

0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:2,256 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Application for Design Review by the County Coastside Design Review Committee

Permit #: PLN 2016-00011

Other Permit #: _____

1. Basic Information

Applicant:

Name: Justin Lang
Address: 3189 Berryessa St, #2
Palo Alto, CA Zip: 94303
Phone, W: 650.849.3192 H: 650.561.5520
Email: jlang@wsgr.com

Owner (if different from Applicant):

Name: Same
Address: _____
Zip: _____
Phone, W: _____ H: _____
Email: _____

Architect or Designer (if different from Applicant):

Name: BONE structure
Address: 156 2nd Street, San Francisco Zip: 94105
Phone, W: 415.666.2388 H: _____ Email: cbovet@bonestructure.ca

2. Project Site Information

Project location:

APN: 047-105-240
Address: San Carlos Ave
El Granada Zip: 94018
Zoning: R-1/S-17/DR
Parcel/lot size: 6,350 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe): _____

3. Project Description

Project:

- New Single Family Residence: 2,200 sq. ft
- Addition to Residence: _____ sq. ft
- Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

3 bedroom, 2.5 bath two story home

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish	Check if matches existing
		(If different from existing, attach sample)	
a. Exterior walls	_____	_____	<input type="checkbox"/>
b. Trim	_____	_____	<input type="checkbox"/>
c. Windows	_____	_____	<input type="checkbox"/>
d. Doors	_____	_____	<input type="checkbox"/>
e. Roof	_____	_____	<input type="checkbox"/>
f. Chimneys	_____	_____	<input type="checkbox"/>
g. Decks & railings	_____	_____	<input type="checkbox"/>
h. Stairs	_____	_____	<input type="checkbox"/>
i. Retaining walls	_____	_____	<input type="checkbox"/>
j. Fences	_____	_____	<input type="checkbox"/>
k. Accessory buildings	_____	_____	<input type="checkbox"/>
l. Garage/Carport	_____	_____	<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signature

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.



Owner: _____ Applicant: _____

Date: Jan. 14/2016 Date: _____

Environmental Information Disclosure Form

PLN 2016-00011
 BLD _____

Project Address: 047-105-240
San Carlos Ave
El Granada CA 94018
 Assessor's Parcel No.: 047 - 105 - 240

 Zoning District: R-1/S-17/DR

Name of Owner: Justin Lang
 Address: 3189 Berryessa St #2
Palo Alto CA 94303 Phone: 650.561.5520
 Name of Applicant: Justin Lang
 Address: 3189 Berryessa St #2
Palo Alto, CA 94303 Phone: 650.561.5520

Existing Site Conditions

Parcel size: 6,350 sq ft

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

Vacant land, sloping down and to the right approx. 20°
Minimal vegetation, with one willow at bottom and one mountain ash at top.

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>20</u> c.y. Fill: <u>20</u> c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
	<input checked="" type="checkbox"/>	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	<input checked="" type="checkbox"/>	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:

(Applicant may sign)

Date:

Jan. 14/2016

Design Review Application Submittal Checklist

During the Design Stage, this checklist is intended to be used by the Applicant up to the time of the submittal of a complete application to the Current Planning Staff. This checklist is used to certify Pre-application Conference Attendance and to help the Applicant compile all the materials and information required for complete application submittal. At the time of project submittal, the Applicant should bring this checklist to the Planning Counter Staff, as this checklist will be used to review the completeness of the application submittal.

DESIGN STAGE

1. DESIGN SHALL CONFORM TO APPLICABLE REGULATIONS AND STANDARDS

The following samples are enclosed in this packet to illustrate materials required for application (see application requirements):

- a. *Maximum Building Heights in Unincorporated San Mateo County*
- b. *Survey Sample*
- c. *Sample Primary Building Elevation (Guidance for Presentation of Color and Exterior Material Samples)*

Other regulations and standards are available at the Planning and Building Department's Website and at the Planning Counter:

- a. *Midcoast Design Review Standards*
- b. *Design Review (DR) Zoning District Regulations (includes Bayside DR Standards and Required Findings for Permit Approval)*
- c. *Coastside Design Review Committee (CDRC) Policies on the Story Pole Installation and Major/Minor Modifications*

2. PRE-APPLICATION CONFERENCE REQUIREMENT

Prior to finalizing the design of a project in the Design Review District and submitting an application for Design Review, the project designer (which can be the owner) must participate in a pre-application conference with a planner. The purpose of the pre-application conference is to assure that the designer and owner are aware of the design standards, expectations, and application requirements of the County prior to finalizing the design of a project. Applications which have not been signed for certification of pre-application attendance are considered incomplete and will not be accepted by the Current Planning Section. Pre-application conferences may be arranged by appointment by calling 650/363-1825.

CERTIFICATION OF CONFERENCE ATTENDANCE

On Dec. 16, 2015, the project designer/architect attended a pre-application conference in relation to the development project located at Planning Dept.

M. Schaller

Planner

PRE 2015-00067

Pre-Application Case No.

Notes:

Note: Staff, please add pre-application project review notes as a parcel tag to the property.

APPLICATION STAGE

3. APPLICATION REQUIREMENTS

The following items are necessary for submittal of a complete application:

- a. ✓ Proof of owner's interest in property (copy of deed, tax bill, etc.).
- b. ✓ Completed Design Review Application Form.
- c. ✓ Owner's concurrence shall be provided if owner does not sign application.
- d. (d) ✓ C.3 and C.6 Development Review Checklist (if project will result in 2,500 sq. ft. or more of impervious surface).
- e. ✓ Completed Environmental Information Form.
- f. ✗ Any required supplemental forms.
- g. ✓ Fees as set by resolution of the Board of Supervisors.
- h. ✓ A brief written explanation of how the design of the project conforms to the Design Review standards.
- i. (i) ✓ Four (4) 8 1/2" x 11" color copies of exterior color/material (wall, trim, windows, accent). Include color chips from paint stores or manufacturers. Fire-rated materials are required in State Responsibility Areas (SRA) or Local Responsibility Areas (LRA). If specific materials are proposed, they must comply with this requirement.
- Ugh (j) (j) ✓ Five (5) full-scaled sets of preliminary drawings (not construction plans, minimum 18" x 24" paper size).
- k. One (1) set of 8 1/2" x 11" paper reproductions of site plan, floor plans, building elevations and cross section.

- I. Coastside Design Review Districts: Electronic file of plans (prefer PDF of vector drawings) on disc.

PLAN SETS SHALL INCLUDE THE FOLLOWING INFORMATION:

SURVEYS

Resubmitted 02/09/2014 & 02/11/2014

- o A stamped topographical and boundary survey prepared by a licensed land surveyor or a registered civil engineer (minimum scale of 1 inch = 10 feet). A stamped boundary survey is required for additions located less than 5 feet from a minimum setback line.
- o Survey(s) shall show baseline elevation datum point and its elevation as established by a licensed land surveyor or engineer. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural grade of the site or finished grade depending on the applicable zoning district; garage slab, finished first floor, peak roof elevation.

SITE PLAN (Based on Survey)

Revised Resubmitted 02/09 & 02/11

- o Information Table on Title Sheet showing: Assessor's Parcel Number/Address, Zoning District, parcel size, square footage of structures (existing and proposed), lot coverage with calculations (maximum allowed and proposed), and floor area ratio (FAR) with calculations (maximum allowed and proposed).
- o Property Lines: Clearly defined and accurate, including their respective linear lengths.
- o All existing and proposed improvements (clearly differentiated), including buildings, structures, decks, paving, fences, walls, etc. If, in the case of additions, minimum setback compliance is proposed, a focused boundary survey shall be submitted confirming the exact location of the existing and proposed addition's distance to the closest property line.
- o Dimensions of all setbacks from the structure to the property line.
- o Any easements (public and private) and utility lines. Access easement should be deducted from lot area for purposes of lot coverage and floor area ratio (FAR).
- o Existing grade and proposed grade contour lines as they relate to finished floor levels. Define grading and areas of disturbance by shading.
- o Height and location of all existing and new fences and walls.
- o Location and type of new and existing utility lines (this may be provided on a separate Utility Plan).
- o Tree Plan showing:
 - ◇ Bayside DR Districts (Emerald Lake Hills, Palomar Park, Devonshire): All existing trees 6" in diameter or 19" in circumference (significant trees). Number trees on plans and identify species/type.
 - ◇ Outside of Bayside DR Districts: All existing trees 12" in diameter or 38" in circumference (significant trees). Number trees on plans and identify species/type.

- ◇ Trees to be removed, as marked with an "X." List type and size here or attach a list: _____
- ◇ An arborist report is required for trees proposed for removal on the basis of poor health, potential hazard, or when a tree is proposed to remain and within 5 feet of a proposed structure.
- o New houses in Emerald Lake Hills: The location of two (2) guest parking stalls is required. Guest parking stalls are recommended elsewhere. If the garage/carport is located less than 20 feet from front property line, site plan shall be expanded to show how guest parking will be accommodated on- and/or off-site to the satisfaction of the Department of Public Works.

BUILDING ELEVATIONS *Revised Plans submitted 02/09/2016 [Signature]*

- o Minimum scale of 1/4 inch = 1 foot.
- o Natural grade clearly indicated on elevation plans in relation to all exterior walls.
- o Building heights (in feet with benchmark as the base reference) of all elevations, including garage, first floor and roof ridgelines.
- o Front, sides, and rear building elevations: In cases of additions/alterations to existing buildings, the existing and proposed development shall be clearly differentiated.
- o Show decks, exterior lights, and other structures or fixtures.
- o Daylight Planes.
- o Identify type of roof and exterior materials to be used. Include manufacturer's brochure, if available. Fire-rated materials are required in fire hazard severity zones (a list of approved materials is available at the Planning Counter).

FLOOR PLANS *revised plans submitted 02/09/2016 [Signature]*

- o Show dimensions and floor area calculations of each floor.
- o In cases of additions/alterations to existing buildings, the existing and proposed development shall be clearly differentiated.

BUILDING CROSS SECTION: Short and long cross sections showing maximum height, with elevation callouts of first floor, finished grade, and ridge height. Elevation callouts shall be consistent with the datum point provided on survey.

GRADING PLAN: *According to Revised Plans submitted 02/09/2016
CUT = 20 CY Fill 20 CY tot. 40 CY [Signature] drainage plan sheet C-1*

- o Include amounts of cut and fill in cubic yards. Total = Cut + Fill.
- o A soils report is required for grading permits. See Grading Regulations.

ROOF PLAN: Include ridgeline elevations.

ACCESS AND DRAINAGE PLANS (Required by the Department of Public Works): *Revised Plan submitted 02/09/2016 [Signature] Sheet C-1*

- o Driveway profile (stipulating driveway slope), from centerline of roadway to garage slab: Minimum 20-foot wide access from the public road and driveway profile with a maximum slope of 20%.
- o Site Distance Study by civil engineer (required on a case-by-case basis).
- o Drainage Plans.

ADDITIONAL SUBMITTAL REQUIREMENTS:

LIGHTING: SUBMITTED 02/09/2016 

- o Exterior lighting shall be minimized and designed with a specific activity in mind so that outdoor areas will be illuminated no more than necessary to support the activity designed for that area.
- o Include manufacturer's brochure(s) of all exterior light fixtures: Exterior lighting should be subdued and indirect, and glaring fixtures should be avoided. Low-level lighting directed at the ground is preferred.

LANDSCAPE PLAN: SUBMITTED 02/11/2016 

- o Landscape/tree replacement plan, including the location, size and type of replacement trees to be planted. (Removal of any significant tree shall be replaced at a 1:1 ratio on the Coastsides and up to 3:1 in the Bayside Design Review Districts.)
- o Coastsides Design Review Districts: All landscaping shall be drought-tolerant, and either native or non-invasive plant species. This requirement does not apply to fruit or vegetable gardens. Landscape plans shall include provisions for watering plants as needed to ensure initial plant growth. Plantings appropriate for the coastal climate should be selected. Placement of landscaping shall present a natural appearance (e.g., avoid linear configurations) and provide a smooth transition between development and open areas (e.g., planting of various heights).

PROJECT NOTICING STAGE (10 DAYS PRIOR TO HEARING)

4. NOTICING REQUIREMENTS

Applicant will be mailed a "NOTICE OF DESIGN REVIEW" cards which SHALL be posted on your parcel, visible from the street beginning ten (10) calendar days prior to and remaining posted through the date of your confirmed Design Review Committee hearing.

Please indicate party responsible for posting the sign here: _____

5. STORY POLES

Story Poles are required for Coastsides projects. See "Coastsides Design Review Committee (CDRC) Policies on the Story Pole Installation and Major/Minor Modifications," which outlines story pole requirements.

San Mateo County Planning & Building Department

Maximum Building Heights in Unincorporated San Mateo County

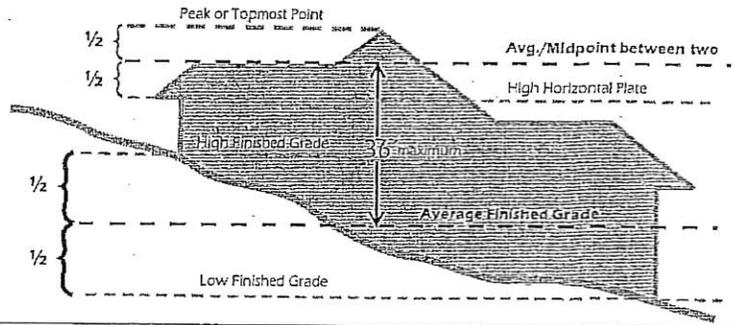
Heights Verification, per County procedures, is required for all homes, designed within 2 feet of the maximum height limit, and is required for all homes in Design Review Districts, regardless of proposed height. See Planner for additional information.

NOTE: All elevation exhibits shown below are intended only as examples to illustrate how height is generally calculated for the cited zoning districts; height compliance confirmation is applicable to all elevation plans (critical with variable topography). Always refer to the respective building height regulations for the applicable zoning district.

Zoning/Combining Districts: S-1 thru S-11, S-81, S-83, SS-103, S-108, RM RM-CZ, TPZ, TPZ-CZ, PAD:

35 ft./36 ft. Height Limit

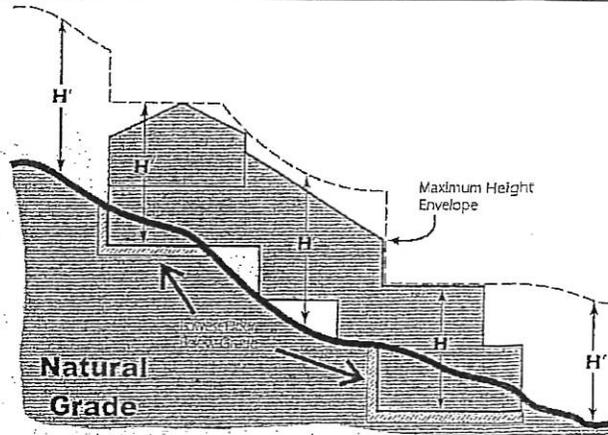
(Average Finished Grade to Average Roofline)



Zoning/Combining Districts: S-71, S-91, S-102, RH

28 ft. to 30 ft. Height Limit

(Natural Grade² (or lowest floor below grade) to topmost point of the building immediately above).



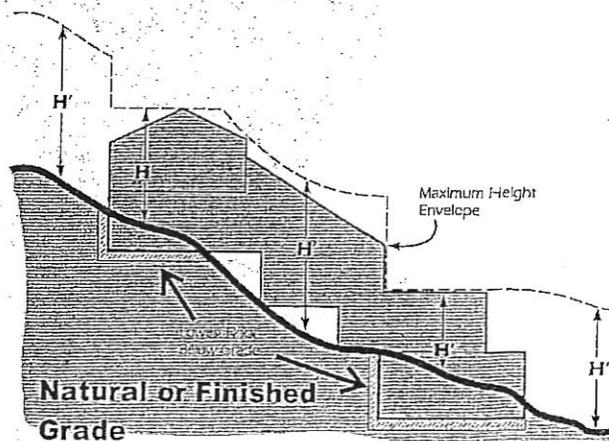
Zoning/Combining Districts: S-17, S-50, S-72 thru S-74, S-82, S-90, S-92 thru S-94, S-100, S-105

(Natural Grade² to topmost point of building immediately above).

28 ft. to 33 ft. Height Limit

Zoning/Combining Districts: S-95, S-101, S-104, S-106, S-110

(Natural Grade² or Finished Grade¹ to topmost point of building immediately above, whichever is lower).



28 ft. to 30 ft. Height Limit

¹ Finished Grade [pursuit to sec. 6102.14] is defined as the topographic contours which result after completion of construction on the site. Average finished grade is the average level of the finished grade adjacent to building walls. The outer edges of projecting decks & balconies shall not be counted as "walls" if they are unenclosed below (supporting posts O.K.) & uncovered above. The average grade shall be calculated by topographic elevations noted at all building wall corners, noted both on the site plan & corresponding elevation plans.
² Natural Grade is defined as the topographic contours which exist prior to any disturbance related to construction on the site.

COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT

Survey Requirements
(For: Survey Professional)

Project Address: _____

Assessor's Parcel Number: _____

The front of this property for survey purposes is:

A Survey is always required for new construction within 5 feet of a required setback. For other cases of when a Survey is required, please contact Planning and Building staff.

The minimal information needed on a Site Planning Survey varies depending on the project. Below is to help define the minimal information needed by the Planning and Building Department based on the type of project proposed, and can be passed to the appropriate licensed professional for clarification.

