proposed grading includes after-the-fact legalization of 1,372 cubic yards of fill that was placed on the property without the benefit of permits. Of this, a large portion will be removed and relocated on-site as engineered fill. The remainder of the grading is associated with the creation of a driveway, fire truck turnaround, and to create the building pads for the proposed structures. The project also involves the removal of 18 trees.

FINDINGS AND BASIS FOR A NEGATIVE DECLARATION

The Current Planning Section has reviewed the initial study for the project and, based upon substantial evidence in the record, finds that:

1. The project will not adversely affect water or air quality or increase noise levels substantially.
2. The project will not have adverse impacts on the flora or fauna of the area.
3. The project will not degrade the aesthetic quality of the area.
4. The project will not have adverse impacts on traffic or land use.
5. In addition, the project will not:
 - a. Create impacts which have the potential to degrade the quality of the environment.

- b. Create impacts which achieve short-term to the disadvantage of long-term environmental goals.
- c. Create impacts for a project which are individually limited, but cumulatively considerable.
- d. Create environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly.

The County of San Mateo has, therefore, determined that the environmental impact of the project is insignificant.

MITIGATION MEASURES included in the project to avoid potentially significant effects:

Mitigation Measure 1: Prior to the issuance of a building permit, the applicant shall submit for review and approval by the Current Planning Section a detailed landscaping/restoration plan to be completed by a certified forester. The landscaping plan shall include non-invasive and native tree replacement (with size, type, and location detailed) at a 2:1 ratio for each tree to be removed. Further, the plan shall make use of native species that are appropriate to the woodland ecology and that blend with the surrounding environment. Native plants, including drought and fire resistant plants, shall be used to the extent feasible throughout the proposed development areas. The property owner shall demonstrate compliance with this condition prior to the completion of the grading permit/building permit for the project.

Mitigation Measure 2: The applicant shall implement the following dust control measures during grading and construction activities:

1. Water all active construction and grading areas at least twice daily.
2. Cover all truck hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard.
3. Apply water two times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at the project site.
4. Sweep streets daily (with water sweepers) if visible soil material is carried onto adjacent public streets/roads.
5. Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).

Mitigation Measure 3: All supervisory and construction personnel should be made aware of the possibility of encountering archeological materials prior to commencement of work on the site.

Mitigation Measure 4: The most common and recognizable evidence of prehistoric archaeological resources are areas with darker fine-grained soil (midden), carbon/charcoal and burnt rocks, often containing bones and ocean shellfish such as clams, mussels, usually in fragments; chert; obsidian; basalt, and other stone flakes left from manufacturing stone tools, or the tools themselves (mortars, pestles, arrowheads, and spear points); and human burials, often as dislocated bones. Historic materials or features, such as structural remnants, privy pits, artifact caches, or logging materials, are probably more likely to occur on this property than evidence of prehistoric cultural use. Historic materials older than 45 years old, bottles, artifacts, features, structural remains, etc., may also have scientific and cultural significance and should be more readily identified. If during the proposed construction project, any such evidence is uncovered or encountered, all excavations with 10 meters/30 feet should be halted by long enough to call in a qualified archaeologist to assess the situation and propose appropriate measures.

Mitigation Measure 5: Prior to commencement of the project, the applicant shall submit to the Planning Department for review and approval an erosion and drainage control plan that shows how the transport and discharge of soil and pollutants from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plan shall also limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plan shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including:

1. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.
2. Minimize the area of bare soil exposed at one time (phased grading).
3. Clear only areas essential for project activities.
4. Within five days of clearing or inactivity, stabilize bare soils through either non-vegetative BMPs, such as mulching, or vegetative erosion control methods such as seeding. Vegetative erosion control shall be established within two weeks of seeding/planting.
5. Project site entrances shall be stabilized immediately after grading and frequently maintained to prevent erosion and control dust.
6. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.
7. Soil and/or other construction-related material stockpiled on-site shall be placed at a minimum of 200 feet from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.
8. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.
9. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow energy.
10. Install storm drain inlet protection that traps sediment before it enters any adjacent storm sewer systems. This barrier shall consist of filter fabric, straw bales, gravel, or sand bags.
11. Install sediment traps/basins at outlets of diversions, channels, slope drains, or other runoff conveyances that discharge sediment-laden water. Sediment traps/ basins shall be cleaned out when 50% full (by volume).
12. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5 acres or less per 100 feet of fence. Silt fences shall be inspected regularly and sediment removed when it reaches 1/3 of the fence height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion-resistant species.
13. Utilize coir fabric/netting on sloped graded areas to provide a reduction in water velocity, erosive areas, habitat protection, and topsoil stabilization.
14. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved Erosion Control Plan.

Mitigation Measure 6: The applicant shall implement the following basic construction measures at all times:

1. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxic Control Measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
2. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
3. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person, or his/her designee, shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

Mitigation Measure 7: All grading and construction activities associated with the proposed project shall be limited to 7:00 a.m. to 6:00 p.m., Monday through Friday, and 9:00 a.m. to 5:00 p.m. on Saturday. Construction activities will be prohibited on Sunday and any nationally observed holiday. Noise levels produced by construction activities shall not exceed the 80-dBA level at any one moment.

RESPONSIBLE AGENCY CONSULTATION

None

INITIAL STUDY

The San Mateo County Current Planning Section has reviewed the Environmental Evaluation of this project and has found that the probable environmental impacts are insignificant. A copy of the initial study is attached.

REVIEW PERIOD: June 18, 2015 to July 20, 2015

All comments regarding the correctness, completeness, or adequacy of this Negative Declaration must be received by the County Planning and Building Department, 455 County Center, Second Floor, Redwood City, no later than **5:00 p.m., July 20, 2015.**

CONTACT PERSON

Angela Chavez, Project Planner
650/599-7217
achavez@smcgov.org



Angela Chavez, Project Planner

County of San Mateo
Planning and Building Department

**INITIAL STUDY
ENVIRONMENTAL EVALUATION CHECKLIST**
(To Be Completed by Planning Department)

1. **Project Title:** Grading and Single-Family Residence
2. **County File Number:** PLN 2014-00301
3. **Lead Agency Name and Address:** San Mateo County Planning and Building Department
455 County Center, 2nd Floor, Redwood City, CA 94063
4. **Contact Person and Phone Number:** Angela Chavez 650/599-7217
5. **Project Location:** La Honda Road, Sky Londa
6. **Assessor's Parcel Number and Size of Parcel:** 078-110-050 / 9.8 acres
7. **Project Sponsor's Name and Address:** Allen and Julia Larson Family, LLP
2915 Evelyn Court, Merced, CA 95340
8. **General Plan Designation:** Open Space Rural
9. **Zoning:** Resource Management (RM)
10. **Description of the Project:** The project proposes to construct a new 2,500 sq. ft. single-family residence (includes a 900 sq. ft. unfinished partial basement) with a detached 728 sq. ft. garage. The project includes the installation of a septic system, three 5,000 gallon water storage tanks, and a fire hydrant. The project also includes approximately 3,023 cubic yards of grading. The proposed grading includes after-the-fact legalization of 1,372 cubic yards of fill that was placed on the property without the benefit of permits. Of this, a large portion will be removed and relocated on-site as engineered fill. The remainder of the grading is associated with the creation of a driveway, fire truck turnaround, and to create the building pads for the proposed structures. The project also involves the removal of 18 trees.
11. **Surrounding Land Uses and Setting:** The surrounding area consists largely of parcels that are undeveloped open space. There is sporadic development in the area that consists largely of low density residential development including the parcel immediately to the south of the project parcel. A tributary to La Honda Creek runs along the northern property boundary where it meets La Honda Creek at the rear of the subject property. The parcel is heavily forested.
12. **Other Public Agencies Whose Approval is Required:** Caltrans, Cal-Fire, and State Water Resources Control Board.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Significant Unless Mitigated" as indicated by the checklist on the following pages.

X	Aesthetics	X	Climate Change		Population/Housing
	Agricultural and Forest Resources		Hazards and Hazardous Materials		Public Services
X	Air Quality		Hydrology/Water Quality		Recreation
	Biological Resources		Land Use/Planning		Transportation/Traffic
X	Cultural Resources		Mineral Resources		Utilities/Service Systems
X	Geology/Soils	X	Noise		Mandatory Findings of Significance

EVALUATION OF ENVIRONMENTAL IMPACTS

1. A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take into account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
4. "Negative Declaration: Less Than Significant with Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from "Earlier Analyses," as described in 5. below, may be cross-referenced).
5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration (Section 15063(c)(3)(D)). In this case, a brief discussion should identify the following:
 - a. Earlier Analysis Used. Identify and state where they are available for review.

- b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c. Mitigation Measures. For effects that are "Less Than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
6. Lead agencies are encouraged to incorporate into the checklist references the information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
7. Supporting Information Sources. Sources used or individuals contacted should be cited in the discussion.