REQUIRED		
Yes	No	PROPERTY LINES
		Front
		Rear
		Right Side
		Left Side
		Other
		EXISTING DEVELOPMENT – A minimum of 2 dimensions must be clearly indicated from each property line required above to the nearest existing development.
		Residence: <input type="checkbox"/> front wall <input type="checkbox"/> rear wall <input type="checkbox"/> right wall <input type="checkbox"/> left wall <input type="checkbox"/> other
		Detached accessory building (garage, carport, storage shed, playhouse, other): <input type="checkbox"/> front wall <input type="checkbox"/> rear wall <input type="checkbox"/> right wall <input type="checkbox"/> left wall <input type="checkbox"/> other
		Detached accessory structure (gazebo, trellis, fence, retaining wall, play structure, swimming pool, other).
		Driveways, paved areas (e.g., patios, parking areas).
		Well and/or septic system.
		NATURAL ENVIRONMENT
		Trees ($\geq 6"$ d.b.h. in Emerald Lake Hills area or $\geq 12"$ d.b.h. in any residential zoning district), show actual diameter at breast height and dripline.
		Waterways
		Topographical contours; extent of topographical contours on-site.
		OTHER
		Benchmark with elevation identified (for height verification purposes). <i>See Height Verification Handout for further details.</i>

Please contact the San Mateo County Planning Department at 650/363-1825 with questions.



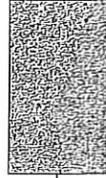
ROOFING: Asphalt composition shingles
Elk Prestique II-Weathered wood color



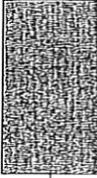
EXTERIOR TRIM: Painted wood
Kelly Moore "Graystone" KM-230



WINDOWS: Painted wood sash casements
Kolbe&Kolbe Heritage series-Kelly Moore "Graystone" KM-230



EXTERIOR WALLS: Cement Plaster-smooth finish
Western Blended Products, Sacramento Stucco - "Prairie Sage" #1017



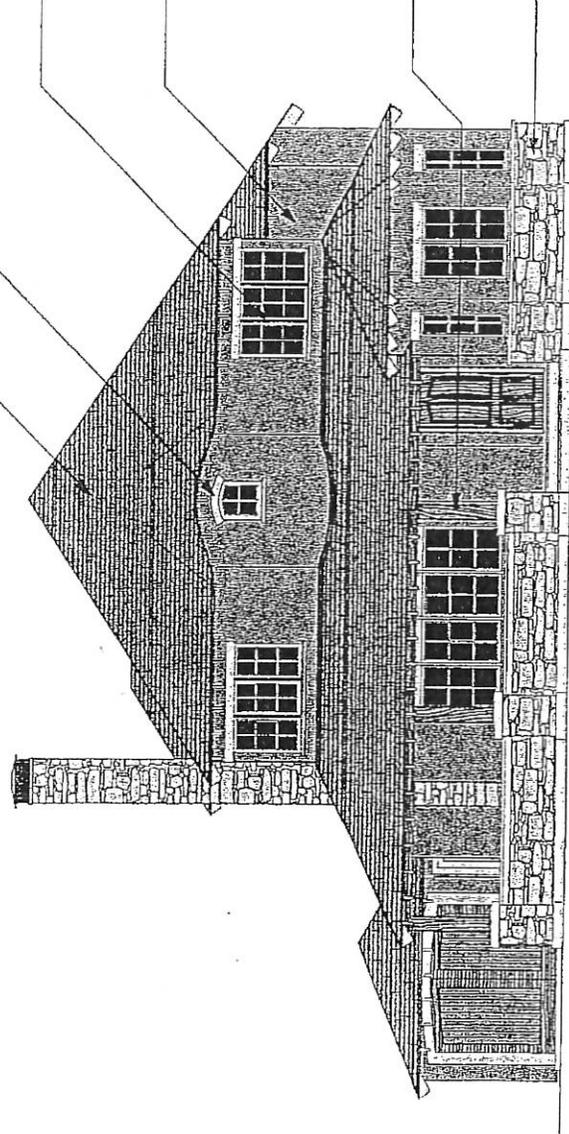
GARAGE DOORS: Natural wood roll-up doors
Douglas Fir rich top door - Clear polyurethane finish



PORCH POSTS: Natural wood
12X12 Douglas Fir #1-Watco natural linseed oil finish



CHIMNEY/MASONRY BASE: Natural stone veneers
Boquet Canyon Ledgerstone-Perinsula Building Materials



SAMPLE PRIMARY BUILDING ELEVATION: Project Location

ABC Architects, Any Town, CA (650) 123-4567

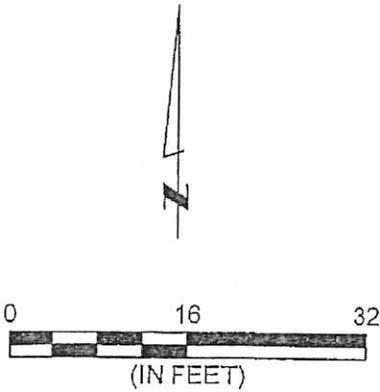
The colors and materials represented here have been approved by the San Mateo County Design Review Board. Please call (650) 363-4161 with any questions, comments, or concerns. This is project #2003-0001. (psd/design review colors (dark wood).psd 7-12-04 ss)

San Mateo County Planning & Building Department

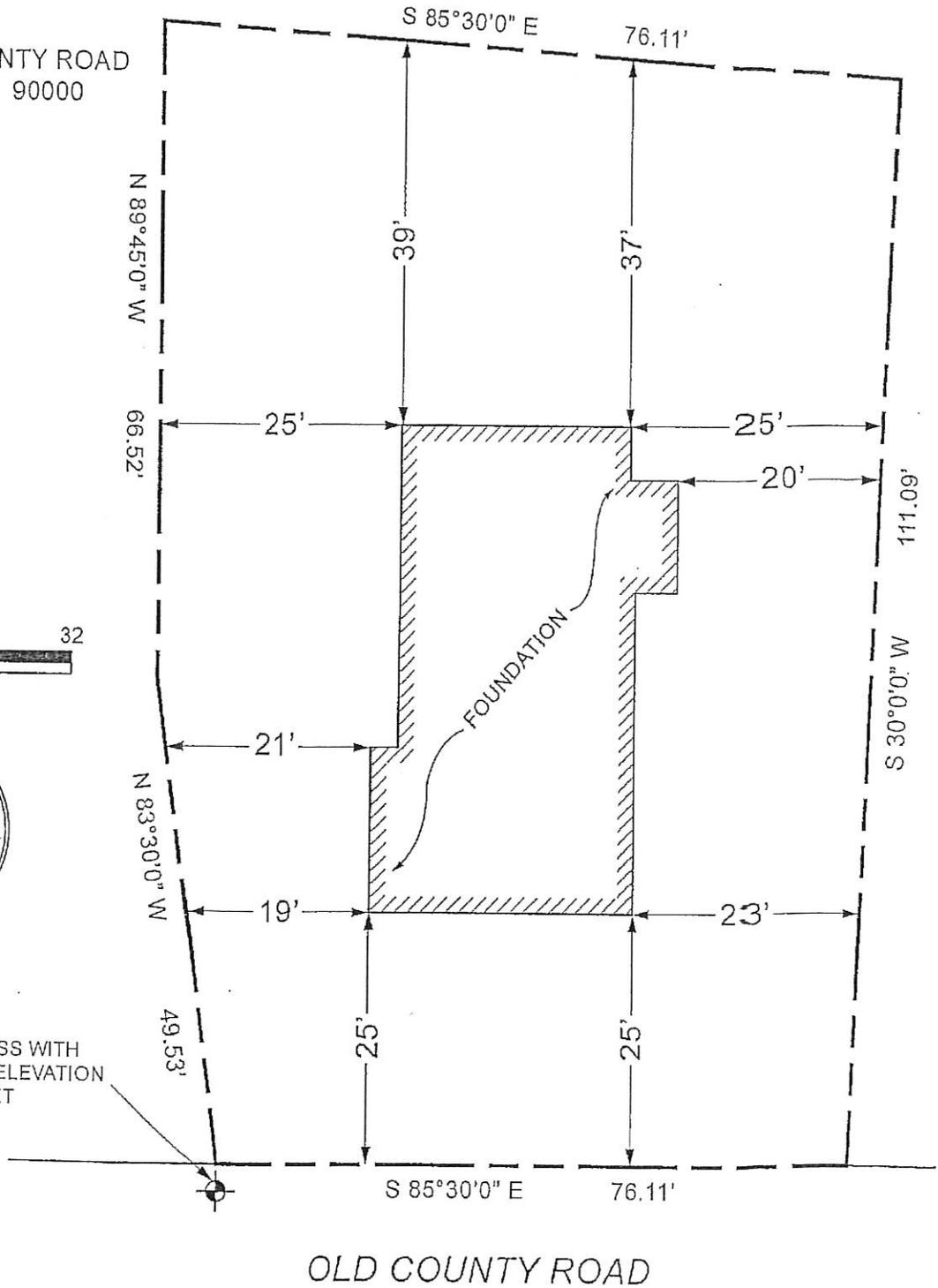
SURVEY SAMPLE

PROJECT SITE
12345 OLD COUNTY ROAD
ANYWHERE, CA 90000

APN
100-010-001



SCRIBED CROSS WITH
AN ASSUMED ELEVATION
OF 100.00 FEET



15-646 LANG RESIDENCE

DESIGN REVIEW APPLICATION

- A.001 3D Views
- A.004 Compositions
- A.100 Site plan
- A.101 Anchor point plan
- A.102 Basement plan
- A.103 Main floor plan
- A.104 Roof plan
- A.200 Southwest elevation
- A.201 Northwest elevation
- A.202 Northeast elevation
- A.203 Southeast elevation
- A.300 Cross section
- A.301 Longitudinal section



PLN2016-00011

RECEIVED

FEB 09 2016

San Mateo County
Planning and Building Department

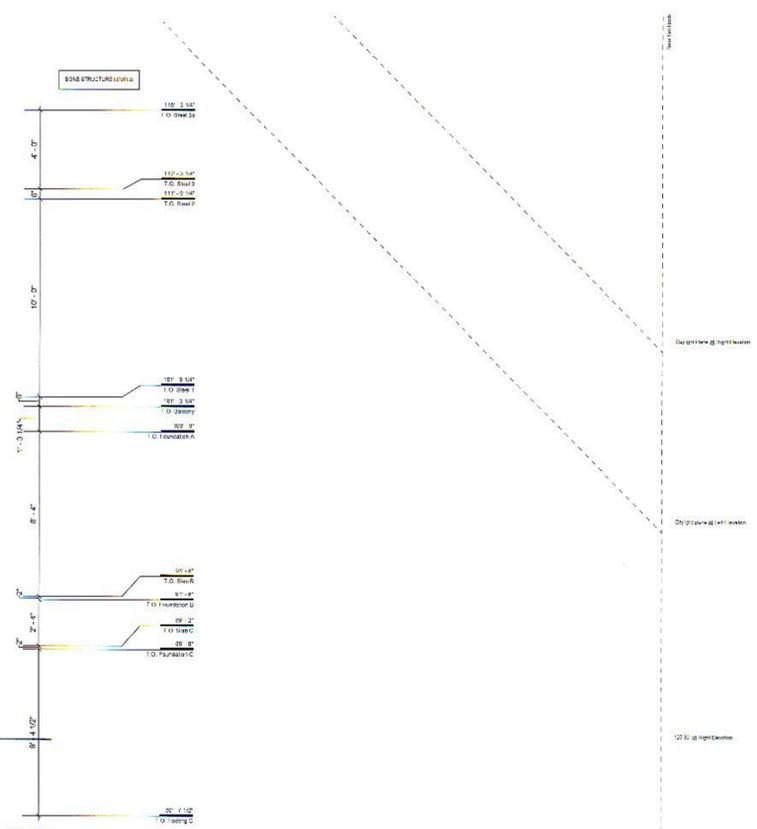
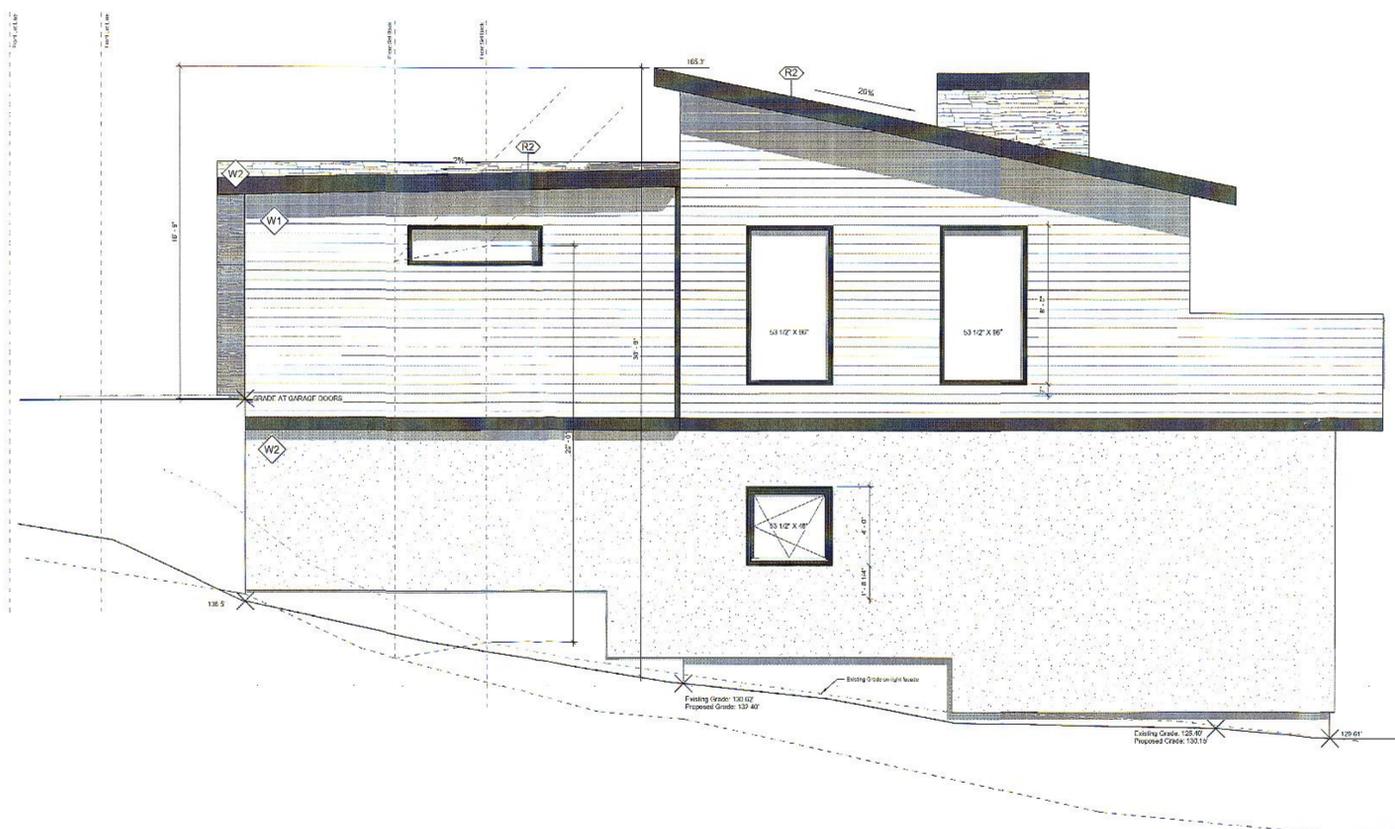
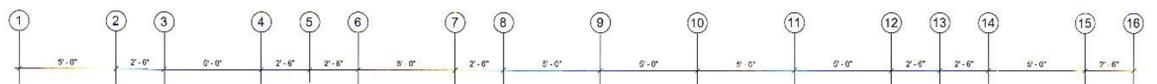
BONE
structure®

THE FOLLOWING PLANS, PROVIDED BY BONE STRUCTURE, ARE FOR INFORMATION REGARDING THE CONSTRUCTION OF THE PROJECT BY A LICENSED DEALER. BONE STRUCTURE IS THE SUPPLIER OF A STRUCTURAL SYSTEM THAT INCLUDES THE ANCHORS NECESSARY FOR THE EXTERIOR AND INTERIOR FINISHING. ALL OTHER SYSTEMS ARE SHOWN ONLY FOR UNDERSTANDING AND ARE UNDER THE RESPONSIBILITY OF THE BUILDER.