1. AESTHETICS. Would the project:				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
1.a. Have a significant adverse effect on a scenic vista, views from existing residential areas, public lands, water bodies, or roads?				X
<p>Discussion: The subject parcel is located on a downward slope from La Honda Road in a wooded area. Given the topography and existing vegetation, the parcel is not visible from the roadway. However, the parcel does share a boundary with the La Honda Open Space Preserve which has various view points from hiking and equestrian trails. There is no expected impact to these viewpoints given the distance between location of the trails and the project parcel of approximately one mile. In addition, the topography of the area and existing vegetation also protect natural scenic vistas of the area.</p> <p>Source: Project plans; project location.</p>				
1.b. Significantly damage or destroy scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?				X
<p>Discussion: The proposed project is not located within a state scenic highway. In addition, there are no buildings of historical significance or rock outcroppings located on the property.</p> <p>Source: Project proposal; project location.</p>				
1.c. Significantly degrade the existing visual character or quality of the site and its				X

surroundings, including significant change in topography or ground surface relief features, and/or development on a ridgeline?				
<p>Discussion: As discussed previously, the parcel slopes downward from La Honda Road with the proposed development occurring below the roadway. The surrounding areas are also wooded which will aid in further obscuring the proposed development from view. However, the proposed project does include a significant amount of grading in order to prepare the site for the proposed development and to rectify previous work completed without the proper engineering and permits. While the amount is significant, it will ensure that the previous earthwork is completed in accordance with the proper standards and that restoration of the site is completed.</p> <p>Source: Project location.</p>				
1.d. Create a new source of significant light or glare that would adversely affect day or nighttime views in the area?			X	
<p>Discussion: The proposed single-family residence and detached garage both have the potential to emit light through windows and exterior lighting fixtures during nighttime hours. However, light emissions would not adversely affect nighttime views due to topography, tree cover, and location in relation to the scenic roadway. The proposed structures are not finished in reflective materials or colors and are largely shielded from the majority of nearby properties by the existing tree cover and topography resulting in minimal impacts to daytime views.</p> <p>Source: Project plans; project location.</p>				
1.e. Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?			X	
<p>Discussion: The project parcel is located within the La Honda Road County Scenic Corridor. As discussed previously, the project parcel is located below the roadway and would be only minimally if at all visible from the roadway. The proposed single-family residence is a partial two-story residence which conforms to the existing topography as the partial second story steps down the hillside away from the road. The proposed residence and single-story detached garage both maintain a low profile and will not be visible from the road or above the tree canopy.</p> <p>Source: Project location.</p>				
1.f. If within a Design Review District, conflict with applicable General Plan or Zoning Ordinance provisions?				X
<p>Discussion: The project parcel is not located within a Design Review District.</p> <p>Source: Project location.</p>				
1.g. Visually intrude into an area having natural scenic qualities?		X		
<p>Discussion: The project includes the removal of 13 significant trees (i.e., trees that are more than 55" in circumference) and 5 less than significant trees (i.e., less than 55" in circumference).</p>				

These trees are generally located in and around the area proposed for development and consist mainly of pine and oak trees. An arborist report was provided by the applicant, which identifies the trees as generally being in fair to poor health with the recommendation to remove them based on the proximity to proposed development areas including areas that are to be re-graded. As mentioned previously, the project involves a significant amount of earthwork in order to both prepare the site for the proposed development and remediate the previous unpermitted fill. Given the wooded and natural state of the area, the following mitigation measure have been added to compensate for the loss of the trees:

Mitigation Measure 1:

Prior to the issuance of a building permit, the applicant shall submit for review and approval to the Current Planning Section a detailed landscaping/restoration plan to be completed by a certified forester. The landscaping plan shall include non-invasive and native tree replacement (with size, type and location detailed) at a 2:1 ratio for each tree to be removed. Further, the plan shall make use of native species that are appropriate to the woodland ecology and that blend with the surrounding environment. Native plants, including drought and fire resistant plants, shall be used to the extent feasible throughout the proposed development areas. The property owner shall demonstrate compliance with this condition prior to the completion of the grading permit/building permit for the project.

Source: Project plans; project location; arborist report, Nature First Tree Care, Inc., September 25, 2014.

2. AGRICULTURAL AND FOREST RESOURCES. In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the State's inventory of forestland, including the Forest and Range Assessment Project and the Forest Legacy Assessment Project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
2.a. For lands outside the Coastal Zone, convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				X

Discussion: The subject parcel is located outside of the Coastal Zone and does not involve lands that have been identified as Prime Farmland, Unique Farmland, or Farmland of Statewide Importance. A review of the Farmland Mapping and Monitoring Program resources identifies the

land as "non-agricultural or natural vegetation" and "other land."				
Source: California Department of Conservation; United States Department of Agriculture Natural Resources Conservation Service.				
2.b.	Conflict with existing zoning for agricultural use, an existing Open Space Easement, or a Williamson Act contract?			X
<p>Discussion: The proposed project does not conflict with the existing Resource Management (RM) zoning designation as residential development is an allowed use. While agricultural uses are also allowed in the RM Zoning District, the purpose of the district is not specifically to encourage agriculture but to fulfill the requirements for State Mandated Open Space and Conservation Elements addressed in the County's General Plan. Further, the parcel is not encumbered by an existing Open Space Easement or a Williamson Act contract.</p> <p>Source: San Mateo County Zoning Regulations; San Mateo County General Plan; and San Mateo County Williamson Act Contract Program.</p>				
2.c.	Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forestland to non-forest use?		X	
<p>Discussion: As discussed previously, the project parcel is not identified as farmland. Forest land is defined as land that is at least 10 percent stocked by forest trees of any size, or formerly having such tree cover and not currently developed for non-forest uses. The minimum area considered for this classification is one acre. The remediation of the unpermitted grading activities and development of the parcel involves the removal of approximately 18 trees. However, considering that the overall area of disturbance is approximately just over one acre (approximately 63,182 sq. ft. total), the majority of the 9-acre parcel will remain in its natural state.</p> <p>Source: U.S. Department of Agriculture Forest Service Forest Inventory Analysis 2005.</p>				
2.d.	For lands within the Coastal Zone, convert or divide lands identified as Class I or Class II Agriculture Soils and Class III Soils rated good or very good for artichokes or Brussels sprouts?			X
<p>Discussion: The project parcel is not located within the Coastal Zone.</p> <p>Source: Project location.</p>				
2.e.	Result in damage to soil capability or loss of agricultural land?			X
<p>Discussion: The project parcel has not been identified as having lands suitable for agriculture. Therefore, the proposed project will not result in loss of agricultural land or damage to soil capability.</p> <p>Source: Project location.</p>				

<p>2.f. Conflict with existing zoning for, or cause rezoning of, forestland (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?</p> <p><i>Note to reader: This question seeks to address the economic impact of converting forestland to a non-timber harvesting use.</i></p>				X
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Discussion: While the subject parcel qualifies as both forestland and timberland per the applicable Public Resources Code Sections, the proposed project is consistent with the existing zoning and does not involve rezoning of the project. Further, the project parcel is not located in a timberland production zoned area (TPZ). However, the project was referred to the California Department of Forestry and Fire Protection (Cal-Fire) who confirmed the timberland classification. Based on this review Cal-Fire is requiring that, prior to the removal of any trees, issuance of any grading, and/or building permits, the applicant secure a "Less than three acre conversion" permit directly from Cal-Fire.

Source: Project plans, San Mateo County Zoning Regulations.

<p>3. AIR QUALITY. Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:</p>				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
<p>3.a. Conflict with or obstruct implementation of the applicable air quality plan?</p>			X	

Discussion: A temporary increase in the number of vehicles and dust is expected during the grading and construction phases of the project. However, construction vehicles are required to meet California Air Resources Board regulations to reduce air pollution (e.g., limits on idling). Operational emissions, which are those emissions occurring after construction and for the life of the development, are minimal.

Source: Bay Area Air Quality Management District.

<p>3.b. Violate any air quality standard or contribute significantly to an existing or projected air quality violation?</p>			X	
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Discussion: There are no known air quality violations in this area. The proposed project results in temporary impacts associated with the grading and construction activities that are not expected to have any significant impacts to the surrounding area. The resulting single-family residence is a use found in the immediate area and is also not expected to result in a new contribution to any existing or projected air quality violation.

Source: Project plans; Bay Area Air Quality Management District.				
3.c. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable Federal or State ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?			X	
<p>Discussion: As of December 2012, San Mateo County is a non-attainment area for PM-2.5. A temporary increase in the project area is anticipated during construction since these PM-2.5 particles are a typical vehicle emission. The temporary nature of the proposed construction and California Air Resources Board vehicle regulations reduces the potential effects to a less than significant impact.</p> <p>Source: Bay Area Air Quality Management District.</p>				
3.d. Expose sensitive receptors to significant pollutant concentrations, as defined by BAAQMD?			X	
<p>Discussion: The proposed construction and grading activities are temporary in nature and confined to the subject property, thus limiting exposure to potential sensitive receptors. A review of the project area has further determined that there are no identified sensitive receptors within 1,000 feet of the project area (e.g., schools, day care centers, nursing homes, etc.).</p> <p>Source: Project plans, Google Maps.</p>				
3.e. Create objectionable odors affecting a significant number of people?				X
<p>Discussion: There are no aspects of the proposed project that are expected to result in or to emit objectionable odors.</p> <p>Source: Project plans.</p>				
3.f. Generate pollutants (hydrocarbon, thermal odor, dust or smoke particulates, radiation, etc.) that will violate existing standards of air quality on-site or in the surrounding area?		X		
<p>Discussion: The proposed grading and construction activities will generate a temporary increase in dust, motor vehicle and diesel particulate matter in the area. This temporary increase is not expected to violate existing standards of on-site air quality given required vehicle emission standards required by the State of California for vehicle operations. To mitigate for the temporary increase in dust, Mitigation Measure 2, below, is recommended. Mitigation Measure 6 under Section 7.a, below, is further recommended to minimize particulate matter and greenhouse gasses.</p> <p>Source: Project plans; Bay Area Air Quality Management District; California Environmental Protection Agency Air Resources Board.</p>				

Mitigation Measure 2: The applicant shall implement the following dust control measures during grading and construction activities:

1. Water all active construction and grading areas at least twice daily.
2. Cover all truck hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard.
3. Apply water two times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at the project site.
4. Sweep streets daily (with water sweepers) if visible soil material is carried onto adjacent public streets/roads.
5. Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).

4. BIOLOGICAL RESOURCES. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
4.a. Have a significant adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?			X	
<p>Discussion: A review of the California Natural Diversity Database and of the US Fish and Wildlife Service identifies Anderson's manzanita (<i>Arctostaphylos andersonii</i>) as a mapped resource within the project area. A site survey was completed by Kramer Botanical botanist, Neal Kramer, on October 24, 2014. Per the botanist report, the walkthrough of the entire site included transects to ensure 100% visual coverage of the project area. The botanist determined that Anderson's manzanita is not present on the project site, no mitigation measures were necessary, and that the proposed development will not adversely impact the special status plant species.</p> <p>Source: Project plans; California Natural Diversity Database; US Fish and Wildlife Service; Kramer Botanical Report, October 2014.</p>				
4.b. Have a significant adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?			X	

Discussion: La Honda Creek runs along the very rear (western boundary) of the parcel and a tributary creek runs along the right side (northern) property boundary. The proposed development is at least 150 feet from the right side property boundary and significantly more from La Honda Creek at the rear. There are no potential significant adverse impacts to the creeks given the project distance. There are no other sensitive natural communities identified to encompass the project parcel.

Source: Project plans; Project location; California Natural Diversity Database; and US Fish and Wildlife Service.

4.c. Have a significant adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

X

Discussion: There are no jurisdictional wetlands as defined by Section 404 of the Clean Water Act in the project area. Therefore, there is no project impact.

Source: Project plans; project location.

4.d. Interfere significantly with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?

X

Discussion: The construction and operation of the proposed project would not substantially interfere with the movement of any native resident fish or wildlife species or with any known or established migratory wildlife corridors. The work would be temporary and would create no substantial physical barriers to wildlife movement in the region. Further, there are no State or Federal mapped protected species of animal or habitat located within the project area.

Source: Project plans; project location; California Natural Diversity Database.

4.e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance (including the County Heritage and Significant Tree Ordinances)?

X

Discussion: The project involves the removal of 18 trees which range in size from 14"-38" in diameter and consist of pine and oak species. The removal is proposed to accommodate the proposed development and in order to remediate the unpermitted fill. While the subject trees are significant they do not qualify as Heritage Trees due to their type, size, and location. The County's ordinance for the removal of significant trees invokes the development review criteria of the Resource Management District regulations. The zoning district requirements state that the removal of trees of more than 55 inches is prohibited except as may be required for development permitted

within the zoning district. By this definition, of the 18 trees proposed for removal, only 13 qualify as significant. However, the development proposed is an allowed use within the zoning district with the issuance of a Resource Management Development Permit, which is included as part of this permit application. However, adherence to Mitigation Measure 1, discussed previously, has been included in order to ensure that the loss of these trees does not result in any significant impacts to the parcel or surrounding area.

Source: Project plans; Zoning Regulations; County Ordinance Code Sections 11,000 and 12,000.

4.f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, other approved local, regional, or State habitat conservation plan?				X
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Discussion: There are no Habitat Conservation Plans, Natural Conservation Community Plans, or other approved local, regional, or State habitat conservation plans that cover the project parcel.

Source: San Mateo County General Plan.

4.g. Be located inside or within 200 feet of a marine or wildlife reserve?			X	
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Discussion: The La Honda Creek Open Space Preserve shares the most northerly property line with the subject property. La Honda Creek Open Space Preserve is one of 26 preserves under the Midpeninsula Regional Open Space District's (MROSD) preserve system. MROSD's preserves, in general, are kept in a natural condition in an effort to best protect the environment and wildlife habitat. The preserve presently allows public access on a limited basis for hiking and horseback riding with the issuance of a single-day use permit. The preserve is minimally developed and has no dedicated parking lot or restroom facilities leaving much of the area in its natural state. The diverse ecosystem at the preserve includes redwood, oak and fir forests, chaparral-covered hillsides, riparian corridors, and grasslands. While the preserve qualifies as a wildlife reserve, the proposed project is to be entirely located on the subject parcel, and it is not located within the preserve boundaries. However, the proposed area for development will be within 200 feet of the preserve given the shared property line. There is residential development present in the surrounding area, and the proposed single-family residence and detached garage are modest in size, consistent with existing development, and are not expected to result in any adverse impact to the preserve.

Source: Project plans; Project location; Midpeninsula Regional Open Space District Website.

4.h. Result in loss of oak woodlands or other non-timber woodlands?				X
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Discussion: Of the trees proposed for removal, six are oak trees and, of these, only two of these are of sufficient size to require a permit for removal by the zoning district. However, the removal of these trees, given the wooded nature of the overall area, the number of trees proposed for removal, and the required re-planting plan, does not result in the loss of oak woodlands or other non-timber woodlands.

Source: Project plans; Project location; San Mateo County Zoning Regulations.

5. CULTURAL RESOURCES. Would the project:				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
5.a. Cause a significant adverse change in the significance of a historical resource as defined in CEQA Section 15064.5?		X		
<p>Discussion: A cultural resources study was conducted by Holman & Associates, Archaeological Consultants (April 2015), and a report was submitted as part of the project application. The report states no likely historical resources were observed in the project area, but that remnants of an undatable structure were noted. While the subject property had not been previously surveyed, the report notes that three recorded field studies have been completed within 1,312 feet of the project area. No recorded archeological or other historical resources have been previously found in this area. However, local history acknowledges that the overall project vicinity was part of the early logging industry era (late 1800's) and the site could contain subsurface deposits or obscured evidence given the foliage and unpermitted fill on the property. Therefore, the following mitigation measure is required.</p> <p>Mitigation Measure 3: All supervisory and construction personnel should be made aware of the possibility of encountering archeological materials prior to commencement of work on the site. If resources are encountered, all excavations within 10 meters/30 feet should be halted by long enough to call in a qualified archaeologist to assess the situation and propose appropriate measures.</p> <p>Source: Project location; San Mateo County General Plan; California State Parks Office of Historic Preservation; Holman & Associates, Archaeological Study (Dated: April 2015).</p>				
5.b. Cause a significant adverse change in the significance of an archaeological resource pursuant to CEQA Section 15064.5?		X		
<p>Discussion: While the report did not identify any prehistoric archaeological resources within the project area, the archaeologist did provide mitigation measures to be implemented in the event prehistoric materials are located.</p> <p>Mitigation Measure 4: The most common and recognizable evidence of prehistoric archaeological resources are areas with darker fine-grained soil (midden), carbon/charcoal and burnt rocks, often containing bones and ocean shellfish such as clams, mussels, usually in fragments; chert; obsidian; basalt; and other stone flakes left from manufacturing stone tools, or the tools themselves (mortars, pestles, arrowheads, and spear points); and human burials, often as dislocated bones. Historic materials or features, such as structural remnants, privy pits, artifact caches, or logging materials, are probably more likely to occur on this property than evidence of prehistoric cultural use. Historic materials older than 45 years old, bottles, artifacts, features, structural remains, etc., may also have scientific and cultural significance and should be more readily identified. If during the proposed construction project any such evidence is uncovered or encountered, all excavations within 10 meters/30 feet should be halted by long enough to call in a qualified archaeologist to assess the situation and propose appropriate measures.</p> <p>Source: Project location; San Mateo County General Plan; California State Parks Office of Historic</p>				

Preservation; Holman & Associates, Archaeological Study, April 2015.					
5.c.	Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?				X
<p>Discussion: There are no mapped unique paleontological resources or geological features in this area. The project location consists of Tmoes (sedimentary rocks of the Miocene, Oligocene, and/or Eocene periods) and Tmov (volcanic rock of the Miocene and/or Oligocene periods) which is commonly found throughout the Santa Cruz Mountain range of San Mateo County.</p> <p>Source: U.S. Geological Survey Geologic Map of the San Francisco Bay Region, 2006.</p>					
5.d.	Disturb any human remains, including those interred outside of formal cemeteries?				X
<p>Discussion: There are no known human remains in the project area.</p> <p>Source: Project location.</p>					

6. GEOLOGY AND SOILS. Would the project:					
		<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
6.a.	Expose people or structures to potential significant adverse effects, including the risk of loss, injury, or death involving the following, or create a situation that results in:				
	i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other significant evidence of a known fault? <i>Note: Refer to Division of Mines and Geology Special Publication 42 and the County Geotechnical Hazards Synthesis Map.</i>				X
<p>Discussion: The project area is not located within a Seismic Hazard Act zone. Therefore, the site does not require the investigation mandated by the act.</p> <p>Source: State of California, Department of Conservation.</p>					
	ii. Strong seismic ground shaking?			X	
<p>Discussion: The project parcel is located within an area designat'ed as susceptible to very strong to</p>					

violent for earthquake shaking. A soils report and a geotechnical investigation were submitted as part of the project's review and received conditional approval by the County's Geotechnical Section. The project will be subject to the issuance of a building permit, and all work shall be completed in accordance with the California Building Code and subject to recommendations made by the applicant's engineer to ensure the health and safety of any occupants.

Source: San Mateo County Earthquake Shaking Fault Maps (San Andreas Fault, Hayward Fault).

iii. Seismic-related ground failure, including liquefaction and differential settling?				X
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Discussion: The project parcel is located in an area identified as having very low probability for earthquake liquefaction. As stated previously, the project will be completed in accordance with the California Building Code and per the recommendations of the applicant's engineer.