DATE : 2016/02/08

ROOF	DOUBLE LAYER ELASTOMERIC MEMBRANE - CHARCOAL, DARK GREY
FASCIA	METAL CLAD. FLAT LOCK SEAM COLOR CHARCOAL, DARK GREY
SOFFIT	CHARCOAL, DARK GREY
SOFFIT (ENTRANCE)	WOOD - CEDAR
WINDOWS	ALUMINUM FRAME, COLOR: BLACK

W1 HARDIE BOARD SIDING
W2 GREY STUCCO



1 Elevation - Northwest
1/4\"/>

Simple Concept

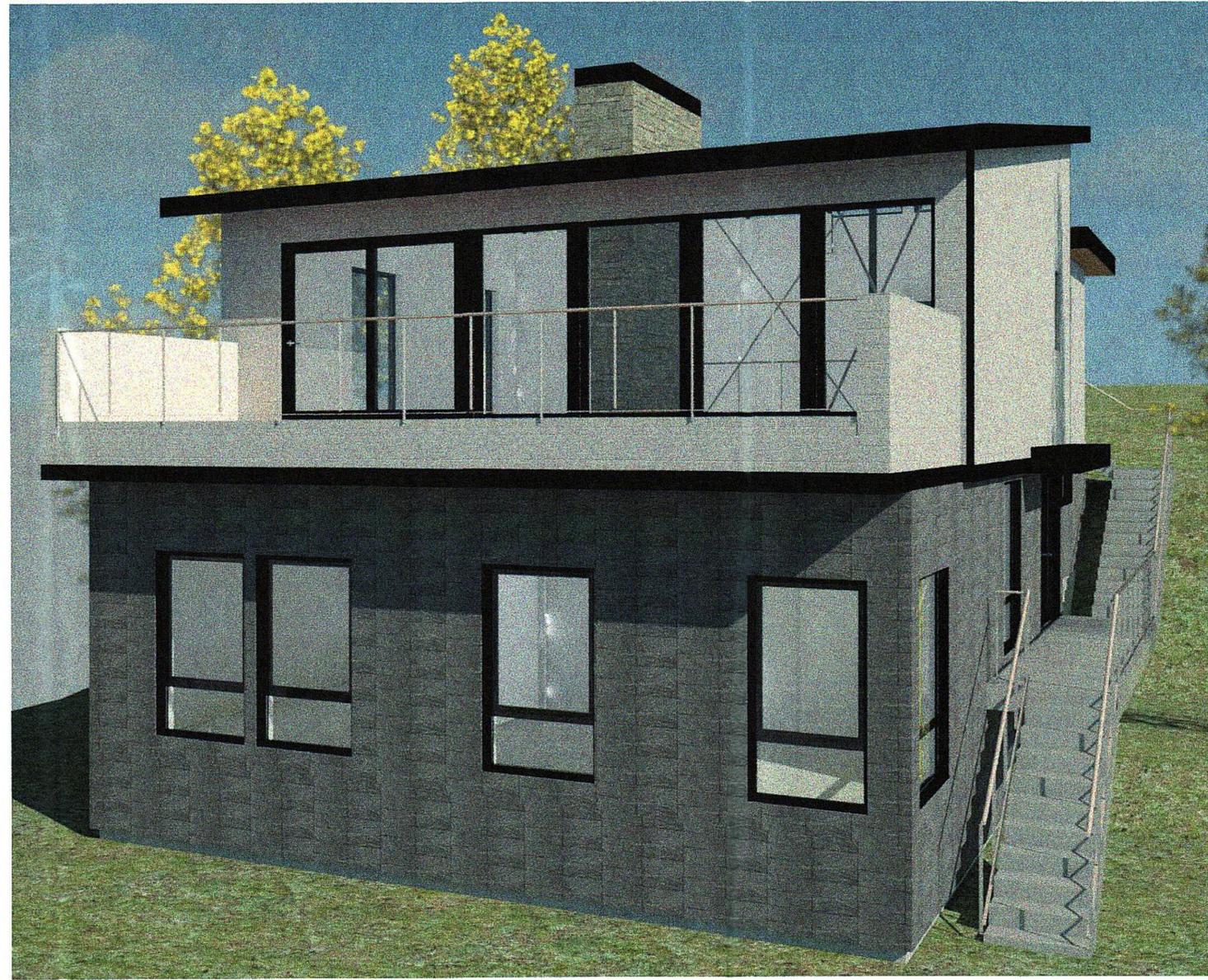
2812 JOSEPH-A. BOMBARDIER, LAVAL, QC, CA H7P 6E2
1.450.978.0602 FAX.450.978.4917

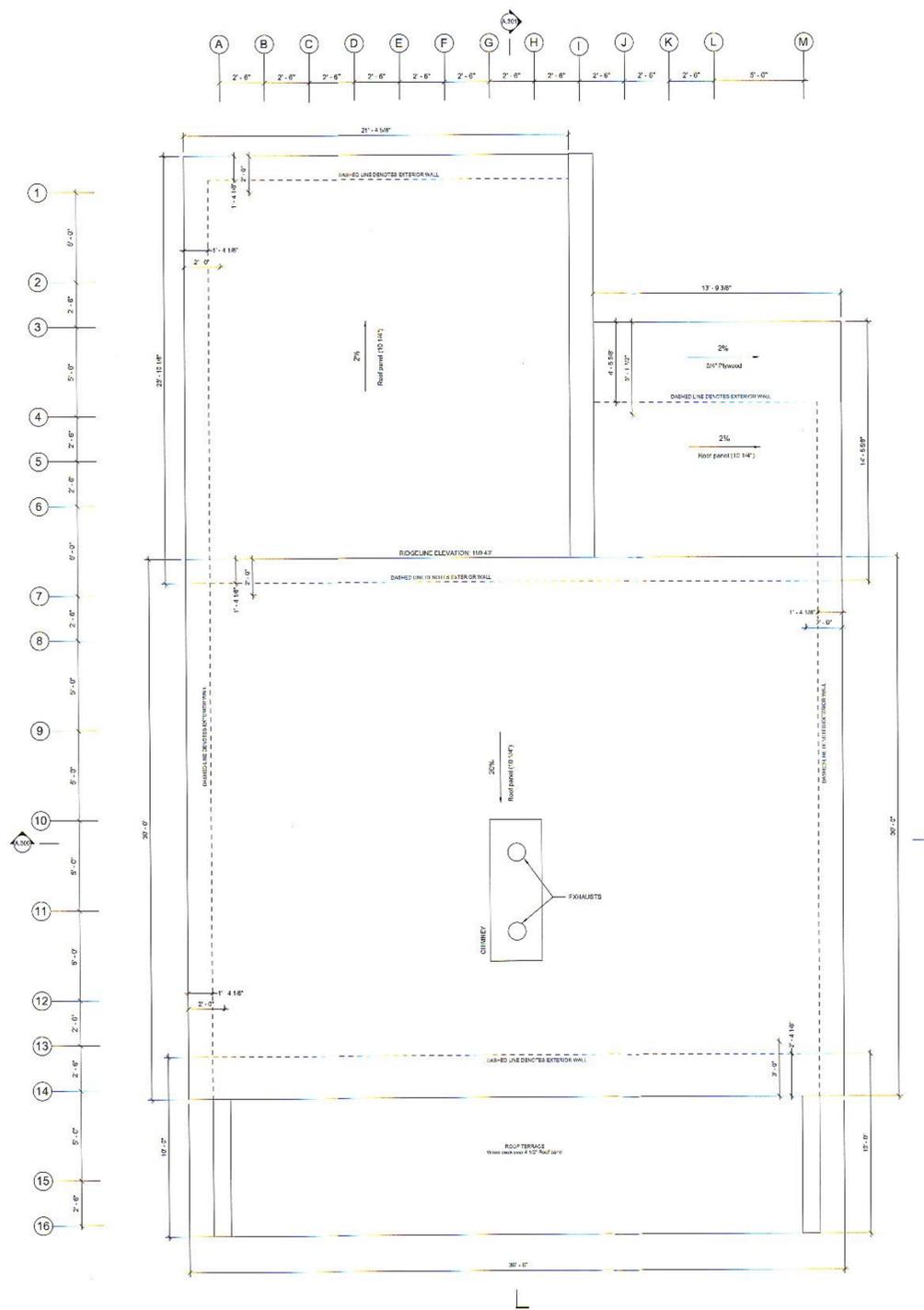
THESE PLANS, PROVIDED BY BONE STRUCTURE, ARE FOR INFORMATION ONLY REGARDING THE CONSTRUCTION OF THE PROJECT BY AN AUTHORIZED DEALER. BONE STRUCTURE IS THE SUPPLIER OF A STRUCTURAL SYSTEM THAT INCLUDES THE ANCHORS REQUIRED FOR INDOOR AND OUTDOOR FINISH. OTHER BUILDING SYSTEMS ARE LISTED AND SHOWN FOR INFORMATIONAL PURPOSES AND ARE THE RESPONSIBILITY OF THE MANUFACTURER.

DATE	REVISION	BY	NO.
2016/02/04	DESIGN REVIEW APPLICATION	JZ	1
2016/02/04	DESIGN REVIEW APPLICATION	JZ	1

PROJECT	
LANG RESIDENCE	
15-646	
APN: 047-105-240, San Carlos Ave., El Granada, CA, 94019	
DRAWING TITLE	DRAWN BY
Northwest elevation	JZ
SCEAU	CHECK BY
	BONE Structure
	DATE
	2016/02/08
SCALE	As indicated
REVISION	2
PAGE	A.201

© 2016 Simple Concept Inc. BONE Structure est une marque déposée de Simple Concept Inc. et est utilisée sous licence exclusive par Simple Concept Inc. Toute copie illégale.
 © 2016 Simple Concept Inc. BONE Structure is a registered trademark of Simple Concept Inc. and is used under exclusive license by Simple Concept Inc. All rights reserved.





1 Roof plan
1/4" = 1'-0"

Simple Concept

2812 JOSEPH-A. BOMBARDIER, LAVAL, QC, CA H7P 6E2
1-450-978-0602 FAX: 450-978-4917

THESE PLANS, PROVIDED BY BONE STRUCTURE, ARE FOR INFORMATION ONLY REGARDING THE CONSTRUCTION OF THE PROJECT BY AN AUTHORIZED DEALER. BONE STRUCTURE IS THE SUPPLIER OF A STRUCTURAL SYSTEM THAT INCLUDES THE ANCHORS REQUIRED FOR INDOOR AND OUTDOOR FINISH. OTHER BUILDING SYSTEMS ARE LISTED AND SHOWN FOR INFORMATIONAL PURPOSES AND ARE THE RESPONSIBILITY OF THE MANUFACTURER.

DATE	REVISION	BY	NO.
2016/02/04	DESIGN REVIEW APPLICATION	JZ	1
2016/02/02	DESIGN REVIEW APPLICATION	JZ	1

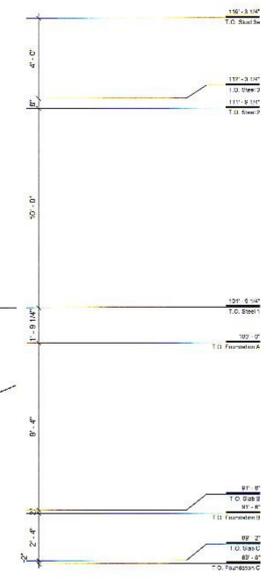
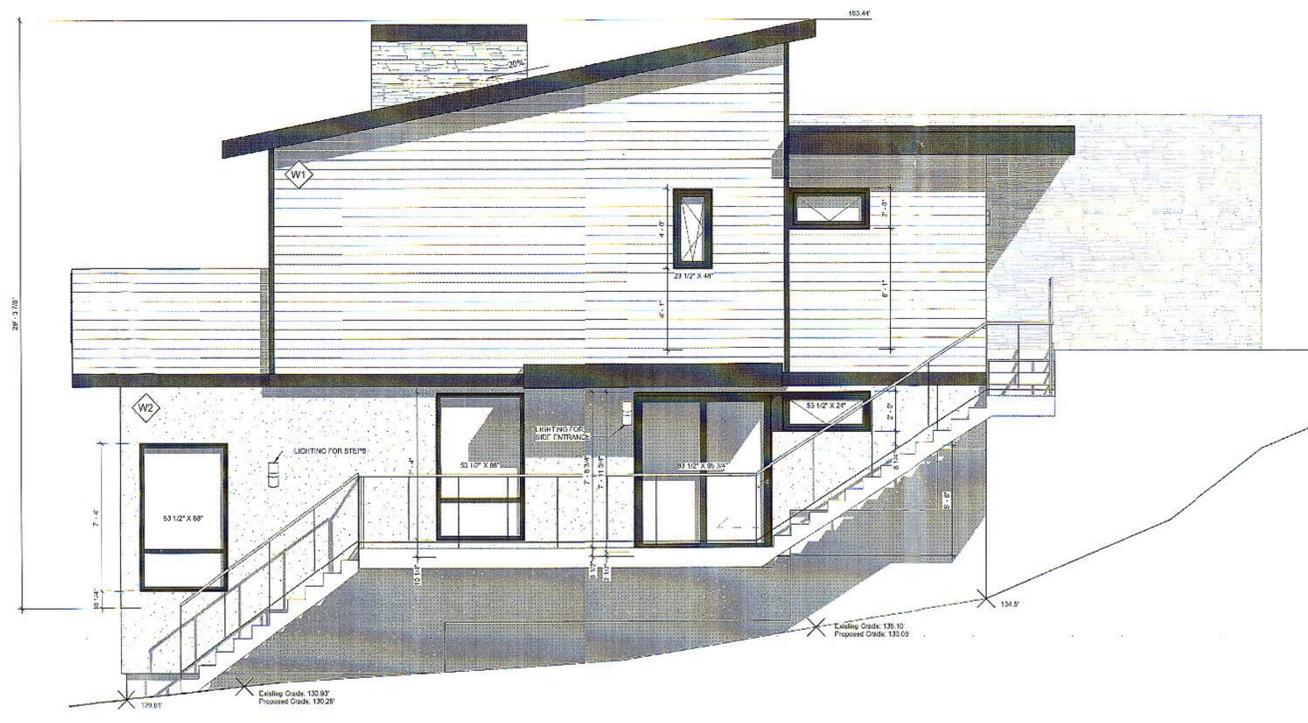
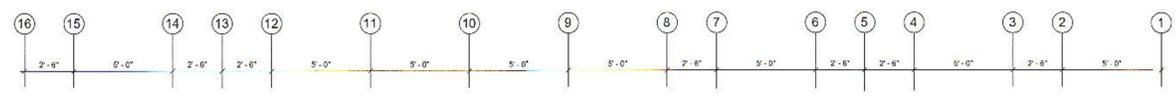
PROJECT
LANG RESIDENCE
15-646
APN: 047-105-240, San Carlos Ave., El Granada, CA, 94019

DRAWING TITLE	DRAWN BY
Roof plan	JZ
CHECK BY	BONE Structure
DATE	2016/02/08
SCALE	1/4" = 1'-0"
REVISION	2
PAGE	A.104

© 2015 Simple Concept Inc. | BONE Structure® est une marque déposée de Simple Concept Inc. et est utilisée sous licence exclusive par Simple Concept Inc. Tous droits réservés.
© 2015 Simple Concept Inc. | BONE Structure® is a registered trademark of Simple Concept Inc. and is used under exclusive license by Simple Concept Inc. All rights reserved.

ROOF	DOUBLE LAYER ELASTOMERIC MEMBRANE - CHARCOAL, DARK GR
FASCIA	METAL CLAD, FLAT LOCK SEAM COLOR CHARCOAL, DARK GREY
SOFFIT	CHARCOAL, DARK GREY
SOFFIT (ENTRANCE)	WOOD - CEDAR
WINDOWS	ALUMINUM FRAME, COLOR: BLACK

- W1 HARDIE BOARD SIDING
- W2 GREY STUCCO



1 Elevation - Southeast
1/4" = 1'-0"

© 2015 Simple Concept Inc. | BONE Structure® est une marque déposée de Simple Concept Inc. et est utilisée sous licence exclusive par Simple Concept Inc. Tous droits réservés.
 © 2015 Simple Concept Inc. | BONE Structure® is a registered trademark of Simple Concept Inc. and is used under exclusive license by Simple Concept Inc. All rights reserved.

Simple Concept
 2812 JOSEPH-A. BOMBARDIER, LAVAL, QC, CA H7P 6E2
 T: 450.978.0802 FAX: 450.978.4917

THESE PLANS, PROVIDED BY BONE STRUCTURE, ARE FOR INFORMATION ONLY REGARDING THE CONSTRUCTION OF THE PROJECT BY AN AUTHORIZED DEALER. BONE STRUCTURE IS THE SUPPLIER OF A STRUCTURAL SYSTEM THAT INCLUDES THE ANCHORS REQUIRED FOR INDOOR AND OUTDOOR FINISH. OTHER BUILDING SYSTEMS ARE LISTED AND SHOWN FOR INFORMATION PURPOSES AND ARE THE RESPONSIBILITY OF THE MANUFACTURER.