Source: U.S. Geological Survey Susceptibility Map of the San Francisco Bay Area (Map compiled from Knudsen and others, 2000, and Witter and others, 2005); Association of Bay Area Governments Earthquake Liquefaction Scenarios (ABAG GIS).

iv. Landslides?				X
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Discussion: The project area consists of areas of mostly landslides. A soils report and a geotechnical investigation were submitted as part of the project's review and received conditional approval by the County's Geotechnical Section. The project will be subject to the issuance of a building permit, and all work shall be completed in accordance with the California Building Code and recommendations made by the applicant's engineer to ensure the health and safety of any occupants.

Source: U.S. Geological Survey Summary Distribution of Slides and Earth Flows in San Mateo County, California, 1997.

v. Coastal cliff/bluff instability or erosion? <i>Note to reader: This question is looking at instability under current conditions. Future, potential instability is looked at in Section 7 (Climate Change).</i>				X
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Discussion: The project parcel is not located in such an area.

Source: Project location.

6.b. Result in significant soil erosion or the loss of topsoil?		X		
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Discussion: In order to remediate the fill that was placed on the property and complete the site improvements necessary to complete the site preparations for the new residence and detached garage, approximately 3,023 cubic yards of earthwork is required. This involves mainly excavating the unpermitted fill and refilling areas in and around the proposed single-family residence and its associated development (i.e., septic system, in ground drainage, etc.). The project does not include the off-site disposal of any soil. However, there is the potential for erosion both during- and post-project construction given the level of proposed site disturbance. While Mitigation Measure 1 will address the post-construction site erosion, the additional following Mitigation Measure is necessary

in order to prevent erosion during project construction.

Source: Project plans.

Mitigation Measure 5: Prior to commencement of the project, the applicant shall submit to the Planning Department for review and approval an erosion and drainage control plan that shows how the transport and discharge of soil and pollutants from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plan shall also limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plan shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including:

1. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.
2. Minimize the area of bare soil exposed at one time (phased grading).
3. Clear only areas essential for project activities.
4. Within five days of clearing or inactivity, stabilize bare soils through either non-vegetative BMPs, such as mulching, or vegetative erosion control methods, such as seeding. Vegetative erosion control shall be established within two weeks of seeding/planting.
5. Project site entrances shall be stabilized immediately after grading and frequently maintained to prevent erosion and control dust.
6. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.
7. Soil and/or other construction-related material stockpiled on-site shall be placed a minimum of 200 feet from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.
8. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.
9. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow energy.
10. Install storm drain inlet protection that traps sediment before it enters any adjacent storm sewer systems. This barrier shall consist of filter fabric, straw bales, gravel, or sand bags.
11. Install sediment traps/basins at outlets of diversions, channels, slope drains, or other runoff conveyances that discharge sediment-laden water. Sediment traps/ basins shall be cleaned out when 50% full (by volume).
12. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The

maximum drainage area to the fence should be 0.5 acres or less per 100 feet of fence. Silt fences shall be inspected regularly and sediment removed when it reaches 1/3 the fence height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion-resistant species.

13. Utilize coir fabric/netting on sloped graded areas to provide a reduction in water velocity, erosive areas, habitat protection, and topsoil stabilization.
14. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved Erosion Control Plan.

6.c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, severe erosion, liquefaction or collapse?				X
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Discussion: The project site is not identified as containing a geological unit or soil that is presently unstable. However, compliance with the recommendations of the Engineering Geologist, Civil Engineer, adherence to the California Building Code, and compliance with the Mitigation Measures will ensure that the proposed site disturbance does not result in soil instability.

Source: Project plans; California Department of Conservation Hazard Maps.

6.d. Be located on expansive soil, as noted in the 2010 California Building Code, creating significant risks to life or property?				X
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Discussion: Per the submitted geology report and soils report, there are no identified expansive soils. Adherence to the recommendations of the reports, along with the requirements of the California Building Code, ensures that there are no significant risks to life or property.

Source: Project plans; Geologic Hazards Evaluation prepared by Craig S. Harwood, Engineering Geologist, dated December 2014; Soil Report for Residence prepared by Terra Firma Engineering & Science, dated August 14, 2014 and revised November 24, 2014.

6.e. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?				X
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Discussion: The proposed septic system and its location have been incorporated into the submitted plans. This aspect of the project has been included in the review process and there is no indication that the property is incapable of adequately supporting the use of a septic system.

Source: Project plans.

7. CLIMATE CHANGE. Would the project:				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
7.a. Generate greenhouse gas (GHG) emissions (including methane), either directly or indirectly, that may have a significant impact on the environment?		X		
<p>Discussion: A minor temporary increase in greenhouse gases during the construction phase may occur. Vehicles are subject to California Air Resources Board emission standards. Although the project scope is not likely to significantly generate greenhouse gases, the following mitigation measure is recommended:</p> <p>Source: California Air Resources Board; San Mateo County Energy Efficiency Climate Action Plan.</p> <p>Mitigation Measure 6: The applicant shall implement the following basic construction measures at all times:</p> <ol style="list-style-type: none"> 1. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxic Control Measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points. 2. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator. 3. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person, or his/her designee, shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. 				
7.b. Conflict with an applicable plan (including a local climate action plan), policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?				X
<p>Discussion: The project does not conflict with the San Mateo County Energy Efficiency Climate Action Plan provided that the mitigation measure outlined in Section 7.a, above, is implemented.</p> <p>Source: San Mateo County Energy Efficiency Climate Action Plan.</p>				
7.c. Result in the loss of forestland or conversion of forestland to non-forest use, such that it would release significant amounts of GHG emissions, or significantly reduce GHG sequestering?				X

<p>Discussion: See discussion under 2.c., above.</p> <p>Source: Project location.</p>					
7.d.	Expose new or existing structures and/or infrastructure (e.g., leach fields) to accelerated coastal cliff/bluff erosion due to rising sea levels?				X
<p>Discussion: The project parcel is located approximately 7.75 linear miles (as the crow flies) from the nearest coastal bluff. Given the distance from the ocean and terrain between the project site and the ocean, sea level rise is not expected to impact the project site.</p> <p>Source: Project location.</p>					
7.e.	Expose people or structures to a significant risk of loss, injury or death involving sea level rise?				X
<p>Discussion: See 7.d., above.</p> <p>Source: Project location.</p>					
7.f.	Place structures within an anticipated 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X
<p>Discussion: The project is not located in such an area. The project site is located within a Flood Zone X (Areas with minimal risk outside the 1-percent and 0.2-percent-annual-chance floodplains. No base flood elevations or base flood depths are shown within these zones.); Community Panel No. 06081C0385E, effective October 16, 2012.</p> <p>Source: Federal Emergency Management Agency.</p>					
7.g.	Place within an anticipated 100-year flood hazard area structures that would impede or redirect flood flows?				X
<p>Discussion: The project is not located in such an area.</p> <p>Source: Federal Emergency Management Agency.</p>					

8. HAZARDS AND HAZARDOUS MATERIALS. Would the project:				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
8.a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials (e.g., pesticides, herbicides, other toxic substances, or radioactive material)?				X
<p>Discussion: No transport of hazardous materials is associated with this project.</p> <p>Source: Project plans.</p>				
8.b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?				X
<p>Discussion: The use of hazardous materials is not proposed as part of the project.</p> <p>Source: Project plans.</p>				
8.c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?				X
<p>Discussion: The emissions of hazardous materials, substances, or waste are not proposed as part of the project. In addition, the project site is not within one-quarter mile of an existing or proposed school.</p> <p>Source: Project plans; project location.</p>				
8.d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?				X
<p>Discussion: The project site is not located in an area identified as a hazardous materials site.</p> <p>Source: California Department of Toxic Substances Control.</p>				

8.e. For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, result in a safety hazard for people residing or working in the project area?				X
<p>Discussion: The project parcel is not located within an area covered by an airport land use plan or within 2 miles of a public airport or public use airport.</p> <p>Source: Project location.</p>				
8.f. For a project within the vicinity of a private airstrip, result in a safety hazard for people residing or working in the project area?				X
<p>Discussion: There are no private airstrips located in the vicinity of the project parcel.</p> <p>Source: Project location.</p>				
8.g. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?				X
<p>Discussion: No. The proposed project is located completely on a privately owned parcel. All improvements are located within the parcel boundaries and there is no expected impact to any such emergency response or evacuation plan.</p> <p>Source: San Mateo County Office of Emergency Services.</p>				
8.h. Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?			X	
<p>Discussion: The project site is located within a Very High Fire Hazard Severity zone. The project was reviewed by the San Mateo County Fire Authority (Cal-Fire) and received conditional approval of the project subject to site improvements which include that the existing driveway be improved with a turnaround, that sprinklers be installed to the proposed residence, that a fire hydrant be installed, and that water tanks for fire suppression are provided.</p> <p>Source: Cal-Fire Fire Hazard Severity Zones Maps.</p>				
8.i. Place housing within an existing 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X

Discussion: No. See discussion under 7.f., above.					
Source: Federal Emergency Management Agency Flood Maps.					
8.j.	Place within an existing 100-year flood hazard area structures that would impede or redirect flood flows?				X
Discussion: No. See discussion under 7.f., above.					
Source: Federal Emergency Management Agency Flood Maps.					
8.k.	Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?				X
Discussion: The project parcel is not located in a dam inundation/failure area.					
Source: San Mateo County General Plan Hazards Map.					
8.l.	Inundation by seiche, tsunami, or mudflow?				X
Discussion: The project parcel is not located in such an area.					
Source: San Mateo County General Plan Hazards Map.					

9. HYDROLOGY AND WATER QUALITY. Would the project:					
		<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
9.a.	Violate any water quality standards or waste discharge requirements (consider water quality parameters such as temperature, dissolved oxygen, turbidity and other typical stormwater pollutants (e.g., heavy metals, pathogens, petroleum derivatives, synthetic organics, sediment, nutrients, oxygen-demanding substances, and trash))?				X
Discussion: The proposed grading, house construction, and installation of the septic system have the potential to result in stormwater discharge. The overall area of disturbance is approximately just over one acre (approximately 63,182 sq. ft. total) which does trigger review and approval by the State Water Resources Control Board under the State General Construction Permit. The project will be considered a stormwater regulated site and will be subject to compliance with the County's Stormwater Pollution Prevention Program. However, given that there is a moratorium on grading activities in the wet season (October 1 through April 30), the required installation of sediment and erosion control measures, and the installation of the required stormwater/drainage system, there are					

no expected significant impacts.				
Source: Project plans; San Mateo County Excavation, Grading, Filling, and Clearing Ordinance; San Mateo County Water Pollution Prevention Program.				
9.b.	Significantly deplete groundwater supplies or interfere significantly with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?			X
<p>Discussion: The project parcel is served by an existing well which has met the County of Environmental Health Division's standards regarding quality and flow. Given that the project seeks to introduce only one single-family residence and is located in an area of very low density of development, there is no indication that the introduction of this new use would result in significant groundwater depletion or would interfere with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table.</p> <p>Source: Project plans.</p>				
9.c.	Significantly alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner that would result in significant erosion or siltation on- or off-site?		X	
<p>Discussion: While the proposed project does include a significant amount of grading, it also includes measures to ensure that post-development runoff (peak flow) and velocity is less than or equal to pre-development levels in accordance with the San Mateo County Drainage policy. These measures have preliminarily been reviewed and it has been determined that the project will not significantly alter the existing drainage pattern of the site and will not significantly increase the rate or amount of surface runoff on or off the site. The project does not propose any alteration to the nearby creeks, and the areas of the parcel that are to be modified are of a significant distance away from these areas that no alteration is expected.</p> <p>Source: Project plans; San Mateo County Drainage Policy.</p>				
9.d.	Significantly alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or significantly increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?		X	
Discussion: See discussion under question 9.c., above.				

Source: Project plans.					
9.e.	Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide significant additional sources of polluted runoff?			X	
Discussion: See discussion under question 9.c., above.					
Source: Project plans.					
9.f.	Significantly degrade surface or ground-water water quality?				X
Discussion: See discussions under 9.b. and 9.c., above.					
Source: Project plans.					
9.g.	Result in increased impervious surfaces and associated increased runoff?			X	
Discussion: See discussion under question 9.c., above.					
Source: Project plans.					

10. LAND USE AND PLANNING. Would the project:					
		<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
10.a.	Physically divide an established community?				X
Discussion: The proposed project does not include any land division or development that would result in the division of an established community.					
Source: Project plans.					
10.b.	Conflict with any applicable land use plan, policy or regulation of an agency with jurisdiction over the project (including, but not limited to, the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?			X	
Discussion: As mitigated and conditioned, the project is compliant with applicable land use regulations.					

Source: Project plans; San Mateo County General Plan; San Mateo County Zoning Regulations.					
10.c.	Conflict with any applicable habitat conservation plan or natural community conservation plan?				X
<p>Discussion: There are no habitat conservation plans or natural community conservation plans that cover the project parcel.</p> <p>Source: Project location.</p>					
10.d.	Result in the congregating of more than 50 people on a regular basis?				X
<p>Discussion: The proposed project does not propose a use that would result in the congregation of more than 50 people on a regular basis.</p> <p>Source: Project plans.</p>					
10.e.	Result in the introduction of activities not currently found within the community?				X
<p>Discussion: Single-family residential development is found within the community and within the immediate proximity of the project parcel.</p> <p>Source: Project location.</p>					
10.f.	Serve to encourage off-site development of presently undeveloped areas or increase development intensity of already developed areas (examples include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)?				X
<p>Discussion: The project proposes improvements to serve only the subject property. These improvements are completely within the parcel boundaries of the subject property and do not serve to encourage off-site development of undeveloped areas or increase the development intensity of surrounding developed areas.</p> <p>Source: Project plans.</p>					
10.g.	Create a significant new demand for housing?				X
<p>Discussion: While the proposed project involves the construction of a new residence, there are no other aspects of the project that would trigger new demands for housing elsewhere in the area. The proposed site improvements are contained on the project site and are sufficient to serve only the proposed project.</p> <p>Source: Project plans.</p>					

11. MINERAL RESOURCES. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
11.a. Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?				X
<p>Discussion: There is no known mineral resource identified on the project parcel.</p> <p>Source: Project location.</p>				
11.b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				X
<p>Discussion: There is no identified locally important mineral resource recovery site delineated on the County's General Plan, any specific plan, or any other land use plan.</p> <p>Source: Project location; San Mateo County General Plan; San Mateo County Zoning Regulations.</p>				

12. NOISE. Would the project result in:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
12.a. Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?		X		
<p>Discussion: During project construction, excessive noise could be generated, particularly during grading and excavation activities. The following Mitigation Measure, as described below, is proposed to reduce the construction noise impact to a less than significant level.</p> <p>Once construction is complete, the project is not expected to generate significant amounts of noise.</p> <p>Source: Project plans; San Mateo County Noise Ordinance.</p> <p>Mitigation Measure 7: All grading and construction activities associated with the proposed project shall be limited to 7:00 a.m. to 6:00 p.m., Monday through Friday, and 9:00 a.m. to 5:00 p.m. on Saturday. Construction activities will be prohibited on Sunday and any nationally observed holiday. Noise levels produced by construction activities shall not exceed the 80-dBA level at any one moment.</p>				

12.b. Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?				X
<p>Discussion: There are no aspects of the project that would include generation of excessive ground-borne vibration or ground-borne noise levels.</p> <p>Source: Project plans.</p>				
12.c. A significant permanent increase in ambient noise levels in the project vicinity above levels existing without the project?				X
<p>Discussion: The addition of one single-family residence is not expected to create a significant permanent increase in ambient noise levels in the project vicinity above current levels.</p> <p>Source: Project plans.</p>				
12.d. A significant temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?			X	
<p>Discussion: A temporary increase in ambient noise levels during the construction phase of the project is expected. However, adherence to the San Mateo County Noise Ordinance which is included as Mitigation Measure 7 will ensure that any impacts are minimized. Post-construction, the site should not result in any additional significant ambient noise.</p> <p>Source: Project plans; San Mateo County Noise Ordinance.</p>				
12.e. For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, exposure to people residing or working in the project area to excessive noise levels?				X
<p>Discussion: The project parcel is not located within an airport land use plan area or within two miles of a public airport or public use airport.</p> <p>Source: Project location.</p>				
12.f. For a project within the vicinity of a private airstrip, exposure to people residing or working in the project area to excessive noise levels?				X
<p>Discussion: The project parcel is not located within the vicinity of a private airstrip.</p> <p>Source: Project location.</p>				

13. POPULATION AND HOUSING. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
13.a. Induce significant population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?				X
<p>Discussion: All of the proposed improvements are completely within the subject parcel's boundaries and are sufficient only to serve the parcel itself. While the proposal does involve the construction of a new single-family residence, there are no municipal service extensions associated with the project which could trigger significant population growth in the area.</p> <p>Source: Project plans; project location.</p>				
13.b. Displace existing housing (including low- or moderate-income housing), in an area that is substantially deficient in housing, necessitating the construction of replacement housing elsewhere?				X
<p>Discussion: The parcel is largely undeveloped with no existing housing currently present on the parcel.</p> <p>Source: Project plans.</p>				

14. PUBLIC SERVICES. Would the project result in significant adverse physical impacts associated with the provision of new or physically altered government facilities, the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
14.a. Fire protection?				X
14.b. Police protection?				X
14.c. Schools?				X
14.d. Parks?				X
14.e. Other public facilities or utilities (e.g., hospitals, or electrical/natural gas supply systems)?				X

Discussion: Given that there is existing residential development in the immediate vicinity of the project parcel and that the proposal includes the construction of only one single-family residence, the project is not of sufficient scope to result in significant impacts to public services.

Source: Project plans.