DATE	REVISION	BY	CHK
2016/02/04	DESIGN REVIEW APPLICATION	PM	2
2016/02/02	DESIGN REVIEW APPLICATION	PM	1
DATE	REVISION	BY	CHK

PROJECT
LANG RESIDENCE
 15-646
 APN: 047-105-240, San Carlos Ave., El Granada, CA, 94019

DRAWING TITLE	DRAWN BY
Southeast elevation	CHECK BY
SCEAU	BONE Struc
DATE	2016/0
SCALE	As indic
REVISION	
PAGE	A.203



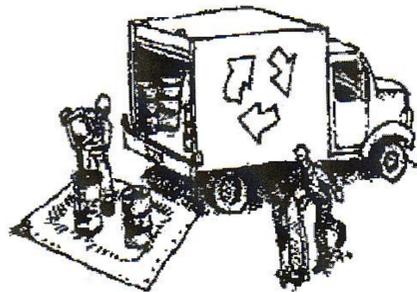
SAN MATEO COUNTYWIDE
**Water Pollution
Prevention Program**

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



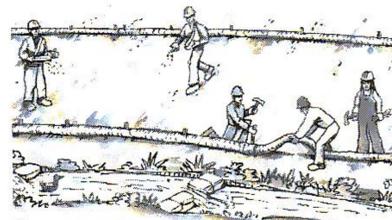
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

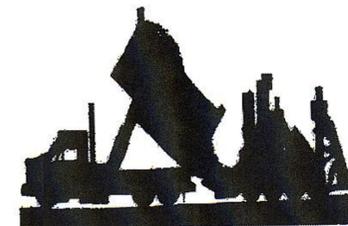


- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

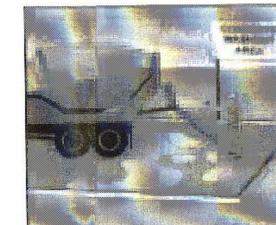


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



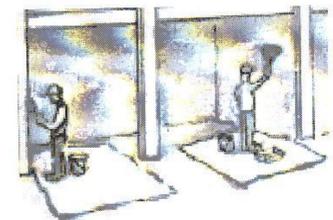
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

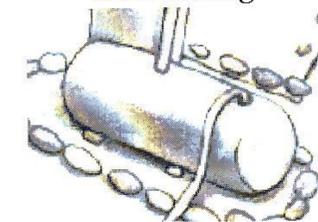
Painting & Paint Removal



Painting Cleanup and Removal

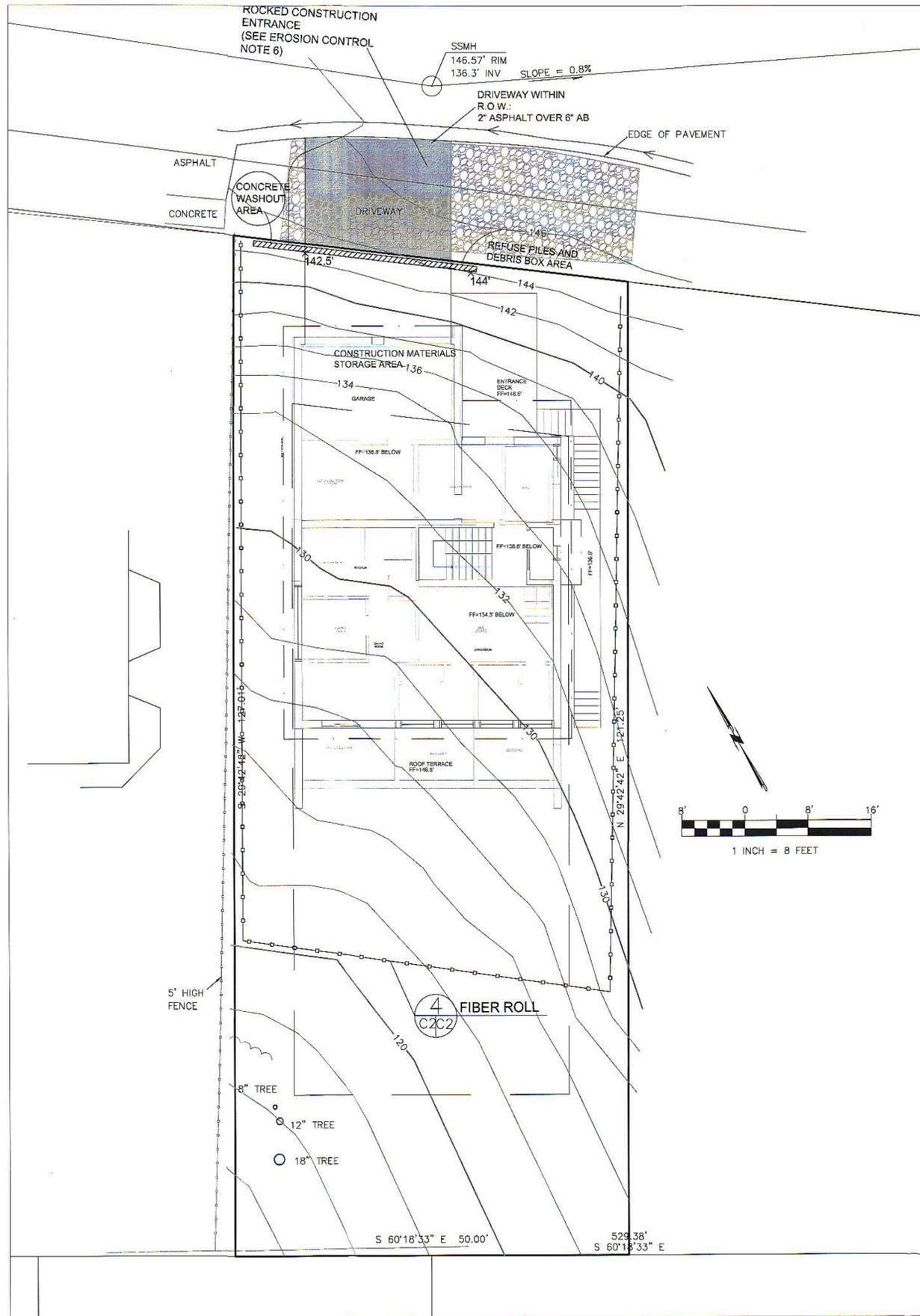
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinners or solvent in a proper container. Filter, reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a certified contractor.

Dewatering



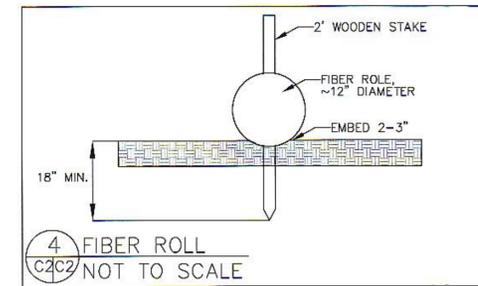
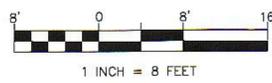
- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. You may possibly send dewatering discharge to a landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite areas from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water may be tested. Pumped groundwater may be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



GENERAL EROSION AND SEDIMENT CONTROL NOTES

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- Use of plastic sheeting between October 1st and April 30th is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.
- The tree protection shall be in place before any grading, excavating or grubbing is started.



EROSION CONTROL NOTES

- FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL 4.
1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
 2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
 3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
 4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
 5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH MULCH AND/OR LANDSCAPING.
 6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 50 FEET LONG (MIN) BY 15 FEET WIDE AND CONFORM TO THE FOLLOWING:
 - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE OVER GEO-TEXTILE FABRIC.
 - B. PAD SHALL BE NOT LESS THAN 1/2\"/>

EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: JUSTIN LANG
 TITLE/QUALIFICATION: OWNER
 PHONE: 650-846-3192
 PHONE:
 E-MAIL: J.LANG@WSGR.COM

• USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st AND APRIL 30th IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.

Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590
 FAX 728-3593

DATE: 02-07-16
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE:
 REV. DATE:
 REV. DATE:

EROSION AND SEDIMENT CONTROL PLAN
 LANG PROPERTY
 SAN CARLOS AVENUE
 EL GRANADA, CALIFORNIA
 APN: 047-105-240

SHEET
 C-2

LANDSCAPE DESIGN PACKAGE

SHEET	TITLE
N-00	INDEX PLAN
N-01	NOTES
N-02	NOTES
N-03	NOTES
L-01	LANDSCAPE PLAN
P-01	PLANTING PLAN

NOTE: REFER TO 15-646 LANG RESIDENCE DESIGN REVIEW APPLICATION SET BY BONE STRUCTURE FOR RESIDENCE PLANS

APN: 047-105-240, SAN CARLOS AVE., EL GRANADA, CA 94019
 ZONING R-1/S-17/DR/CD
 LOT COVERAGE: 1,893.44 SQ.FT. (30.49 %) PERMITTED: 35%



Contact Information:
 KELLY GREENWOOD
 10165 Pescadero Road
 La Honda, CA 94020
 p. 650.996.4612
 www.gda-llc.com

REVISIONS

INDEX SHEET
 xxx SAN CARLOS AVE. EL GRANADA, CA 94019

RECEIVED
 FEB 11 2016
 San Mateo County
 Planning Division

PLN 2016-00011

DATE	02/09/2016
SCALE	AS SHOWN
DRAWN BY	CH
DESIGNED BY	KG
CHECKED	KG
PROJECT NO.	
CADD FILE	
SHEET NO.	N-00

This is a conceptual guideline and planting plan only, not intended to be complete for construction. This rendering is based on a site plan provided by the architect. Owner/Contractor is responsible for verifying measurements, easements, property boundaries, and the location of underground utilities, as well as obtaining permits if required, before construction. Owner is responsible for compliance with all easements, setbacks, and permit inspection requirements. Greenwood Design Associates' total aggregate liability to you or any third party for any act or omission, including breach of contract or negligence not amounting to a willful or intentional wrong, is limited to the amount of compensation to be paid pursuant to this project. This amount shall include all liability for attorney's fees and expenses. No warranty or guarantee is expressed or implied that the design will be free of errors, including but not limited to non-toxicity, suitability for a particular purpose, health of plants, or the ultimate ability to construct the design.

LANDSCAPE INSTALLATION GUIDELINES

GREENWOOD DESIGN ASSOCIATES, LLC (GDA) RECOMMENDS USING BAY-FRIENDLY LANDSCAPE INSTALLATION AND MAINTENANCE PRACTICES TO MINIMIZE WASTE, PROTECT AIR AND WATER QUALITY, CONSERVE ENERGY AND WATER, AND PROTECT NATURAL ECOSYSTEMS (WWW.BAYFRIENDLY.ORG). TO THE EXTENT PRACTICAL, THE DESIGN EMPHASIZES LOCAL MATERIALS, LOCAL NATIVE PLANTS, AND LOCAL SUPPLIERS.

THE RECOMMENDED INSTALLATION PRACTICES AND MAINTENANCE GUIDELINES PROVIDED BELOW ARE INTENDED TO FACILITATE A CONVERSATION BETWEEN YOU AND YOUR CONTRACTOR ABOUT THE LEVEL OF QUALITY YOU EXPECT AND ANTICIPATE BEFORE THE PROJECT BEGINS. GDA RECOMMENDS THAT CLIENTS REQUEST 6-12 MONTHS OF PROFESSIONAL MAINTENANCE BY THE SAME CONTRACTOR INSTALLING THE GARDEN. THEREFORE, THE GUIDELINES BELOW INCLUDE A MINIMUM LEVEL OF RECOMMENDED MAINTENANCE PRACTICES TO PRESERVE YOUR LANDSCAPE INVESTMENT.

PLEASE CONTACT GREENWOOD DESIGN ASSOCIATES, LLC FOR APPROVAL OF ANY SUBSTITUTIONS, OR FOR ANY QUESTIONS ABOUT THE GUIDELINES AND RECOMMENDED BEST PRACTICES BELOW AT 1-888-862-5230

THE SEVEN BAY-FRIENDLY PRINCIPLES

LOCAL. THE PROJECT LANDSCAPE IS PART OF A LARGER NATURAL ECOSYSTEM OF THE SAN FRANCISCO BAY AREA. THE MATERIALS AND METHODS USED TO MAINTAIN THE PROJECT CAN SUPPORT THE HEALTH, DIVERSITY AND SUSTAINABILITY OF THE BAY.

LESS LANDFILL. REDUCING WASTE STARTS WITH NOT GENERATING PLANT DEBRIS IN THE FIRST PLACE BY FERTILIZING, IRRIGATING AND PRUNING JUDICIOUSLY, GRASSCYCLING, MULCHING AND COMPOSTING PLANT DEBRIS. USING RECYCLED CONTENT, SALVAGED, DURABLE OR LOCAL MATERIALS CONSERVES RESOURCES AND REDUCES THE AMOUNT OF ENERGY CONSUMED BY THE LANDSCAPE.

NURTURE SOIL. CREATE A HEALTHY SOIL THAT SUPPORTS A HEALTHY LANDSCAPE BY PROTECTING THE SOIL FROM COMPACTION AND EROSION, REPLENISHING ORGANIC MATTER AND MULCHING, USING SLOW-RELEASE AND ORGANIC FERTILIZERS AND MINIMIZING USE OF CHEMICALS THAT HARM BENEFICIAL SOIL ORGANISMS.

CONSERVE WATER. USE CALIFORNIA'S WATER SUPPLY EFFICIENTLY BY REDUCING IRRIGATION REQUIREMENTS, IRRIGATING ACCORDING TO PLANT NEED, MAXIMIZING IRRIGATION SYSTEM PERFORMANCE, INCREASING THE WATER HOLDING CAPACITY OF THE SOIL AND USING RECYCLED WATER.

CONSERVE ENERGY. CONVENTIONAL LANDSCAPES ARE FOSSIL FUEL CONSUMPTIVE. NATIONALLY IT IS ESTIMATED THAT LAWN MOWERS CONSUME 400 MILLION GALLONS OF GAS. LOOK FOR OPPORTUNITIES TO CONSERVE FUEL AND ENERGY BY CHOOSING AND MAINTAINING MATERIALS AND EQUIPMENT FOR FUEL CONSERVATION.

PROTECT WATER AND AIR QUALITY. REDUCE RUNOFF, REDUCE CONTAMINANTS IN RUNOFF THROUGH AN INTEGRATED PEST MANAGEMENT (IPM) PROGRAM, AND INCREASE THE SOIL'S ABILITY TO REMOVE POLLUTANTS FROM RUNOFF THROUGH STEPS SUCH AS MULCHING BARE SOIL. REDUCE AIR POLLUTION BY REDUCING FOSSIL FUEL CONSUMPTION, COMPOSTING PLANT DEBRIS AND PLANTING TREES.

PROVIDE WILDLIFE HABITAT. THE PROJECT MAY PROVIDE FOOD, WATER, SHELTER AND NESTING SITES FOR BIRDS, BUTTERFLIES, BENEFICIAL INSECTS AND ANIMALS THAT CONTRIBUTE TO THE ECOLOGICAL DIVERSITY OF THE BAY. METHODS TO PROTECT THEM INCLUDE MINIMIZING APPLICATION OF CHEMICALS BY IMPLEMENTING AN INTEGRATED PEST MANAGEMENT (IPM) PROGRAM, AND CONSERVING FLOWERS, BERRIES, FRUITS, SEED HEADS, LOW BRANCH COVER, AND NATURAL VEGETATION IN OPEN SPACE AREAS.

SCOPE OF WORK

THIS WORK SHALL INCLUDE ALL SUPERVISION, LABOR, MATERIALS, EQUIPMENT, TOOLS, SUPPLIES AND SERVICES TO INSTALL AND/OR MAINTAIN IN A SUPERIOR CONDITION ALL LANDSCAPE AREAS, IRRIGATION AND DRAINAGE SYSTEMS AND OTHER RELATED WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER, USING QUALITY EQUIPMENT, BAY-FRIENDLY METHODS AND MATERIALS.

- CONTRACTOR IS RESPONSIBLE FOR (A) HAVING THOROUGHLY INVESTIGATED AND CONSIDERED THE SCOPE OF SERVICES TO BE PERFORMED, (B) CAREFULLY CONSIDERING HOW THE SERVICES SHOULD BE PERFORMED, AND (C) FULLY UNDERSTANDING THE FACILITIES, DIFFICULTIES, AND RESTRICTIONS ATTENDING TO THE PERFORMANCE OF THE SERVICES REQUIRED. CONTRACTOR IS RESPONSIBLE TO INVESTIGATE THE AREA AND BE FULLY ACQUAINTED WITH THE CONDITIONS.
- SHOULD THE CONTRACTOR DISCOVER ANY LATENT OR UNFORESEEABLE CONDITIONS, WHICH WILL MATERIALLY AFFECT THE PERFORMANCE OF SERVICES, CONTRACTOR SHALL IMMEDIATELY INFORM THE CLIENT OF SUCH FACT AND SHALL NOT PROCEED EXCEPT AT CONTRACTOR'S RISK UNTIL WRITTEN INSTRUCTIONS ARE RECEIVED FROM THE CLIENT.
- INSTALLATION CONTRACTOR SHOULD GUARANTEE ALL PLANTS FOR A MINIMUM OF 30 DAYS FROM INSTALLATION. MAINTENANCE CONTRACTORS SHOULD GUARANTEE ALL NEW PLANTS UNDER THEIR CARE FOR THE FIRST YEAR FROM INSTALLATION.

SCOPE OF WORK DOES NOT INCLUDE:

- INSTALLATION OR REPLACEMENT OF PLANTS, EXCEPT FOR THOSE DAMAGED OR ALLOWED TO DECLINE OR DIE BY THE CONTRACTOR, OR WITHIN A GUARANTEE PERIOD SPECIFIED BY THE CONTRACTOR;
- REPAIR AND/OR MODIFICATION OF THE IRRIGATION SYSTEM, EXCEPT AS EXTRA WORK UNDER MAINTENANCE CONTRACT;
- FURNISHINGS OR FIXTURES (RETAIL OR TO THE TRADE) AS MAY BE SPECIFIED BY THE DESIGNER.

CONTRACTOR REQUIREMENTS

- CONTRACTOR MUST HAVE A VALID CALIFORNIA C-27 CONTRACTOR'S LICENSE AUTHORIZED BY THE STATE OF CALIFORNIA.
- CONTRACTOR SHALL MAINTAIN INSURANCE REQUIRED IN THE BID DOCUMENTS THROUGHOUT THE CONTRACT PERIOD.
- IF PROVIDING MAINTENANCE, CONTRACTOR MUST HAVE ASSIGNED TO THE PROJECT AT LEAST ONE EMPLOYEE POSSESSING A CALIFORNIA STATE CHEMICAL APPLICATOR'S LICENSE FOR THE CONTROL OF WEEDS, PLANT DISEASES AND OTHER PESTS.
- IF PROVIDING MAINTENANCE, CONTRACTOR MUST HAVE ASSIGNED TO THE PROJECT AT LEAST ONE EMPLOYEE WHO HAS SUCCESSFULLY COMPLETED THE POLLUTION PREVENTION TRAINING & CERTIFICATION PROGRAM FOR SURFACE CLEANERS ISSUED BY THE BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION (BASMAA).
- IT IS PREFERRED THAT THE CONTRACTOR HAVE ASSIGNED TO THE PROJECT AT LEAST ONE EMPLOYEE WHO IS A CERTIFIED IRRIGATION CONTRACTOR (IRRIGATION ASSOCIATION).
- IF PROVIDING TREE CARE, IT IS PREFERRED THAT THE CONTRACTOR HAVE ASSIGNED TO THE PROJECT AT LEAST ONE EMPLOYEE WHO IS A CERTIFIED ARBORIST OR CERTIFIED TREE WORKER (INTERNATIONAL SOCIETY OF ARBORICULTURE).
- IF PROVIDING MAINTENANCE, IS PREFERRED THAT THE CONTRACTOR HAVE ASSIGNED TO THE PROJECT AT LEAST ONE EMPLOYEE WHO HAS EXPERIENCE OR TRAINING IN INTEGRATED PEST MANAGEMENT (IPM) TECHNIQUES.
- IT IS PREFERRED THAT THE CONTRACTOR HAVE ASSIGNED TO THE PROJECT AT LEAST ONE EMPLOYEE WHO HAS EXPERIENCE OR TRAINING IN BAY-FRIENDLY LANDSCAPING PRACTICES.
- ALL LANDSCAPE-RELATED SUBCONTRACTORS ASSIGNED TO THE PROJECT SHOULD HAVE TRAINING IN BAY-FRIENDLY LANDSCAPING OR OTHER EXPERIENCE IN SUSTAINABLE LANDSCAPE PRACTICES.