15. RECREATION. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
15.a. Increase the use of existing neighborhood or regional parks or other recreational facilities such that significant physical deterioration of the facility would occur or be accelerated?				X
<p>Discussion: All of the proposed improvements are to occur completely on the subject privately owned parcel. Given that the project results in the additional of one single-family residence, any increase in the use of existing neighborhood or regional parks or other recreational facilities would be minor. This increased use would not result in impacts of such a significant level that physical deterioration of any such facility would occur or be accelerated.</p> <p>Source: Project plans.</p>				
15.b. Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?				X
<p>Discussion: No such facilities or activities are proposed as part this project.</p> <p>Source: Project plans.</p>				

16. TRANSPORTATION/TRAFFIC. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
16.a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including, but not limited to,				X

intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?				
<p>Discussion: As discussed previously, the proposed site improvements are to occur completely on the subject privately owned parcel. These improvements will provide compliant emergency access to the proposed development on the site. Further, the project does not involve a level of development that would adversely impact any plan, ordinance or policy which establishes measures of effectiveness for the performance of the circulation system.</p> <p>Source: Project location; Project plans.</p>				
16.b. Conflict with an applicable congestion management program, including, but not limited to, level of service standards and travel demand measures, or other standards established by the County congestion management agency for designated roads or highways?				X
<p>Discussion: No. See discussion under 16.a., above.</p> <p>Source: Project location; Project plans.</p>				
16.c. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in significant safety risks?				X
<p>Discussion: No changes in air traffic patterns are proposed as part of this project.</p> <p>Source: Project plans.</p>				
16.d. Significantly increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?				X
<p>Discussion: The proposed project does not include any changes to design features of the public right-of-way and does not introduce uses that are incompatible with the zoning district.</p> <p>Source: Project plans.</p>				
16.e. Result in inadequate emergency access?				X
<p>Discussion: The proposed improvements will provide adequate emergency access. The proposed plans have been reviewed and conditionally approved by both Cal-Fire and the San Mateo County Department of Public Works for adequate ingress and egress to the parcel.</p> <p>Source: Project plans.</p>				

16.f. Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?				X
<p>Discussion: No impacts. See discussion under 16.a., above.</p> <p>Source: Project location.</p>				
16.g. Cause noticeable increase in pedestrian traffic or a change in pedestrian patterns?				X
<p>Discussion: No. Given that the proposed project does not result in changes outside of the parcel boundaries and the rural nature of the project parcel, there is no expectation of increase or change to pedestrian patterns in the area.</p> <p>Source: Project plans.</p>				
16.h. Result in inadequate parking capacity?				X
<p>Discussion: The project proposal includes the two required covered off-street parking spaces, and given the overall parcel size, has sufficient area to accommodate additional vehicles on-site in the case of visitors.</p> <p>Source: Project plans; San Mateo County Zoning Regulations.</p>				

17. UTILITIES AND SERVICE SYSTEMS. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
17.a. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?				X
<p>Discussion: While the State Water Resources Control Board does regulate wastewater discharges, they do not currently have adopted statewide regulations for on-site wastewater treatment systems (i.e., septic systems). Given the rural nature of the project site, the subject parcel and surrounding community are not served by a municipal wastewater service provider. Currently, on-site wastewater treatment systems are regulated by local agencies, which, for this project, is the San Mateo County Environmental Health Division. The proposed on-site wastewater treatment system has been reviewed and received conditional approval by the San Mateo County's Environmental Health Division.</p> <p>The property is also served by an individual well which was previously approved and installed. There is no expectation that its use will result in any significant environmental effects.</p> <p>Source: Project plans; Project location; San Francisco Bay Regional Water Quality Control Board.</p>				

17.b. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?			X	
<p>Discussion: The project does require the installation of a new wastewater treatment facility (i.e., on-site septic system) to serve the proposed single-family residence. As stated previously, the proposed system has been reviewed and received conditional approval by the County's Environmental Health Division. Based on this, there is no indication that the proposed new system would result in any significant environmental effects.</p> <p>Source: Project plans.</p>				
17.c. Require or result in the construction of new stormwater drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?			X	
<p>Discussion: In order to comply with San Mateo County's drainage policies, on-site stormwater measures are required to be installed in association with the proposed project. These measures were designed by a licensed civil engineer and have been reviewed and preliminarily approved by the San Mateo County Department of Public Works. There is no indication that the installation of these measures would cause any significant environmental effects.</p> <p>Source: Project plans.</p>				
17.d. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?				X
<p>Discussion: As mentioned previously, the subject parcel is served by a private well. The proposed project does not result in the necessity for new or expanded entitlements.</p> <p>Source: Project plans.</p>				
17.e. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?				X
<p>Discussion: No impact. The project site is not served by a municipal wastewater treatment provider.</p> <p>Source: Project plans; Project location.</p>				
17.f. Be served by a landfill with insufficient permitted capacity to accommodate the project's solid waste disposal needs?				X

<p>Discussion: The property receives municipal trash pick-up service and there is no indication at this time that the landfill utilized has insufficient capacity to continue to serve it.</p> <p>Source: Project location.</p>					
17.g.	Comply with Federal, State, and local statutes and regulations related to solid waste?				X
<p>Discussion: Given that the project parcel is located adjacent to existing single-family residential development and the proposed use is consistent with these surrounding uses which are served by a municipal solid waste management company, there is no expectation that the use would result in waste production that would trigger compliance with Federal, State, and/or local statutes and regulations.</p> <p>Source: Project plans.</p>					
17.h.	Be sited, oriented, and/or designed to minimize energy consumption, including transportation energy; incorporate water conservation and solid waste reduction measures; and incorporate solar or other alternative energy sources?				X
<p>Discussion: The proposed residential development will be required to comply with all currently applicable efficiency standards (i.e., Title-24, CAL-Green, etc.) and is located in an area that could support solar or alternative energy sources (none are proposed at this time).</p> <p>Source: Project plans.</p>					
17.i.	Generate any demands that will cause a public facility or utility to reach or exceed its capacity?				X
<p>Discussion: No. See discussions of utility usage in 17.a.-h., above.</p> <p>Source: Project plans.</p>					

18. MANDATORY FINDINGS OF SIGNIFICANCE.				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
18.a. Does the project have the potential to degrade the quality of the environment, significantly reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?				X
<p>Discussion: While the project parcel is in a mapped area for a special status plant species, a site inspection was conducted by a botanist/certified arborist and no special status plants were found. The proposed project does not significantly reduce the habitat of fish or other wildlife species, does not threaten to eliminate any plant or animal community, and does not reduce the range of any rare or endangered plant or animal. An archaeological reconnaissance was completed by a registered professional archaeologist and no cultural, historic, and/or prehistoric resources were found on the project parcel.</p> <p>Source: Project plans; Project location; Kramer Botanical Report, October 2014; Holman & Associates, Archaeological Study, April 2015.</p>				
18.b. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)				X
<p>Discussion: The proposed project is consistent with the type and scale of the development in the area. While mitigation measures have been included in the project, these are to provide protections to ensure that the property's condition is returned to a more natural state and that the rural nature of the area is maintained. There is no expectation that the project either contributes to or creates any cumulative impacts.</p> <p>Source: Project plans.</p>				
18.c. Does the project have environmental effects which will cause significant adverse effects on human beings, either directly or indirectly?				X

Discussion: See 18.a. and 18.b., above.

Source: Project plans.

RESPONSIBLE AGENCIES. Check what agency has permit authority or other approval for the project.

AGENCY	YES	NO	TYPE OF APPROVAL
U.S. Army Corps of Engineers (CE)		X	
State Water Resources Control Board	X		State General Construction Permit
Regional Water Quality Control Board		X	
State Department of Public Health		X	
San Francisco Bay Conservation and Development Commission (BCDC)		X	
U.S. Environmental Protection Agency (EPA)		X	
County Airport Land Use Commission (ALUC)		X	
CalTrans	X		Encroachment Permit
Bay Area Air Quality Management District		X	
U.S. Fish and Wildlife Service		X	
Coastal Commission		X	
City		X	
Sewer/Water District:		X	
Other: CAL Fire	X		Less Than Three Acre Conversion Permit

MITIGATION MEASURES		
	<u>Yes</u>	<u>No</u>
Mitigation measures have been proposed in project application.		X
Other mitigation measures are needed.	X	
The following measures are included in the project plans or proposals pursuant to Section 15070(b)(1) of the State CEQA Guidelines:		
Mitigation Measure 1: Prior to the issuance of a building permit, the applicant shall submit for review and approval by the Current Planning Section a detailed landscaping/restoration plan to be completed by a certified forester. The landscaping plan shall include non-invasive and native tree		

replacement (with size, type, and location detailed) at a 2:1 ratio for each tree to be removed. Further, the plan shall make use of native species that are appropriate to the woodland ecology and that blend with the surrounding environment. Native plants, including drought and fire resistant plants, shall be used to the extent feasible throughout the proposed development areas. The property owner shall demonstrate compliance with this condition prior to the completion of the grading permit/building permit for the project.

Mitigation Measure 2: The applicant shall implement the following dust control measures during grading and construction activities:

1. Water all active construction and grading areas at least twice daily.
2. Cover all truck hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard.
3. Apply water two times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at the project site.
4. Sweep streets daily (with water sweepers) if visible soil material is carried onto adjacent public streets/roads.
5. Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).

Mitigation Measure 3: All supervisory and construction personnel should be made aware of the possibility of encountering archeological materials prior to commencement of work on the site.

Mitigation Measure 4: The most common and recognizable evidence of prehistoric archaeological resources are areas with darker fine-grained soil (midden), carbon/charcoal and burnt rocks, often containing bones and ocean shellfish such as clams, mussels, usually in fragments; chert; obsidian; basalt, and other stone flakes left from manufacturing stone tools, or the tools themselves (mortars, pestles, arrowheads, and spear points); and human burials, often as dislocated bones. Historic materials or features, such as structural remnants, privy pits, artifact caches, or logging materials, are probably more likely to occur on this property than evidence of prehistoric cultural use. Historic materials older than 45 years old, bottles, artifacts, features, structural remains, etc., may also have scientific and cultural significance and should be more readily identified. If during the proposed construction project, any such evidence is uncovered or encountered, all excavations with 10 meters/30 feet should be halted by long enough to call in a qualified archaeologist to assess the situation and propose appropriate measures.

Mitigation Measure 5: Prior to commencement of the project, the applicant shall submit to the Planning Department for review and approval an erosion and drainage control plan that shows how the transport and discharge of soil and pollutants from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plan shall also limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plan shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including:

1. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.
2. Minimize the area of bare soil exposed at one time (phased grading).

3. Clear only areas essential for project activities.
4. Within five days of clearing or inactivity, stabilize bare soils through either non-vegetative BMPs, such as mulching, or vegetative erosion control methods such as seeding. Vegetative erosion control shall be established within two weeks of seeding/planting.
5. Project site entrances shall be stabilized immediately after grading and frequently maintained to prevent erosion and control dust.
6. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.
7. Soil and/or other construction-related material stockpiled on-site shall be placed at a minimum of 200 feet from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.
8. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.
9. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow energy.
10. Install storm drain inlet protection that traps sediment before it enters any adjacent storm sewer systems. This barrier shall consist of filter fabric, straw bales, gravel, or sand bags.
11. Install sediment traps/basins at outlets of diversions, channels, slope drains, or other runoff conveyances that discharge sediment-laden water. Sediment traps/ basins shall be cleaned out when 50% full (by volume).
12. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5 acres or less per 100 feet of fence. Silt fences shall be inspected regularly and sediment removed when it reaches 1/3 of the fence height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion-resistant species.
13. Utilize coir fabric/netting on sloped graded areas to provide a reduction in water velocity, erosive areas, habitat protection, and topsoil stabilization.
14. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved Erosion Control Plan.

Mitigation Measure 6: The applicant shall implement the following basic construction measures at all times:

1. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxic Control Measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
2. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
3. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person, or his/her designee, shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure

compliance with applicable regulations.

Mitigation Measure 7: All grading and construction activities associated with the proposed project shall be limited to 7:00 a.m. to 6:00 p.m., Monday through Friday, and 9:00 a.m. to 5:00 p.m. on Saturday. Construction activities will be prohibited on Sunday and any nationally observed holiday. Noise levels produced by construction activities shall not exceed the 80-dBA level at any one moment.

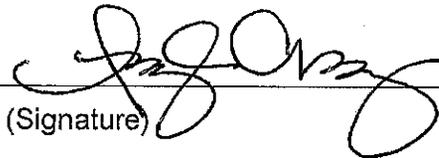
DETERMINATION (to be completed by the Lead Agency).

On the basis of this initial evaluation:

I find the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared by the Planning Department.

I find that although the proposed project could have a significant effect on the environment, there **WILL NOT** be a significant effect in this case because of the mitigation measures in the discussion have been included as part of the proposed project. A **NEGATIVE DECLARATION** will be prepared.

I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.


(Signature)

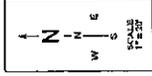
Planner III

June 18, 2015

Date

(Title)

ACC:jlh – ACCZ0436_WJH.DOCX
Initial Study Checklist 10.17.2013.docx



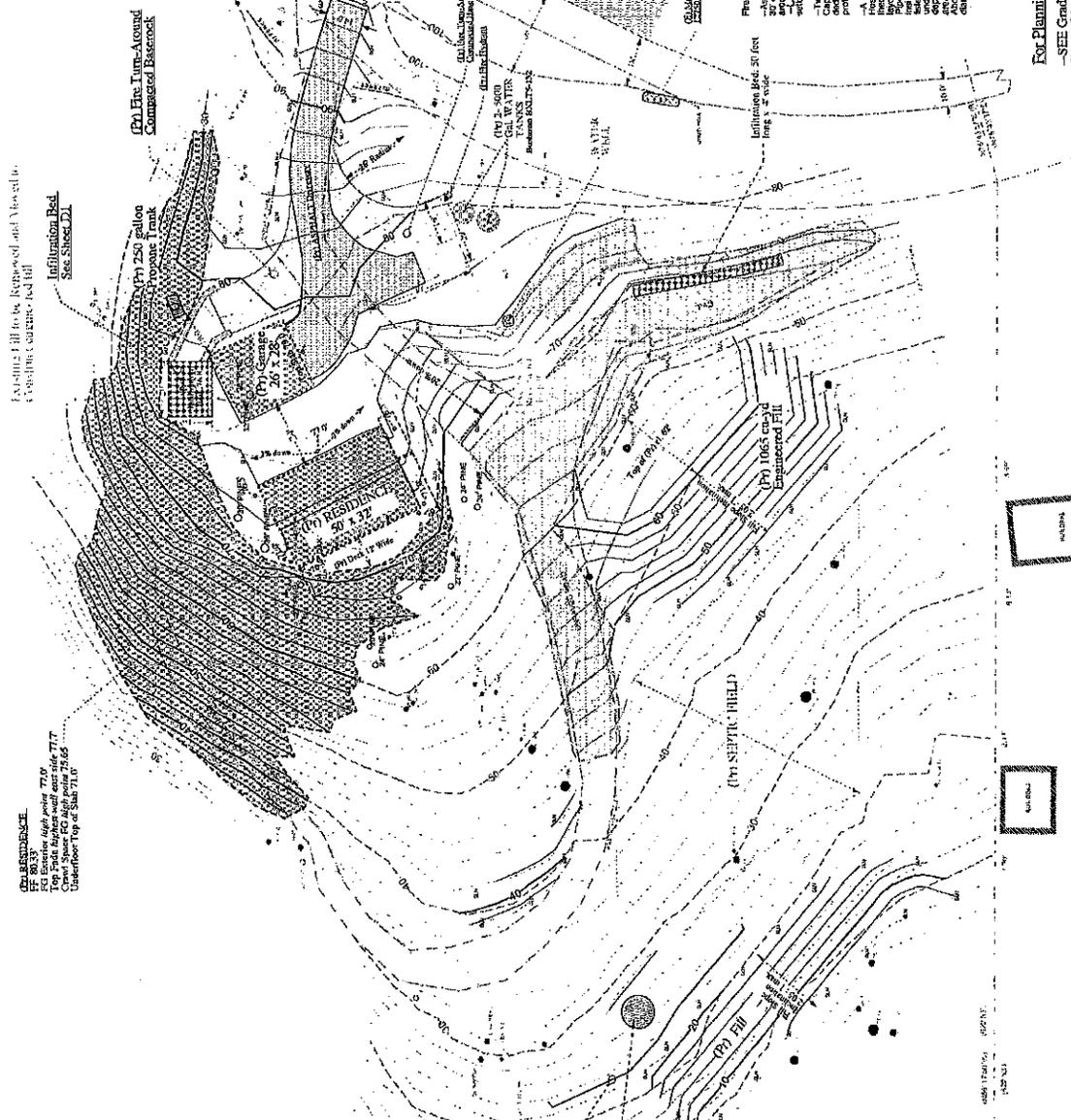
Existing Hill to be removed and replaced with existing concrete bed fill

(P) RESIDENCE
 80' x 33'
 To be replaced with 5000 gallon tank
 (P) 5000 Gallon Tank
 (P) 250 Gallon Tank
 (P) 250 Gallon Tank
 (P) 250 Gallon Tank
 Underfloor Top of Slab 71.0'

LEGEND
 Scale 1" = 20'

- Proposed Property Lines
- Existing 2' Contours
- Existing 4' Contours
- Existing 10' Contours
- Existing 10' Contours Uncontoured Fill
- New Revised Grading 2' Contours
- New Revised Grading 4' Contours
- New Revised Grading 10' Contours
- New Grading 2' Contours
- New Grading 4' Contours
- New Grading 10' Contours
- New Draining Pipes
- Existing Pipe-Obstruction
- New Pipe-Obstruction
- Grading Limits Removal of Uncontoured Fill
- Grading Limits Uncontoured Fill
- Grading Limits (P) Cut & Fill
- Trees to be Removed

(P) Dispersion Wall 100' Lt. see Sheet D2
 (P) Stormwater Detention 5000 Gallon Tank, see Section A-A, Sheet D2 (Assume 80' x 33')



Lot Size 0.6 acres
 Proposed
 Residence - Roof Area = 1,780 Sq. Ft.
 Covered Deck - area = 64
 Access Ramp - area = 64
 Garage - Roof Area = 890 Sq. Ft.
 Asphalt Pavement = 2854 square ft.
 Gravel Hardscape = 1652 square ft.