ALL SERVICES RENDERED SHALL BE PROVIDED IN ACCORDANCE WITH ALL ORDINANCES, RESOLUTIONS, STATUTES, RULES, LAWS AND REGULATIONS OF THE CLIENT, AND ANY FEDERAL, STATE, OR LOCAL GOVERNMENTAL AGENCY HAVING JURISDICTION IN EFFECT AT THE TIME SERVICE IS PROVIDED.

CONTRACTOR MUST ADHERE TO THE LOCAL CITY OR WATER AGENCY'S LANDSCAPE WATER CONSERVATION ORDINANCES, INTEGRATED PEST MANAGEMENT AND PESTICIDE USE POLICIES, TREE PRESERVATION AND PROTECTION ORDINANCES, STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE SITE AND ANY STORMWATER MANAGEMENT AND EROSION CONTROL POLICIES AS THEY MAY BE IN EFFECT AT THE TIME OF THE CONTRACT.

PROJECT REQUIREMENTS

- CONTRACTOR IS TO PROVIDE CLIENT WITH A BRIEF WEEKLY WORK SCHEDULE DESCRIBING THE WORK TO BE PERFORMED IN THE PROJECT AREA VIA EMAIL.
- THE CONTRACTOR SHALL ASSIGN A QUALIFIED TRAINED SUPERVISOR TO OVERSEE WORK PERFORMED AT THE WORK SITE AND TO ACT AS THE CONTRACTOR'S LIAISON WITH THE CLIENT REPRESENTATIVE. THIS SUPERVISOR MUST INSPECT THE PROJECT DAILY (MONDAY THROUGH FRIDAY) EXCEPT HOLIDAYS AND PROVIDE DIRECTION TO THE CONTRACTOR'S WORKERS AND/OR SUBCONTRACTORS. THIS SUPERVISOR SHALL SPEAK, WRITE, READ AND UNDERSTAND ENGLISH AND BE CAPABLE OF WRITING SCHEDULES, MONTHLY REPORTS NOTING ANY DEFICIENCY THAT NEEDS CORRECTING AND MAJOR PROJECTS FOR THE COMING MONTH. THIS SUPERVISOR SHALL HAVE AT LEAST THREE (3) YEARS OF LANDSCAPE MAINTENANCE SUPERVISION EXPERIENCE.
- THE CONTRACTOR SHALL CONDUCT ALL OPERATIONS DURING THE HOURS OF 7:00 A.M. TO 5:00 P.M. MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CLIENT. CONTRACTOR MAY NOT WORK ON ANY FEDERAL, STATE, OR LOCAL HOLIDAYS.
- ANY NON-EMERGENCY WORK THAT MAY BE DEEMED HAZARDOUS OR DISRUPTIVE (I.E., CHEMICAL SPRAYING, TREE PRUNING, ETC.) SHALL BE SCHEDULED AT LEAST TWO (2) WEEKS IN ADVANCE WITH THE CLIENT'S REPRESENTATIVE. FOR EMERGENCY WORK, CONTRACTOR MUST OBTAIN WRITTEN APPROVAL FROM CLIENT'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
- CLIENT RESERVES THE RIGHT TO CHANGE SCHEDULES FOR SPECIAL EVENTS, CONFLICTS WITH ADJACENT PROPERTY OWNERS/TENANTS WITHIN FIVE (5) WORKING DAYS ADVANCE NOTICE.
- CONTRACTOR MUST PROTECT ALL EXISTING PLANT MATERIALS, SITE IMPROVEMENTS, STRUCTURES, FACILITIES, UTILITIES, AND NATURAL AREAS FROM DAMAGE, BOTH ABOVE AND BELOW GROUND. ANY DAMAGES SHALL BE REPORTED IMMEDIATELY TO THE CLIENT'S REPRESENTATIVE. ANY DAMAGES CAUSED BY CONTRACTOR SHALL BE CORRECTED AND/OR PAID FOR BY THE CONTRACTOR AT NO COST TO THE CLIENT.
- CONTRACTOR SHALL PROTECT PROPERTY FROM ACCIDENTAL CHEMICAL, FUEL, OIL OR OTHER CONTAMINANT SPILLS.
- CONTRACTOR SHALL NOT WASH OR BLOW SOIL, CHEMICALS, LITTER, MULCH, SOIL AMENDMENTS OR OTHER MATERIALS INTO STORM DRAINS.
- ALL CONTRACTOR VEHICLES ARE TO HAVE A READABLE SIGN WITH CONTRACTOR'S NAME OR LOGO AND TELEPHONE NUMBER.
- CONTRACTOR MUST AT ALL TIMES EXERCISE NECESSARY PRECAUTIONS TO PROVIDE FOR THE PROTECTION OF THE PUBLIC AND EMPLOYEES.

EXTRA WORK

- NEW AND UNFORESEEN WORK WILL BE CLASSIFIED AS EXTRA WORK WHEN DETERMINED BY THE CLIENT THAT SUCH WORK IS NOT COVERED BY THESE SPECIFICATIONS. UPON NOTIFICATION THAT EXTRA WORK WILL BE REQUIRED, THE CONTRACTOR SHALL SUBMIT AN ITEMIZED, WRITTEN CHANGE ORDER FOR SUCH WORK TO THE CLIENT. SHOULD THE PROPOSAL BE ACCEPTABLE TO THE CLIENT, THE CONTRACTOR SHALL BE ADVISED IN WRITING, AND UPON RECEIPT OF SUCH WRITTEN NOTIFICATION, SHALL BEGIN THE WORK WITHIN FIVE (5) WORKING DAYS OR AS AGREED TO BETWEEN THE CONTRACTOR AND THE CLIENT.
- THE CONTRACTOR SHALL DO SUCH EXTRA WORK IN ACCORDANCE WITH THE AGREEMENT FOR EXTRA WORK AND WITH THE PROVISIONS OF THESE SPECIFICATIONS AND SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT. PAYMENT FOR EXTRA WORK PERFORMED SHALL BE AS AGREED TO BY THE CONTRACTOR AND THE CLIENT IN ADVANCE. COMPENSATION FOR MATERIAL BILLED UNDER A TIME & MATERIALS AGREEMENT WILL NOT EXCEED CONTRACTOR COST PLUS 15%. CONTRACTOR MUST PROVIDE INVOICE COPIES TO BE COMPENSATED FOR MATERIAL.

EMERGENCY WORK

- CONTRACTOR SHALL SUPPLY OFFICE, PAGER AND HOME PHONE NUMBERS OF EMPLOYEE RESPONSIBLE FOR EMERGENCIES. SAID EMPLOYEE SHALL BE FLUENT IN ENGLISH.
- CLIENT WILL PROVIDE CONTRACTOR WITH EMERGENCY NUMBERS AND/OR CONTACT INFORMATION IF THE CLIENT WILL NOT BE AT HOME FOR ANY PORTION OF THE WORK.

LANDSCAPE MAINTENANCE STANDARDS AND REQUIREMENTS

THE INSTALLATION CONTRACTOR SHALL REVIEW AND ADHERE TO THESE GUIDELINES AS THEY APPLY TO INSTALLATION AND CONSTRUCTION (SEE ESPECIALLY "SOIL MANAGEMENT" FOR SOIL COMPACTION AND EROSION CONTROL DURING CONSTRUCTION.) THE MAINTENANCE CONTRACTOR SHALL SUBMIT A WRITTEN REPORT EACH MONTH STATING ALL CONTRACT WORK COMPLETED. THE REPORT SHALL SHOW THE WORK COMPLETED DURING EACH WEEK. CONTRACT WORK WAS ACCOMPLISHED, AND SHALL BE SUBMITTED WITH AND COVER THE SAME WORK AS THE CONTRACTOR'S BILLING STATEMENT FOR THE PREVIOUS MONTH'S WORK.

- THE REPORT SHALL INCLUDE DOCUMENTATION OF STORMWATER AND IRRIGATION INSPECTIONS, IPM MONITORING, SOIL AND PEST MANAGEMENT TREATMENTS AND OTHER CHEMICAL APPLICATIONS. CONTRACTOR SHALL MAINTAIN AND SUBMIT MONTHLY DOCUMENTATION OF IRRIGATION CHECKS AND AS-BUILT PLANS OF ANY CHANGES OR ADJUSTMENTS TO THE SYSTEM.
- UNUSUAL HORTICULTURAL PROBLEMS SUCH AS PESTS, DISEASE AND DAMAGES THAT ARE BEYOND THE SCOPE OF THE CONTRACTOR'S RESPONSIBILITY SHALL BE BROUGHT TO THE ATTENTION OF THE CLIENT IMMEDIATELY. LIKEWISE PLANTS, IRRIGATION SYSTEMS, ETC., DAMAGED BY TRAFFIC ACCIDENTS OR VANDALISM, SHALL BE REPORTED IMMEDIATELY TO THE CLIENT.

THE CLIENT, OR DESIGNATED REPRESENTATIVE, SHALL MAKE PERIODIC INSPECTIONS TO INSURE THAT COMPLETE AND CONTINUOUS MAINTENANCE IS FULFILLED. IN ADDITION, THE CLIENT MAY CONSULT WITH GDA OR OTHER HORTICULTURAL SPECIALIST TO INSPECT PLANTINGS AND MAKE RECOMMENDATIONS FOR IMPROVEMENTS IN THE MAINTENANCE PROGRAM.

CONTRACTOR SHALL ADHERE TO APPLICABLE PROFESSIONAL STANDARDS AS DEFINED BY A PROFESSIONAL ORGANIZATION INCLUDING:

- AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS - ANSI A300, PARTS 1 AND 2
- INTERNATIONAL SOCIETY OF ARBORICULTURE BMP FOR TREE AND SHRUB FERTILIZATION, AND BMP FOR TREE PRUNING.
- IRRIGATION ASSOCIATION BMPs
- BAY-FRIENDLY LANDSCAPE GUIDELINES

THE CONTRACTOR WILL IMPLEMENT STRATEGIES IN WORK OPERATIONS TO REDUCE FOSSIL FUEL CONSUMPTION AND EMISSIONS, SUCH AS:

- USE HAND-POWERED EQUIPMENT WHEN POSSIBLE.
- MINIMIZE USE OF GAS-POWERED BLOWERS, ESPECIALLY ON PLANTING BEDS.
- SELECT SMALLEST, MOST FUEL EFFICIENT EQUIPMENT TO ACCOMPLISH TASK.
- CONSIDER VEHICLES THAT OPERATE ON NATURAL GAS OR BIODIESEL.
- MAINTAIN EQUIPMENT PROPERLY AND KEEP IT WELL TUNED.
- EMPHASIZE EMPLOYEE CARPOOLING TO PROJECT.

NOTE: BAY-FRIENDLY LANDSCAPING EMPHASIZES INTEGRATED PEST MANAGEMENT (IPM) PRACTICES TO CONTROL PESTS AND DISEASES IN THE LANDSCAPE. IPM USES CULTURAL, MECHANICAL, PHYSICAL, AND BIOLOGICAL CONTROL METHODS BEFORE USING PESTICIDES. CHEMICAL CONTROLS ARE APPLIED ONLY WHEN MONITORING INDICATES THAT PREVENTATIVE AND NON-CHEMICAL METHODS ARE NOT KEEPING PESTS BELOW ACCEPTABLE LEVELS. WHEN PESTICIDES ARE REQUIRED, THE LEAST TOXIC AND THE LEAST PERSISTENT PESTICIDE THAT WILL PROVIDE ADEQUATE PEST CONTROL IS APPLIED.

TIDINESS

- MAINTENANCE CONTRACTOR SHALL KEEP ALL LANDSCAPED AREAS, WALKWAYS, BUILDING ENTRIES AND EXITS FREE FROM TRASH AND DEBRIS. LANDSCAPED AREAS SHOULD ALWAYS BE CLEANED WITH RAKES OR BROOMS, NOT BLOWERS, WHICH WILL ERODE TOPSOIL.
- MAINTENANCE CONTRACTOR SHALL KEEP ALL HARDSCAPE AREAS, WALKWAYS, BUILDING ENTRIES AND EXITS FREE FROM TRASH AND DEBRIS.



GREENWOOD DESIGN ASSOCIATES LLC

© Copyright 2016

Contact information:

KELLY GREENWOOD
10165 Pescadero Road
La Honda, CA 94020
p. 650.996.4612
www.gda-llc.com

REVISIONS

NO.	DATE	DESCRIPTION

LANDSCAPE GENERAL NOTES

XXX SAN CARLOS AVE. EL GRANADA, CA 94019

DATE 02/09/2016

SCALE AS SHOWN

DRAWN BY CH

DESIGNED BY KG

CHECKED KG

PROJECT NO.

CADD FILE

SHEET NO.

N-01



Contact information:
 KELLY GREENWOOD
 10165 Pescadero Road
 La Honda, CA 94020
 p. 650.996.4612
 www.gda-llc.com

REVISIONS

LANDSCAPE GENERAL NOTES
 xxx SAN CARLOS AVE EL GRANADA, CA 94019

WATER MANAGEMENT

- LANDSCAPES SHALL BE IRRIGATED TO MAINTAIN PLANT APPEARANCE AND HEALTH, AND MANAGED TO CONSERVE WATER AND AVOID OVERSPRAY AND WATER DAMAGE TO CLIENT'S HARDSCAPE AND PROPERTY. WHENEVER POSSIBLE, LANDSCAPE IRRIGATION SHALL BE SCHEDULED BETWEEN 2:00 A.M. AND 10:00 A.M. TO AVOID IRRIGATING DURING TIMES OF HIGH WIND OR HIGH TEMPERATURE.
- CONTRACTOR SHALL CHARACTERIZE THE PROJECT'S MICROCLIMATE(S) AND RANGE IN EXPOSURES AS A PRECURSOR FOR DEVELOPING THE WATER MANAGEMENT PROGRAM. CONTRACTOR SHALL IDENTIFY ANY EXISTING PLANT SPECIES PRESENT IN THE PROJECT LANDSCAPE IN ADDITION TO THOSE LISTED IN THE PLANT SCHEDULE.
- CONTRACTOR WILL DETERMINE PLANT WATER USE CLASSIFICATION FOR EACH PLANT SPECIES PRESENT, IF NOT LISTED, AS A PRECURSOR FOR DEVELOPING THE WATER MANAGEMENT PROGRAM. PLANT WATER USE CLASSIFICATIONS MAY BE FOUND IN "A GUIDE TO ESTIMATING IRRIGATION WATER NEEDS OF LANDSCAPE PLANTINGS IN CALIFORNIA" (UNIV. OF CALIF. COOPERATIVE EXTENSION, 2000).
- CONTRACTOR SHALL ASSESS TOPOGRAPHY WITHIN THE PROJECT AND EVALUATE POTENTIAL FOR RUNOFF. THIS INFORMATION SHALL BE CONSIDERED WHEN SCHEDULING IRRIGATION AND DETERMINING NEED FOR EROSION CONTROL MEASURES.
- IRRIGATION APPLICATION RATES AND DISTRIBUTION UNIFORMITY ARE BEST ASSESSED THROUGH AN IRRIGATION AUDIT. CONTRACTOR IS ENCOURAGED TO PERFORM AN IRRIGATION AUDIT BI-ANNUALLY (REFER TO WWW.ITRC.ORG) OR CLIENTS MAINTAINING FOR THEMSELVES MAY SCHEDULE AN AUDIT WITH THE WATER DISTRICT THAT IS THE SERVICE PROVIDER TO THE PROPERTY.
- IRRIGATION INTERVALS AND FREQUENCY SHALL BE SUITABLE FOR WEATHER CONDITIONS, SOIL INFILTRATION RATES, AND PLANT SPECIES' ROOTING DEPTH AND WATER REQUIREMENTS WITHIN EACH HYDROZONE. CALCULATION METHODS ARE DESCRIBED IN A *GUIDE TO ESTIMATING IRRIGATION WATER NEEDS OF LANDSCAPE PLANTINGS IN CALIFORNIA*, AVAILABLE FROM THE DEPT. OF WATER RESOURCES, SACRAMENTO, CA.
- IRRIGATION FREQUENCY SHALL BE BASED ON ET (EVAPOTRANSPIRATION) DATA (AVAILABLE THROUGH CIMIS). IRRIGATION SHALL BE APPLIED AT APPROXIMATELY 60% ALLOWABLE DEPLETION (AD) FOR TURF AND ANNUALS, 70% FOR NON-DROUGHT TOLERANT AND 90% FOR DROUGHT TOLERANT PLANTINGS.
- IRRIGATION DURATION WITHIN EACH HYDROZONE SHALL BE BASED ON THE SOIL INFILTRATION RATE, SPECIES WATER REQUIREMENT AND ROOTING DEPTH WITHIN THE HYDROZONE, AND THE APPLICATION RATE AND DISTRIBUTION UNIFORMITY OF THE IRRIGATION SYSTEM WITHIN THAT ZONE. ENOUGH WATER SHALL BE APPLIED AT EACH IRRIGATION CYCLE TO WET THROUGH THE DEPTH OF ROOT ZONE. WHERE RUNOFF OCCURS, THE APPLICATION TIME SHALL BE DIVIDED INTO SHORTER TIME INTERVALS AND REPEATED AS NEEDED.
- IRRIGATION FREQUENCY FOR EACH HYDROZONE SHALL BE ADJUSTED A MINIMUM OF EVERY FOUR WEEKS TO REFLECT ET EXPECTED IN THE NEXT MONTH.
- FOR SITES WITH CONTROLLERS THAT MONITOR ET AND ADJUST SCHEDULES AUTOMATICALLY, THE CONTRACTOR SHALL PROGRAM THE CONTROLLER ACCORDING TO MANUFACTURER SPECIFICATIONS, AND MONITOR TO ENSURE THAT FREQUENCY IS APPROPRIATE.
- CONTRACTOR AND/OR CLIENT SHALL MONITOR AND EVALUATE SOIL MOISTURE WITHIN PLANT ROOT ZONES USING A SOIL PROBE OR SHOVEL AND ADJUST IRRIGATION SCHEDULES ACCORDINGLY.
- CONTRACTOR SHALL ROUTINELY CHECK TO MAKE SURE PLANTS HAVE ADEQUATE NUMBERS OF DRIP EMITTERS FOR THEIR SIZE.
- CONTRACTOR SHALL DETERMINE IRRIGATION RUN TIME DEMAND MONTHLY BY RECORDING WATER METER READING BEFORE AND AFTER IRRIGATION (IF SITE HAS A SEPARATE IRRIGATION METER). THIS DATA SHOULD BE RECONCILED WITH RUN TIMES AND FLOW RATES TO DETERMINE IF THERE IS UNUSUAL CONSUMPTION WHICH MAY INDICATE STUCK VALVES OR LEAKS. OR, THE CONTRACTOR MAY INSTALL FLOW MONITORS TO ALERT MAINTENANCE CREWS OF LEAKS.
- CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM FOR OPTIMUM PERFORMANCE AS PER MANUFACTURER'S SPECIFICATIONS, BY INSPECTING THE ENTIRE SYSTEM ON AN ONGOING BASIS. THIS INCLUDES CLEANING AND ADJUSTING ALL SPRINKLER AND BUBBLER HEADS, DRIP EMITTERS AND VALVES FOR PROPER COVERAGE.
- ALL MALFUNCTIONING EQUIPMENT SHALL BE REPAIRED PRIOR TO THE NEXT SCHEDULED IRRIGATION.
- ALL IRRIGATION REPLACEMENT PARTS SHALL BE OF THE SAME MANUFACTURER, TYPE, AND APPLICATION RATES AS EXISTING, OR APPROVED EQUALS OR UPGRADES.
- IRRIGATION SYSTEM PRESSURE SHALL BE CHECKED AND ADJUSTED AT LEAST MONTHLY DURING SEASON OF OPERATION, AND SPRINKLER HEADS MODIFIED TO AVOID OVERSPRAY.
- TWICE A YEAR, AT A MINIMUM, THE CONTRACTOR SHALL ENSURE ALL FLUSH VALVE/CAP LOCATIONS ARE VISIBLE, ENSURE VALVE BOXES ARE VISIBLE AND CAN BE OPENED, TEST BACKFLOW PREVENTERS, FLUSH LATERALS, INSPECT VALVES, FILTERS, AND PRESSURE REGULATORS FOR DAMAGE OR LEAKS, CHECK WIRE SPLICES, CLEAN VALVE BOXES OF DIRT AND DEBRIS, AND FLUSH FILTERS.

SOIL MANAGEMENT

- A HEALTHY, BIOLOGICALLY DIVERSE SOIL IS REQUIRED TO SUSTAIN A HEALTHY LANDSCAPE. A BASIC CONCEPT OF BAY-FRIENDLY LANDSCAPING IS TO CULTIVATE A FUNCTIONAL, LIVING SOIL FOODWEB WHICH SHALL THEN PROVIDE NUTRIENT ELEMENTS AS NEEDED TO SUSTAIN HEALTHY AND ATTRACTIVE PLANTS WHILE AVOIDING EXCESSIVE GROWTH THAT MIGHT ATTRACT PESTS AND/ OR NEED TO BE REMOVED THROUGH PRUNING, EDGING OR MOWING. LANDSCAPE MAINTENANCE ACTIVITIES SHALL BE IMPLEMENTED TO NURTURE BIOLOGICAL ACTIVITY, PROVIDE ORGANIC MATERIAL, AND PROTECT SOIL FROM DAMAGE. BAY AND RIPARIAN WATER QUALITY AND SOIL AND AQUATIC HABITAT SHALL BE PROTECTED BY CONTROLLING SOIL EROSION.

CONTRACTOR SHALL PRESERVE AND PROTECT CLIENT'S SOIL FROM COMPACTION BY:

- CULTIVATING SOIL WHEN IT IS MODERATELY MOIST; VERY WET AND VERY DRY SOILS SHALL NOT BE CULTIVATED.
- SCHEDULING OPERATIONS THAT REQUIRE DRIVING EQUIPMENT OVER THE SOIL (E.G. MOWING TURF) WHEN THE SOIL IS DRY.
- CONFINING TRAFFIC TO PAVED AREAS. WHEN TEMPORARY ACCESS IS NEEDED OVER NON-PAVED AREAS, DISTRIBUTE THE LOAD OVER THE SOIL WITH 6" THICK COARSE ORGANIC MULCH OR REUSABLE PLANKS.

CONTRACTOR SHALL PROTECT CLIENT'S SOIL FROM EROSION BY:

- MAINTAINING VEGETATIVE COVER OVER THE SOIL TO THE EXTENT POSSIBLE.
- PLACING COMPOST BERMS, BLANKET, SOCKS OR TUBES ALONG SLOPES TO SLOW WATER.
- MAINTAINING A MINIMUM OF 3" MULCH COVER OVER BARE SOIL.
- NEVER USE BLOWERS IN PLANTING BEDS OR ON TURF.
- USING COARSE MULCH ON SLOPES TO AVOID WASHING OF MULCH INTO STORMS DRAINS.

CREATE LEAF REPOSITORIES IN PLANTING BEDS AS APPROPRIATE.

SOIL AND PLANT TISSUE ANALYSIS

- WHERE PLANT MICRONUTRIENT DEFICIENCIES ARE SUSPECTED, PLANT TISSUE ANALYSES ARE RECOMMENDED TO DETERMINE NEED FOR FERTILIZER APPLICATION.
- BEFORE APPLYING ANY AMENDMENTS OTHER THAN COMPOST, CONTRACTOR SHALL SUBMIT SOIL SAMPLES FOR TESTING TO AN ACCREDITED LAB FOR ANALYSIS, SUCH AS SOIL AND PLANT LABORATORY (WWW.SOILANDPLANTLABORATORY.COM). THE TYPES AND QUANTITIES OF FERTILIZER AND/OR SOIL AMENDMENTS TO BE APPLIED SHALL BE DETERMINED FROM THE RESULTS OF THE SOIL ANALYSIS AND SHALL BE BASED ON AN 'ORGANIC' APPROACH TO SOIL MANAGEMENT.

SOIL AMENDMENTS

GDA DOES NOT RECOMMEND THE USE OF ADDITIONAL FERTILIZERS WITH MOST OF OUR DESIGNS. WE RECOMMEND THE PERIODIC APPLICATION OF HIGH-QUALITY ORGANIC COMPOST AND FREQUENT, HEAVY MULCHING. 3-4" MINIMUM DEPTH OF MULCH IN EVERY GARDEN. OUR HEAVY CLAY SOILS ARE GENERALLY VERY HIGH IN NUTRIENTS, BUT VERY LOW IN OXYGEN. REGULAR APPLICATIONS OF ORGANIC MATERIAL THAT WILL BREAK DOWN RAPIDLY WILL ALLOW YOUR PLANTS TO ACCESS THE NUTRIENTS THAT ARE ALREADY THERE.

- FERTILIZERS OF ANY KIND CAN SHORTEN THE LIFESPAN OF MANY DROUGHT-TOLERANT AND NATIVE CALIFORNIA PLANTS, AND SHOULD BE APPLIED ON A PRESCRIPTION BASIS ONLY. APPLICATION FREQUENCY SHALL BE DETERMINED BY PLANT NEED AND ASSESSED THROUGH SOIL AND/OR TISSUE ANALYSES.
- GDA RECOMMENDS DIESTEL COMPOST, AVAILABLE FROM LYNGSO IN REDWOOD CITY. DIESTEL COMPOST IS ESPECIALLY HIGH-QUALITY COMPOST, AND ONLY A "SHOVELFUL PER HOLE" IS REQUIRED TO STIMULATE BEAUTIFUL SOIL MICROORGANISMS. IT DOES NOT NEED TO BE APPLIED ACROSS THE ENTIRE PLANTING AREA AND TILLED IN, IT SHOULD BE MIXED DIRECTLY WITH THE BACKFILL SOIL FOR EACH HOLE, LEAVING THE EXISTING SOIL AROUND IT UNDISTURBED (NOT TILLING THE SOIL ALSO KEEPS WEEDS DOWN.)
- IF USING STANDARD MUNICIPAL COMPOST, INCORPORATE 2-4" OF COMPOST INTO THE TOP 6-12" OF SOIL IN ALL PLANTING AREAS.
- INCORPORATE 1-2" (3 1/3 - 6 2/3 CUBIC YARDS) COMPOST INTO THE TOP 5-7" OF SOIL IN ALL SOD AREAS.
- COMPOST SHALL BE A WELL DECOMPOSED, STABLE, WEED FREE ORGANIC MATTER SOURCE. THE PRODUCT SHALL BE CERTIFIED THROUGH THE US COMPOSTING COUNCIL'S (USCC) SEAL OF TESTING ASSURANCE PROGRAM (STA) PROGRAM (A COMPOST TESTING AND INFORMATION DISCLOSURE PROGRAM). IT SHALL BE DERIVED FROM AGRICULTURAL AND/OR FOOD WASTE AND/OR YARD TRIMMINGS. THE PRODUCT SHALL CONTAIN NO SUBSTANCES TOXIC TO PLANTS, WILL POSSESS NO OBJECTIONABLE ODORS AND SHALL NOT RESEMBLE THE FEEDSTOCK (THE ORIGINAL MATERIALS FROM WHICH IT WAS DERIVED).

HOW DO I KNOW IF THE COMPOST IS GOOD?

- COMPOST EXHIBITING A SOUR OR PUTRID SMELL, CONTAINING RECOGNIZABLE GRASS OR LEAVES, OR HEAT (120F) UPON DELIVERY OR REWETTING SHALL NOT BE ACCEPTED.
- BEFORE DELIVERY OF THE COMPOST, THE SUPPLIER WILL SUBMIT PROOF OF STA CERTIFICATION AND A COPY OF LAB ANALYSIS PERFORMED BY A LABORATORY THAT IS ENROLLED IN THE US COMPOSTING COUNCIL'S CAP AND USING THE APPROVED TEST METHODS FOR THE EVALUATION OF COMPOSTING AND COMPOST (TMECC).
 - PARTICLE SIZE: 95% PASSING A 1/2" SCREEN.
 - BULK DENSITY: SHALL BE BETWEEN 500 AND 1100 DRY LBS/CUBIC YARD
 - MOISTURE CONTENT SHALL BE BETWEEN 35% - 55% OF DRY SOLIDS.
 - INERTS: COMPOST SHALL BE RELATIVELY FREE OF INERT INGREDIENTS, INCLUDING GLASS, PLASTIC AND PAPER.
 - < 0.1 % BY WEIGHT OR VOLUME.
 - WEED SEED/PATHOGEN DESTRUCTION: PROVIDE PROOF OF PROCESS TO FURTHER REDUCE PATHOGENS (PFRP). FOR EXAMPLE, TURNED WINDROWS MUST REACH MIN. 55C FOR 15 DAYS WITH AT LEAST 5 TURNINGS DURING THAT PERIOD. SELECT PATHOGENS: SALMONELLA <3 MPN/4GRAMS OF TS, OR COLIFORM BACTERIA <10000 MPN/GRAM.
 - TRACE CONTAMINANTS METALS (LEAD, MERCURY, ETC.) PRODUCT MUST MEET US EPA, 40 CFR

MULCH, MULCH, MULCH!

- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3" OF COARSE ORGANIC MULCH AT ALL TIMES OVER SOIL SURFACE THAT IS NOT COVERED BY VEGETATION. MULCH SHALL BE APPLIED SO THAT IT IS BELOW GRADE (CURB, EDGING, ETC.) BY HALF AN INCH. SOME ADDITIONAL GRADING PREPARATION AND GRADING OF AREAS ADJACENT TO SIDEWALKS OR EDGING, ETC. MAY BE REQUIRED TO KEEP THE FINISH GRADE OF THE MULCH AT AN APPROPRIATE LEVEL. MULCH MATERIALS SHALL BE CHIPPED OR SHREDDED GREEN WASTE, WOOD CHIPS FROM PRUNING OPERATIONS, OR CHIPPED LANDSCAPE PRUNINGS, WHEN AVAILABLE, USE MATERIALS GENERATED ON-SITE.
 - USE THE MULCH SPECIFIED IN THE MATERIALS SCHEDULE, OR CONTACT GDA FOR APPROVAL OF A SUBSTITUTION. SOME CALIFORNIA NATIVES ARE QUITE PICKY ABOUT THE TYPE OF MULCH THEY LIKE.
 - TO CONSERVE NUTRIENTS ON-SITE AND PROTECT THE SOIL SURFACE, CONTRACTOR SHALL RETAIN NATURAL LEAF DROP UNDER TREES OR IN SHRUB BEDS. SELECT ONLY TREE AND SHRUB BEDS THAT WILL NOT ALLOW LEAF LITTER OR MULCH TO WASH OUT INTO STORM DRAINS. WHERE LEAF LITTER DETRACTS FROM LANDSCAPE APPEARANCE DUE TO LARGE LEAF SIZE, IT IS PREFERABLE THAT LEAVES BE CHOPPED AND RETURNED TO LANDSCAPE BEDS. REMOVE DISEASED LEAVES THAT WOULD PROVIDE INOCULUMS FOR PLANT INFECTION.
 - IN PARTICULAR, CONTRACTOR SHALL TAKE CARE TO MAINTAIN NATURAL LEAF DROP UNDER NATIVE OAKS.
 - CONTRACTOR IS ENCOURAGED TO CHIP ALL VEGETATIVE MATERIALS AND WOOD AND USE ON SITE AS MULCH.
 - CONTRACTOR SHALL PRACTICE GRASSCYCLING (DISCUSSED FURTHER IN SOD CARE)
- WHERE APPROPRIATE SPACE IS AVAILABLE, CLIENT IS ENCOURAGED TO COMPOST SITE-GENERATED GREEN WASTE AND REUSE ON SITE

WEED MANAGEMENT

CONTRACTOR WILL IDENTIFY KEY WEEDS PRESENT AND DESIGN WEED MANAGE PROGRAM TO TARGET THOSE SPECIES.

- CULTURAL/MECHANICAL/PHYSICAL METHODS WILL BE USED AS THE FIRST CHOICE IN WEED MANAGEMENT.
- MONITOR PLANTING AREAS FREQUENTLY TO IDENTIFY AND ERADICATE WEEDS EARLY IN THE GROWTH STAGE PRIOR TO THEIR SETTING SEED.
- CUT OR PULL WEEDS USING HAND OPERATED EQUIPMENT WHERE POSSIBLE.
- MULCHES SHALL BE MAINTAINED AT ALL TIMES OVER SOIL SURFACE THAT IS NOT COVERED BY VEGETATION. SHEET MULCHING, A LAYERED SYSTEM OF NON-PLASTIC WEED BARRIER OVERLAIN BY MULCH, SHALL BE EMPLOYED WHERE POSSIBLE.
- PROPANE-FUELED FLAMERS MAY BE USED IN WINTER AND SPRING WITH REQUIRED PERMITS AND APPROVAL BY THE FIRE MARSHALL TO KILL EARLY-SEASON, NON-GRASS WEEDS BY HEATING THE CELLS UNTIL THEY BURST. THE WEED QUICKLY WILTS AND DIES.

LEAST TOXIC HERBICIDES MAY BE EMPLOYED BY CONTRACTOR AS A LAST RESORT. EXAMPLES ARE:

- FATTY ACID POTASSIUM SALTS (HERBICIDAL SOAPS E.G. SAFER'S SUPERFAST WEED AND GRASS KILLER® DR. BRONNER'S PEPPERMINT ANTI-BACTERIAL SOAP) I
- ACETIC AND CITRIC ACIDS (E.G. NATURE'S GLORY WEED AND GRASS KILLER RTU®)
- CLOVE, CITRUS, MINT AND THYME OIL (E.G. MATRAN II®, XPRESS®)
- CORN GLUTEN

DO NOT USE THE FOLLOWING GROUNDWATER CONTAMINANTS (TRADE NAMES IN PARENTHESES): ATRAZINE (AATREX), SIMAZINE (PRINCEP), BROMACIL (HYVAR, KROVAR), PROMETON (PRAMITOL), BENTAZON (BASAGRAN), NORFLURAZON (SOLICAM, PREDICT, ZORIAL). DO NOT USE THE FOLLOWING COMPOST CONTAMINANTS: PICLORAM, CLOPYRALID.