TERRA FIRMA
 333 Western Road
 CA 92666

Site Plan
 Larson Family Limited Partnership

Location: APN 078-110-050
 La Honda Road, San Mateo County
 Prepared by: Alex Stiles RCE 37389
 Date: Nov. 17, 2014

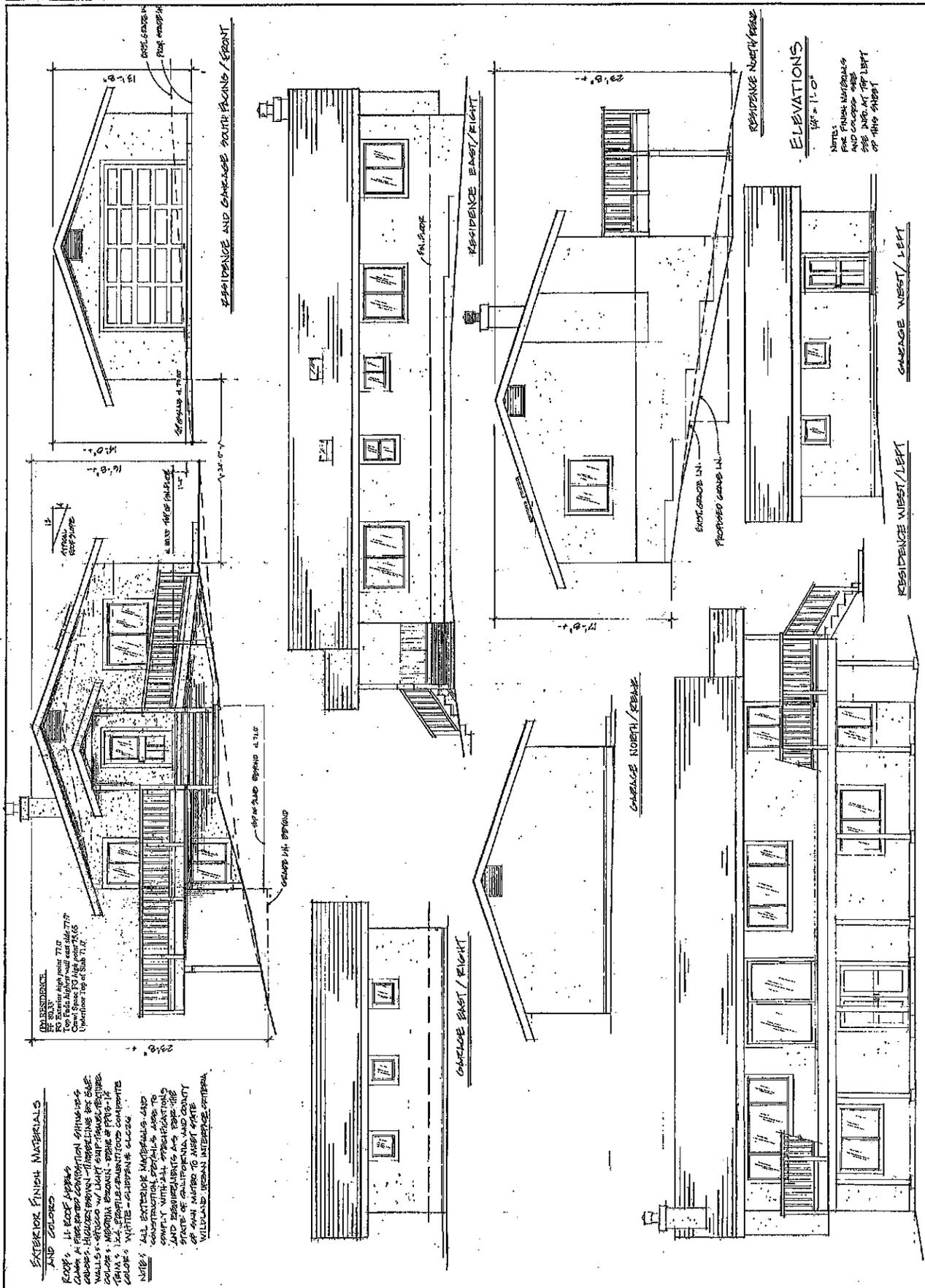
For Planning Department Review
 - SEE Grading Plan, Cross-Sections & Notes
 - SEE D-1 to D-3
 - SEE D-4 to D-6
 - SEE D-7 to D-8
 - SEE D-9 to D-10
 - SEE D-11 to D-12
 - SEE D-13 to D-14
 - SEE D-15 to D-16
 - SEE D-17 to D-18
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 - SEE D-91 to D-92
 - SEE D-93 to D-94
 - SEE D-95 to D-96
 - SEE D-97 to D-98
 - SEE D-99 to D-100

REVISIONS BY	
10.01.2004	

OWNER: LARSON BROTHERS LIMITED PARTNERSHIP
 2915 EVELYN AVE. NORTON, ON. N9S 4T8
 ARCH. 078.110.050
 1458 LK HOLLER ROAD

LINK LEVEL 500.934.6453
 2915 EVELYN AVE. NORTON, ON. N9S 4T8

DATE OF SHEET	10.01.2004
SCALE	1/8" = 1'-0"
DATE OF PROJECT	10.01.2004
PROJECT NO.	078.110.050
PROJECT NAME	RESIDENCE
DATE OF SHEET	10.01.2004
SCALE	1/8" = 1'-0"
DATE OF PROJECT	10.01.2004
PROJECT NO.	078.110.050
PROJECT NAME	RESIDENCE



EXTERIOR FINISH MATERIALS AND COLORS

ROOF: 1/2" ROOF SHEET
 GABLE: 1/2" ROOF SHEET
 WALLS: 1/2" ROOF SHEET
 TRIM: 1/2" ROOF SHEET

NOTES:
 ALL EXTERIOR MATERIALS AND FINISHES ARE TO BE COMPLETED PRIOR TO THE START OF CONSTRUCTION AND SHALL BE SUBJECT TO APPROVAL BY THE ARCHITECT AND THE LOCAL BUILDING DEPARTMENT. ALL MATERIALS SHALL BE OF A QUALITY AND TYPE SUITABLE FOR THE CLIMATE AND LOCAL CONDITIONS.

ELEVATIONS
 1/8" = 1'-0"

NOTE:
 FOR FINISH MATERIALS AND COLORS SEE THE INFO AT TOP LEFT OF THIS SHEET

ATTACHMENT J

From: Lennie Roberts <lennie@darwin.ptvy.ca.us>
To: Angela Chavez <achavez@smcgov.org>
Date: 6/19/2015 3:45 PM
Subject: PLN2014-00301

Hi Angela,

I received the Neg Dec for this project. I need some additional information, and have some initial comments.

1. There is no location map, or map showing the entire property included with the IS/MND. I would appreciate getting a copy of these. I would particularly be interested in seeing the property's relationship to adjacent property, particularly La Honda Creek Open Space Preserve. I would also like to see the location of La Honda Creek and its tributary that is along the northern property boundary. A map generally showing the extent of tree cover and other plant communities, if any, would be helpful.
2. I would appreciate getting a copy of the Site Survey completed by Neal Kramer on October 24, 2014.
3. I would like more information about the 18 trees (13 of which qualify as significant) that must be removed. The Staff Report refers to them simply as "oak" and "pine". What species are they? Pine is not a native species in the Skyline area, and I am not sure that removal of 12 non-native (and not commercial) pine trees triggers the requirement for a less than 3-acre timberland conversion permit from CALFIRE. I would also question Mitigation Measure #1 that requires the landscaping plan to be prepared by a "certified forester". A better choice would be a professional landscape designer or architect. Any new oaks planted should not be of species susceptible to Sudden Oak Death.
4. What is slope in the project area?
5. The septic system details are not included with the project plans, just a general area indicated as Proposed Septic Field. The details of the location and dimensions of the drain fields should be provided with the plans. This is just below an area where 1,065 cubic yards of engineered fill is proposed to be located.
6. The domestic drinking water well appears to be located within an area proposed for grading (difficult to tell because of small scale of the Site Plan Map). When was the well drilled, and what was the production of the well at the time of drilling? It is possible that the four-year drought has impacted the well production.

Thanks for sending the Neg Dec and for providing this additional information. You can send the additional maps etc. to me at 339 La Cuesta, Portola Valley, CA 94028.

If you have any questions, feel free to call me at 854-0449.

Lennie Roberts, Legislative Advocate
Committee for Green Foothills

DEPARTMENT OF TRANSPORTATION
DISTRICT 4
111 GRAND AVENUE
P.O. BOX 23660, MS-10D
OAKLAND, CA 94623-0660
PHONE (510) 286-6033
FAX (510) 286-5559
TTY 711
www.dot.ca.gov



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July 20, 2015

SMVar033
SCH# 2015062059

Ms. Angela Chavez
County of San Mateo
455 County Center, 2nd Floor
Redwood City, CA 94063

Dear Ms. Chavez:

Grading and Single Family Residence – Mitigated Negative Declaration

Thank you for including the California Department of Transportation (Caltrans) in the environmental review process for the project referenced above. Caltrans' new mission, vision, and goals signal a modernization of our approach to California's transportation system. The following comments are based on the Mitigated Negative Declaration. We provide these comments to promote the State's smart mobility goals that support a vibrant economy and build active communities rather than sprawl.

Project Understanding

The project proposes to construct a new 2,500 sf single family residence with a detached 729 sf garage. The project includes the installation of a septic system, three 5,000 gallon water storage tanks, and a fire hydrant. The project also includes approximately 3,023 cubic yards of grading and the removal of 18 trees.

Hydraulics

1. Please provide a location map showing the location of the project in relation to State Routes 84 and 35.
2. A preliminary hydrologic analysis should be performed to ensure post-project runoff from the project is no more than pre-project runoff. Please provide a copy of this analysis for our review when it is completed.
3. Please provide an on-site conceptual drainage plan for our review.

Ms. Angela Chavez/County of San Mateo
July 20, 2015
Page 2

Encroachment Permit

Work that encroaches onto the state right-of-way (ROW) requires an encroachment permit that is issued by Caltrans. To apply, a completed encroachment permit application, environmental documentation, and five (5) sets of plans clearly indicating the state ROW must be submitted to: Mr. David Salladay, Office of Permits, California Department of Transportation, District 4, P.O. 23660, Oakland, CA 94623-0660. Traffic-related mitigation measures should be incorporated into the construction plans during the encroachment permit process. See the website link for more information: <http://www.dot.ca.gov/hq/traffops/developserv/permits/>

Please feel free to call or email Sandra Finegan at (510) 622-1644 or sandra.finegan@dot.ca.gov with any questions regarding this letter.

Sincerely,



PATRICIA MAURICE
District Branch Chief
Local Development – Intergovernmental Review

c: State Clearinghouse