RODENTS, GOPHERS AND DEER

- MECHANICAL/PHYSICAL/CULTURAL METHODS SHALL BE IMPLEMENTED AS A FIRST COURSE OF ACTION. PREFERRED TREATMENTS INCLUDE:
 - EXCLUSION - PROTECT PLANTS FROM DAMAGE BY GRAZING ANIMALS WITH FENCES OR CAGES.
 - HABITAT MODIFICATION - REDUCE COVER AT THE PERIPHERY OF THE PROJECT AS NEEDED TO SOLVE PROBLEM.
 - APPLICATION OF REPELLENTS THAT ARE SUITABLE FOR USE IN PUBLIC AREAS.
 - TRAPS MAY BE USED WHERE MECHANICAL/PHYSICAL/CULTURAL METHODS HAVE BEEN INSUFFICIENT TO CONTROL MOLES, VOLE, GOPHERS, RATS AND MICE.
 - OWL BOXES

INTEGRATED PEST MANAGEMENT (IPM)

CONTRACTOR SHALL ASSUME PESTICIDES ARE POTENTIALLY HAZARDOUS TO HUMAN AND ENVIRONMENTAL HEALTH. PREFERENCE SHALL BE GIVEN TO REASONABLY AVAILABLE NON-PESTICIDE ALTERNATIVES WHEN CONSIDERING THE USE OF PESTICIDES ON CLIENT PROPERTY. BIOLOGICAL CONTROLS ARE PESTICIDES OF NATURAL ORIGIN THAT HAVE LIMITED OR NO ADVERSE EFFECTS ON THE ENVIRONMENT OR BENEFICIAL ORGANISMS. DETERMINING THE EFFECTIVE BIOLOGICAL CONTROL AND PROPER TIMING OF APPLICATION ARE CRITICAL TO SUCCESS IN PEST CONTROL.

- THE CONTRACTOR SHALL CONSIDER THE FOLLOWING BIOLOGICAL CONTROL METHODS WHEN CULTURAL/MECHANICAL/PHYSICAL METHODS ARE NOT ADEQUATE TO LOWER PEST POPULATIONS TO THE TARGET LEVEL.
 - BACILLUS THURINGIENSIS (BT)
 - PARASITIC NEMATODES
 - PHEROMONE TRAPS
 - BENEFICIAL INSECT RELEASE AND CONSERVATION
- THE TERM PESTICIDE APPLIES TO INSECTICIDES, FUNGICIDES AND OTHER SUBSTANCES USED TO CONTROL PESTS. ANTIMICROBIAL AGENTS ARE NOT INCLUDED IN THIS DEFINITION OF PESTICIDES.
- LEAST TOXIC PESTICIDES: WHEN CULTURAL, MECHANICAL, PHYSICAL AND BIOLOGICAL CONTROLS HAVE PROVIDED INADEQUATE PEST CONTROL, THE CONTRACTOR MAY SELECT AND APPLY AN APPROPRIATE LEAST-TOXIC PESTICIDE AS A LAST RESORT. LEAST-TOXIC PESTICIDES HAVE A HIGH LD-50, LOW RESIDUAL, AND NARROW RANGE OF TOXICITY. APPLICATION MUST BE TIMED TO THE APPROPRIATE LIFE STAGE OF THE PEST. EXAMPLES INCLUDE INSECTICIDAL SOAPS, HORTICULTURAL OILS, HERBICIDAL SOAPS, NEEEM, PYRIPROXYFEN INSECT GROWTH REGULATOR (E.G. DISTANCE IGR) DO NOT USE ORGANOPHOSPHATE-CONTAINING PESTICIDES, WHICH HAVE BEEN FOUND TO PERSIST IN THE ENVIRONMENT AND CAUSE WATER QUALITY IMPAIRMENT. EXAMPLES INCLUDE DIAZINON, TRADE NAMES SPECTRACIDE®, KNOX-OUT® AND CHLORPYRIFOS, TRADE NAMES DURSBAN®, PAGEANT® MALATHION AND CARBARYL (TRADE NAME SEVIN®) WATER QUALITY AGENCIES RECOMMEND AGAINST USING PYRETHROIDS AND PYRETHRINS CONTAINING PIPERONYL BUTOXIDE (PBO). PYRETHRINS ARE TOXIC TO BIRDS, FISH, AND BENEFICIAL INSECTS. IF YOU EXPERIENCE A PEST PROBLEM THAT DOESN'T RESPOND TO BIOLOGICAL CONTROL METHODS, CONTACT GDA FOR RECOMMENDATIONS FOR REPLACING THE PLANT!

TREE PROTECTION

IN ADDITION TO ANY TREE-PROTECTION REQUIREMENTS DICTATED BY PERMIT AUTHORITIES, THE INSTALLATION CONTRACTOR SHALL TAKE CARE NOT TO REMOVE DUFF OR ALTER THE GRADE OF EXISTING SOIL UNDER ANY TREE UNLESS SPECIFICALLY INSTRUCTED IN THE PLAN. CONSTRUCTION MATERIALS AND TOOLS SHOULD NOT BE STORED AT THE BASE OF THE TRUNK. NO MATERIALS SHOULD BE POURED OR DUMPED UNDER THE DRIPLINE OF AN EXISTING TREE. ALL NURSERY STAKES SHOULD BE REMOVED AND TREES SHOULD BE RE-STAKED AS NOTED IN THE PLAN DETAILS BEFORE THE PROJECT IS CONSIDERED COMPLETE.

DATE	02/09/2016
SCALE	AS SHOWN
DRAWN BY	CH
DESIGNED BY	KG
CHECKED	KG
PROJECT NO.	
CADD FILE	
SHEET NO.	N-02

CARE OF TREES

GDA RECOMMENDS THAT CLIENTS HAVE ALL MATURE TREES ON THEIR PROPERTY PRUNED EVERY 5 YEARS. NATIVE OAKS SHOULD BE LIGHTLY PRUNED EVERY 2-3 YEARS, OTHER SPECIMEN TREES (SUCH AS JAPANESE MAPLES) EVERY YEAR TO TWO YEARS, AND FRUIT TREES EVERY YEAR. TREE PRUNING SHALL BE PERFORMED ONLY BY TRAINED, EXPERIENCED PERSONNEL. YOUNG TREES SHALL RECEIVE ANNUAL PRUNING FOR UP TO FIVE YEARS AFTER PLANTING BY PERSONNEL TRAINED IN PRUNING TO DEVELOP TREE STRUCTURE. THE PURPOSE OF THE PRUNING IS TO DIRECT THE TREE INTO THE APPROPRIATE FORM FOR THE SPECIES AND THE SITE AND TO DEVELOP A STRONG BRANCH STRUCTURE. TREES WITH CODOMINANT TRUNKS AND MULTIPLE BRANCH ATTACHMENTS SHALL BE PRUNED TO CORRECT THOSE DEFECTS OVER A PERIOD OF SEVERAL YEARS.

- VERIFY BEFORE WORK BEGINS THAT AN I.S.A. CERTIFIED ARBORIST IS TO BE PRESENT AT ALL TIMES DURING PRUNING ON CLIENT'S PROPERTY. ARBORIST MUST HAVE A STATE OF CALIF. CONTRACTORS LICENSE FOR TREE SERVICE (C61-D49).
- ALL PRUNING SHALL BE IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES FOR PRUNING (INTERNATIONAL SOCIETY OF ARBORICULTURE, 2002) AND ADHERE TO THE MOST RECENT EDITIONS OF THE AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS (Z133.1) AND PRUNING (A300).
 - CLEAR THE CROWN OF DISEASED, CROSSING, WEAK AND DEAD BRANCHES. TREES SHALL NOT BE ROUTINELY THINNED.
 - PROVIDE 14' VERTICAL CLEARANCE OVER ROADS, 8' OVER WALKWAYS;
 - REDUCE END WEIGHT ON HEAVY, HORIZONTAL BRANCHES
 - CREATE A STRONG CENTRAL TRUNK WITH LATERAL BRANCHES SPACED VERTICALLY AND HORIZONTALLY.
 - INTERIOR BRANCHES SHALL NOT BE STRIPPED OUT.
 - NO MORE THAN 20% OF LIVE FOLIAGE SHALL BE REMOVED WITHIN THE TREES.
 - TREES SHALL NOT BE CLIMBED WITH SPURS.
 - BRANCH REMOVAL OR REDUCTION CUTS (THINNING CUTS) ARE TO BE EMPLOYED RATHER THAN HEADING CUTS. TREES SHALL NOT BE TOPPED OR HEADED BACK.
 - NO GREEN PALM FRONDS SHALL BE REMOVED ABOVE A HORIZONTAL LINE DRAWN ACROSS THE BASE OF THE CROWN.
- SCHEDULE PRUNING TO AVOID TIME OF BUDBREAK, FLOWERING AND LEAF DROP ON LIVE BRANCHES, AND TO AVOID PEAK PERIODS OF INSECT AND DISEASE ACTIVITY FOR PESTS TO WHICH THE TREE SPECIES IS SUSCEPTIBLE. PRUNING OPERATIONS SHALL BE CONDUCTED IN A MANNER THAT DOES NOT DAMAGE SURROUNDING AND UNDERSTORY PLANTS AND STRUCTURES.
- IRRIGATION AND FERTILIZATION PROGRAMS SHALL BE DESIGNED TO AVOID EXCESSIVE PLANT GROWTH THAT WOULD REQUIRE ADDITIONAL PRUNING OR MOWING TO MANAGE.
- TYPICALLY, GDA RECOMMENDS PUTTING LANDSCAPE TREES ON A SEPARATE VALVE WITH BUBBLERS, SO THAT THE TREES CAN RECEIVE ADDITIONAL DEEP WATER IN SUMMER, TO HELP THEM SURVIVE MORE SEVERE DROUGHT CONDITIONS.
- STAKING
 - TREE STAKES, TIES AND GUYS SHALL BE CHECKED REGULARLY TO ENSURE TREES ARE NOT BEING DAMAGED. ADJUST TIES AND STAKE AS NECESSARY TO PREVENT GIRDLING AND WOUNDING.
 - TREE STAKES SHALL BE REMOVED WITHIN TWO YEARS OF PLANTING. FOR TREES UNABLE TO STAND ALONE AFTER TWO YEARS, CONTRACTOR WILL SHORTEN THE STAKES AND LOWER THE TIES TO 3-4' HEIGHT. IF AFTER THE THIRD YEAR THE TREE WILL NOT STAND WITHOUT A STAKE, CONTRACTOR WILL INSPECT TO DETERMINE CAUSE OF INSTABILITY, AND MAKE RECOMMENDATIONS TO CLIENT FOR CORRECTIVE ACTION.
 - IF NEW TIES ARE NEEDED TO SECURE TREE TO STAKE, USE TIES COMPOSED OF RECYCLED MATERIALS. THE TIE MUST BE BROAD, HAVE A SMOOTH SURFACE WHERE IT CONTACTS THE TRUNK, AND PROVIDE SOME ELASTICITY. WIRE COVERED WITH HOSE, TUBING OR OTHER MATERIALS, AND COVERED ELECTRICAL WIRE ARE NOT ACCEPTABLE MATERIALS.

CARE OF SHRUBS

- PLANTS SHALL BE PRUNED SELECTIVELY TO REMOVE INDIVIDUAL STEMS OR BRANCHES THAT EXTEND BEYOND THE NATURAL CONFORMATION OF THE PLANT TO A LATERAL BRANCH OR AT THE POINT OF ATTACHMENT.
- WOODY GROUND COVERS SHALL BE SELECTIVELY PRUNED TO CONTROL GROWTH TOWARDS PAVEMENTS RATHER THAN EDGED.
- EXISTING HEDGES THAT HAVE BEEN MAINTAINED BY SHEARING IN THE PAST AND THAT DO NOT HAVE ADEQUATE SPACE TO GROW TO MATURE PLANT SIZE CAN CONTINUE TO BE MAINTAINED BY SHEARING.
- FOR HEDGES THAT HAVE NOT YET BEEN MAINTAINED BY SHEARING: SHEARING OF PLANTS INTO FORMAL SHAPES SHALL BE AVOIDED AS THIS DESTROYS THE NATURAL FORM OF THE PLANT AND GENERATES EXCESSIVE WASTE.
- WHERE PLANT SIZE MUST BE CONTROLLED BECAUSE OF INADEQUATE SPACE FOR THE PLANT, PRUNE TO REDUCE SIZE BY CUTTING INDIVIDUAL BRANCHES OR STEMS TO INTERIOR LATERAL BRANCHES AT APPROPRIATE LOCATIONS.

ANNUAL LAWN AND NATIVE MEADOW SOD CARE

- NATIVE MEADOW SOD MAY BE MOWED 2 TO 3 TIMES A SEASON, BUT IN ANY EVENT SHOULD NEVER BE MOWED SHORTER THAN 4". TYPICALLY IT IS "MOWED" WITH A STRING TRIMMER.
- ANNUAL TURF WILL BE MOWED AT A HEIGHT APPROPRIATE FOR THE SPECIES OF TURF:
- TALL FESCUE 2-3"
- BLUEGRASS, RYEGRASS, RED FESCUE 1.5-2.5"
- DICHONDRA, BERMUDAGRASS 0.5-1.0"
- GRASSCYCLING SHALL BE EMPLOYED FOR ALL ANNUAL LAWN AREAS (SEE A BAY-FRIENDLY LANDSCAPING GUIDE TO GRASSCYCLING, AVAILABLE AT WWW.BAYFRIENDLY.ORG.) GRASSCYCLING REQUIRES AN INTEGRATED MANAGEMENT SYSTEM OF IRRIGATION, MOWING HEIGHT, AND MOWING FREQUENCY.
- KEY COMPONENTS ARE:
 - A. MOW OFTEN, AT LEAST ONCE A WEEK DURING THE GROWING SEASON.
 - B. MOW WHEN THE TURF IS DRY; AT LEAST ON THE DAY FOLLOWING IRRIGATION.
 - C. MAINTAIN EQUIPMENT TO KEEP BLADES SHARP AND BALANCED; USUALLY SHARPEN ONCE A WEEK. KEEP AREA UNDER THE MOWER DECK CLEAN. MULCHING MOWERS ARE MORE EFFECTIVE, BUT NOT REQUIRED FOR GRASSCYCLING.
 - D. LEAVE CLIPPINGS ON THE TURF. A SECOND PASS OVER CLUMPS OR WINDROWS MAY BE NECESSARY IF CLIPPINGS ARE LONG. CLIPPING MAY NOT BE LEFT ON TURF IN CLUMPS OR WINDROWS.
 - E. SEASONAL RAINS MAY REQUIRE TEMPORARILY HALTING OF GRASSCYCLING BECAUSE OF EXCESSIVE MOISTURE. THE CLIPPINGS MUST BE PICKED UP AND USED AS A MULCH OR TRANSPORTED TO A PLANT DEBRIS RECYCLING FACILITY. DO NOT USE GRASS CLIPPINGS AS A MULCH IF AN HERBICIDE HAS BEEN APPLIED TO THE TURF.
- CONTRACTOR WILL LEAVE GRASS CLIPPINGS ON LAWNS AFTER MOWING, FROM AT LEAST APRIL THROUGH OCTOBER. SPORTS TURF MAY BE EXCLUDED 'IN SEASON' WHEN CLIPPINGS WILL INTERFERE WITH PLAY.
 - a. MOWING PATTERNS WILL BE CHANGED WEEKLY OR HOWEVER OFTEN NECESSARY TO AVOID RUTTING.
 - ii. TURF AREAS ADJACENT TO PAVEMENTS SHALL BE EDGED ON A VERTICAL PLANE EVERY OTHER MOWING.
 - iii. A STRING TRIMMER OR SHEARS SHALL BE USED TO TRIM AROUND VALVE BOXES, HEADERBOARDS, ETC. IN THE TURF; ON A REGULAR BASIS TO MAINTAIN A NEAT APPEARANCE.
 - iv. TURF SHALL BE MAINTAINED 24" AWAY FROM THE BASE OF ANY TREE, AND 4" MINIMUM FROM ANY SIGN, BUILDING, OR STRUCTURE.
 - v. CLIPPINGS WILL BE REMOVED FROM PAVED SURFACES THE DAY OF THE MOWING AND EDGING.
 - vi. CONTRACTOR SHALL TAKE CARE TO AVOID DAMAGING PLANTS, EQUIPMENT, SIGNS, BUILDINGS, VEHICLES, ETC. DURING TURF MAINTENANCE OPERATIONS. ANY TREES WHICH HAVE MORE THAN 50% OF THE CIRCUMFERENCE OF THE TRUNK TISSUE REMOVED OR DAMAGED BY STRING TRIMMERS OR MOWERS SHALL BE CONSIDERED DESTROYED AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH LIKE SPECIES AND SIZE.
 - vii. MULCH LEAF LITTER WITH MOWERS AS NEEDED THROUGHOUT THE FALL AND WINTER MONTHS. LARGE CONCENTRATIONS OF LEAVES MAY REQUIRE PICKUP. RAKES ARE PREFERRED FOR LEAF LITTER REMOVAL OVER BLOWERS. LEAF LITTER WILL NOT BE ALLOWED TO ACCUMULATE TO THE POINT THAT IT WILL DAMAGE OR KILL TURF. LEAF LITTER THAT IS REMOVED FROM TURF WILL BE EITHER CHOPPED AND USED ON-SITE, OR TRANSPORTED TO A PLANT DEBRIS RECYCLING FACILITY.
 - i. AERATE TURF IN TRAFFIC AREAS ONCE A YEAR. AERATE TURF IN LOW USE AREAS EVERY TWO YEARS. USE EQUIPMENT WITH HOLLOW TINES THAT REMOVES A SOIL CORE. TOP DRESS WITH 1/4 INCH FINE COMPOST. OVERSEED TO FILL IN THIN SPOTS AND TO CROWD OUT WEEDS.
 - ii. DETHATCH TURF WHEN THATCH ACCUMULATES TO A ONE-HALF INCH THICKNESS BY CUTTING WITH A VERTICAL MOWER. THATCH SHALL BE RAKED AND EITHER COMPOSTED FOR USE ELSEWHERE, OR TRANSPORTED TO A GREENWASTE RECYCLING FACILITY.
 - iii. AERATION AND DETHATCHING ACTIVITIES SHOULD BE SCHEDULED TO COINCIDE WITH ACTIVE GROWTH PERIOD OF THE TURF SPECIES, AVOID HOT WEATHER CONDITIONS, AND AVOID PEAK TIME OF CRABGRASS AND OTHER WEED SEED GERMINATION.
 - iv. IRRIGATION FREQUENCY UNDER NORMAL CONDITIONS SHOULD NOT EXCEED THREE TIMES PER WEEK FOR ANNUAL GRASSES, TWICE A WEEK FOR NATIVE SOD BLENDS.
 - v. CONTRACTOR IS RESPONSIBLE FOR MONITORING TURF TO IDENTIFY AND ASSESS PEST PROBLEMS, AND FOR TAKING ACTION TO CONTROL PESTS THAT AFFECT TURF HEALTH AND APPEARANCE WHEN PEST POPULATIONS OR DAMAGE EXCEED ESTABLISHED THRESHOLDS.

GROUND COVERS

- GROUND COVERS SHALL BE TRIMMED ON A REGULAR BASIS TO MAINTAIN PAVEMENTS AND OTHER FEATURES CLEAR OF VEGETATION.
- THE EDGE OF WOODY GROUND COVERS (E.G. ROSEMARY, COTONEASTER) SHALL BE MAINTAINED BY PRUNING INDIVIDUAL BRANCHES OR STEMS TO INTERIOR LATERAL BRANCHES A MINIMUM OF 6" AND MAXIMUM OF 12" FROM THE EDGE OF PAVEMENT.
- THE EDGE OF HERBACEOUS GROUND COVERS (E.G. HYPERICUM) MAY BE MAINTAINED USING TURF EDGING EQUIPMENT.
 - a. WHEN GROUND COVERS BECOME EXCESSIVELY WOODY OR DEVELOP THATCH IN EXCESS OF 4", THE CONTRACTOR SHALL PRUNE THE PLANTING SEVERELY TO REJUVENATE IT. FOR MOST WOODY GROUND COVERS, PRUNE TO APPROXIMATELY 6-8" HEIGHT. HERBACEOUS GROUND COVERS MAY BE MOWED AT AN APPROPRIATE HEIGHT, GENERALLY 4-6". THIS TREATMENT SHALL ONLY BE APPLIED IN THE LATE WINTER/EARLY SPRING WHEN ET IS LOW AND REGROWTH WILL OCCUR QUICKLY.

BIOSWALES AND BIO-RETENTION AREAS

- BIOSWALES AND BIO-RETENTION AREAS REMOVE POLLUTANTS FROM THE STORMWATER BY FILTERING RUNOFF SLOWLY THROUGH AN ACTIVE LAYER OF SOIL. THEY SHALL BE MAINTAINED TO ENSURE THAT FLOW IS NOT OBSTRUCTED, EROSION IS PREVENTED AND THEY CONTINUE TO BE EFFECTIVE WITHOUT CAUSING FLOODING OR HARBORING VECTORS AND IN ACCORDANCE WITH THE SITE'S STORMWATER CONTROL PLAN'S OPERATION AND MAINTENANCE PLAN, IF AVAILABLE.
- BIOSWALES DEPEND ON SOILS THAT ARE BIOLOGICALLY ACTIVE AND HELD TOGETHER BY PLANT ROOTS. THEY SHALL BE MAINTAINED USING MATERIALS AND METHODS THAT SUPPORT THIS BIOLOGICAL ACTIVITY, PROTECT ENVIRONMENTAL QUALITY AND HUMAN HEALTH, CONSERVE WATER AND ENERGY, MINIMIZE WASTE, AND REUSE AND RECYCLE MATERIALS TO THE EXTENT POSSIBLE.
- INSPECT INLETS FOR CHANNELS AND EXPOSURE OF SOILS AND REPORT TO THE CLIENT IF EVIDENCE OF EROSION IS FOUND. EXAMINE ROCK OR OTHER MATERIAL AND REPORT TO THE CLIENT IF IT REQUIRES REPLACEMENT.
- INSPECT INLETS AND SLOPES FOR INSTABILITY, EROSION OR OBSTRUCTIONS. REPORT INDICATIONS OF PROBLEMS TO CLIENT.
- OBSERVE SOIL AT THE BOTTOM OF THE SWALE FOR UNIFORM INFILTRATION. CONFIRM THAT IRRIGATION IS ADEQUATE BUT NOT EXCESSIVE. REPORT WATER THAT DOES NOT DRAIN WITHIN 48 HOURS OF A STORM.
- CONFIRM THAT CHECK DAMS AND FLOW SPREADERS ARE IN PLACE AND LEVEL. REPORT PROBLEMS TO CLIENT.
- CLEAR MINOR OBSTRUCTIONS AND INSPECT FOR ACCUMULATION OF SEDIMENT. CONTRACTOR SHALL REMOVE ACCUMULATED SEDIMENT IN BIOSWALES BY HAND AND AROUND CATCH BASINS AND CULVERTS AS NECESSARY TO MAINTAIN ADEQUATE FLOW.
- EXAMINE VEGETATION TO ENSURE THAT IT IS HEALTHY, ADEQUATELY BUT NOT OVERWATERED, AND DENSE ENOUGH TO PROVIDE FILTERING. REMOVE DEBRIS.
- GRASSY SWALES SHALL BE MOWED AS NEEDED TO MAINTAIN ADEQUATE WATER FLOW. FOR BIDDING PURPOSES ASSUME 4 MOWINGS PER YEAR. REMOVE NO MORE THAN 1/3 OF THE LENGTH OF THE LEAF BLADE. CLIPPINGS SHOULD BE COLLECTED AND EITHER USED ELSEWHERE ON-SITE OR TRANSPORTED TO A PLANT DEBRIS RECYCLING FACILITY.

HARDSCAPE

- CONTRACTOR WILL CLEAN HARD SURFACES AS NEEDED TO REMOVE ACCUMULATION OF SEDIMENT, DIRT, OR OTHER MATERIALS THAT DISTRACTS FROM THE VISUAL IMPACT OF THE AREA OR CREATES A SAFETY HAZARD. CLEANING METHODS MUST BE CONSISTENT WITH THE BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION. (BASMAA) CRITERIA.
- POTENTIAL ROOT DAMAGE TO HARDSCAPES SHALL BE REPORTED TO CLIENT. CORRECTIVE ACTION WILL BE DETERMINED AND DIRECTED AS AN EXTRA SERVICE.
- CONTRACTOR SHALL CLEAN THE SURFACE OF PERVIOUS PAVING TO REMOVE FINE DEBRIS AND DIRT AS NEEDED TO MAINTAIN PERMEABILITY (APPROXIMATELY FOUR TIMES PER YEAR). PAVEMENT MAY BE CLEANED WITH STREET SWEEPERS EQUIPPED WITH VACUUMS, WATER, AND BRUSHES, FOLLOWED BY HIGH-PRESSURE HOSING OF SURFACE. IF NECESSARY, REPLACE DISPLACED AGGREGATE FILL WITH CLEAN GRAVEL. CLEANING METHODS MUST BE CONSISTENT WITH THE BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION. (BASMAA) CRITERIA (LISTED BELOW IN SECTION 4.9.E., BASMAA CERTIFICATION).
- POLLUTION PREVENTION TRAINING & CERTIFICATION PROGRAM FOR SURFACE CLEANERS ISSUED BY THE BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION (BASMAA) IS REQUIRED TO PERFORM SURFACE CLEANING WORK. ALL WORK SHOULD CONFORM TO BASMAA STANDARDS. BASMAA STANDARDS ENCOURAGE THE USE OF DRY CLEANING METHODS OVER WET SUCH AS THE USE OF ABSORBING MATERIALS FOR OILS AND SWEEPING. IT DISCOURAGES THE USE OF ANY SOAPS OR SOLVENTS. IT ENCOURAGES DIRECTING WASH WATER INTO THE LANDSCAPE OR COLLECTION OF WASTE WATER FOR DISPOSAL INTO A SANITARY SEWER INSTEAD OF A STORM DRAIN. SEE THEIR WEBSITE FOR A THOROUGH LIST OF CRITERIA.

SUPPLEMENTAL RESOURCES FOR CONTRACTORS AND HOMEOWNERS

STOPWASTE.ORG
 WWW.BAYFRIENDLY.ORG
 1. BAY-FRIENDLY LANDSCAPE GUIDELINES
 2. A LANDSCAPER'S GUIDE TO GRASSCYCLING
 3. A LANDSCAPER'S GUIDE TO MULCH

A GUIDE TO ESTIMATING IRRIGATION OF WATER NEEDS OF LANDSCAPE PLANTINGS, CALIFORNIA DEPT OF WATER RESOURCES, HTTP://CDEC.WATER.CA.GOV

IRRIGATION WATER AUDITS, IRRIGATION ASSOCIATION, WWW.IRRIGATION.ORG, AND THE IRRIGATION TECHNOLOGY RESEARCH CENTER, WWW.ITRC.ORG.

CALIFORNIA IRRIGATION MANAGEMENT INFORMATION SYSTEM, WWW.CIMIS.WATER.CA.GOV, WASTE MANAGEMENT AND RECYCLING, WWW.CIWMB.CA.GOV.

THE WEED WORKER'S HANDBOOK, A GUIDE TO TECHNIQUES FOR REMOVING BAY AREA INVASIVE PLANTS, THE WATERSHED COUNCIL (510) 231-5655 AND THE CALIFORNIA, INVASIVE PLANT COUNCIL (510) 843-3902

PESTS OF LANDSCAPE TREES AND SHRUBS: AN INTEGRATED PEST MANAGEMENT GUIDE, 2ND ED., UC PUBLICATION 3359, HTTP://WWW.IPM.UCDAVIS.EDU

G. A FIELD GUIDE TO COMPOST USE, THE COMPOSTING COUNCIL, 114 SOUTH PITT STREET, ALEXANDRIA, VIRGINIA 22314, (703) 739-2401, HTTP://WWW.COMPOSTINGCOUNCIL.ORG/INDEX.CFM

This is a conceptual guideline and planting plan only, not intended to be complete for construction. This rendering is based on a site plan provided by the architect. Owner/Contractor is responsible for verifying measurements, easements, property boundaries, and the location of underground utilities, as well as obtaining permits if required, before construction. Owner is responsible for compliance with all easements, setbacks, and permit inspection requirements. Greenwood Design Associates' total aggregate liability to you or any third party for any act or omission, including breach of contract or negligence not amounting to a willful or intentional wrong, is limited to the amount of compensation to be paid pursuant to this project. This amount shall include all liability for attorney's fees and expenses. No warranty or guarantee is expressed or implied that the design will be free of errors, including but not limited to non-toxicity, suitability for a particular purpose, health of plants, or the ultimate ability to construct the design.



GREENWOOD DESIGN ASSOCIATES LLC

© Copyright 2016

Contact information:

KELLY GREENWOOD
 10165 Pescadero Road
 La Honda, CA 94020
 p. 650.996.4612
 www.gda-llc.com

REVISIONS

LANDSCAPE GENERAL NOTES

xxx SAN CARLOS AVE EL GRANADA, CA 94019

DATE 02/09/2016

SCALE AS SHOWN

DRAWN BY CH

DESIGNED BY KG

CHECKED KG

PROJECT NO.

CADD FILE

SHEET NO.

N-03

CARE OF TREES

GDA RECOMMENDS THAT CLIENTS HAVE ALL MATURE TREES ON THEIR PROPERTY PRUNED EVERY 5 YEARS. NATIVE OAKS SHOULD BE LIGHTLY PRUNED EVERY 2-3 YEARS, OTHER SPECIMEN TREES (SUCH AS JAPANESE MAPLES) EVERY YEAR TO TWO YEARS, AND FRUIT TREES EVERY YEAR. TREE PRUNING SHALL BE PERFORMED ONLY BY TRAINED, EXPERIENCED PERSONNEL. YOUNG TREES SHALL RECEIVE ANNUAL PRUNING FOR UP TO FIVE YEARS AFTER PLANTING BY PERSONNEL TRAINED IN PRUNING TO DEVELOP TREE STRUCTURE. THE PURPOSE OF THE PRUNING IS TO DIRECT THE TREE INTO THE APPROPRIATE FORM FOR THE SPECIES AND THE SITE AND TO DEVELOP A STRONG BRANCH STRUCTURE. TREES WITH CODOMINANT TRUNKS AND MULTIPLE BRANCH ATTACHMENTS SHALL BE PRUNED TO CORRECT THOSE DEFECTS OVER A PERIOD OF SEVERAL YEARS.

- VERIFY BEFORE WORK BEGINS THAT AN I.S.A. CERTIFIED ARBORIST IS TO BE PRESENT AT ALL TIMES DURING PRUNING ON CLIENT'S PROPERTY. ARBORIST MUST HAVE A STATE OF CALIF. CONTRACTORS LICENSE FOR TREE SERVICE (C61-D49).
- ALL PRUNING SHALL BE IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES FOR PRUNING (INTERNATIONAL SOCIETY OF ARBORICULTURE, 2002) AND ADHERE TO THE MOST RECENT EDITIONS OF THE AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS (Z133.1) AND PRUNING (A300).
 - CLEAR THE CROWN OF DISEASED, CROSSING, WEAK AND DEAD BRANCHES. TREES SHALL NOT BE ROUTINELY THINNED.
 - PROVIDE 14' VERTICAL CLEARANCE OVER ROADS, 8' OVER WALKWAYS;
 - REDUCE END WEIGHT ON HEAVY, HORIZONTAL BRANCHES
 - CREATE A STRONG CENTRAL TRUNK WITH LATERAL BRANCHES SPACED VERTICALLY AND HORIZONTALLY.
 - INTERIOR BRANCHES SHALL NOT BE STRIPPED OUT.
 - NO MORE THAN 20% OF LIVE FOLIAGE SHALL BE REMOVED WITHIN THE TREES.
 - TREES SHALL NOT BE CLIMBED WITH SPURS.
 - BRANCH REMOVAL OR REDUCTION CUTS (THINNING CUTS) ARE TO BE EMPLOYED RATHER THAN HEADING CUTS. TREES SHALL NOT BE TOPPED OR HEADED BACK.
 - NO GREEN PALM FRONDS SHALL BE REMOVED ABOVE A HORIZONTAL LINE DRAWN ACROSS THE BASE OF THE CROWN.
- SCHEDULE PRUNING TO AVOID TIME OF BUDBREAK, FLOWERING AND LEAF DROP ON LIVE BRANCHES, AND TO AVOID PEAK PERIODS OF INSECT AND DISEASE ACTIVITY FOR PESTS TO WHICH THE TREE SPECIES IS SUSCEPTIBLE. PRUNING OPERATIONS SHALL BE CONDUCTED IN A MANNER THAT DOES NOT DAMAGE SURROUNDING AND UNDERSTORY PLANTS AND STRUCTURES.
- IRRIGATION AND FERTILIZATION PROGRAMS SHALL BE DESIGNED TO AVOID EXCESSIVE PLANT GROWTH THAT WOULD REQUIRE ADDITIONAL PRUNING OR MOWING TO MANAGE.
- TYPICALLY, GDA RECOMMENDS PUTTING LANDSCAPE TREES ON A SEPARATE VALVE WITH BUBBLERS, SO THAT THE TREES CAN RECEIVE ADDITIONAL DEEP WATER IN SUMMER, TO HELP THEM SURVIVE MORE SEVERE DROUGHT CONDITIONS.
- STAKING
 - TREE STAKES, TIES AND GUYS SHALL BE CHECKED REGULARLY TO ENSURE TREES ARE NOT BEING DAMAGED, ADJUST TIES AND STAKE AS NECESSARY TO PREVENT GIRDLING AND WOUNDING.
 - TREE STAKES SHALL BE REMOVED WITHIN TWO YEARS OF PLANTING. FOR TREES UNABLE TO STAND ALONE AFTER TWO YEARS, CONTRACTOR WILL SHORTEN THE STAKES AND LOWER THE TIES TO 3-4' HEIGHT. IF AFTER THE THIRD YEAR THE TREE WILL NOT STAND WITHOUT A STAKE, CONTRACTOR WILL INSPECT TO DETERMINE CAUSE OF INSTABILITY, AND MAKE RECOMMENDATIONS TO CLIENT FOR CORRECTIVE ACTION.
 - IF NEW TIES ARE NEEDED TO SECURE TREE TO STAKE, USE TIES COMPOSED OF RECYCLED MATERIALS. THE TIE MUST BE BROAD, HAVE A SMOOTH SURFACE WHERE IT CONTACTS THE TRUNK, AND PROVIDE SOME ELASTICITY. WIRE COVERED WITH HOSE, TUBING OR OTHER MATERIALS, AND COVERED ELECTRICAL WIRE ARE NOT ACCEPTABLE MATERIALS.

CARE OF SHRUBS

- PLANTS SHALL BE PRUNED SELECTIVELY TO REMOVE INDIVIDUAL STEMS OR BRANCHES THAT EXTEND BEYOND THE NATURAL CONFORMATION OF THE PLANT TO A LATERAL BRANCH OR AT THE POINT OF ATTACHMENT.
- WOODY GROUND COVERS SHALL BE SELECTIVELY PRUNED TO CONTROL GROWTH TOWARDS PAVEMENTS RATHER THAN EDGED.
- EXISTING HEDGES THAT HAVE BEEN MAINTAINED BY SHEARING IN THE PAST AND THAT DO NOT HAVE ADEQUATE SPACE TO GROW TO MATURE PLANT SIZE CAN CONTINUE TO BE MAINTAINED BY SHEARING.
- FOR HEDGES THAT HAVE NOT YET BEEN MAINTAINED BY SHEARING: SHEARING OF PLANTS INTO FORMAL SHAPES SHALL BE AVOIDED AS THIS DESTROYS THE NATURAL FORM OF THE PLANT AND GENERATES EXCESSIVE WASTE.
- WHERE PLANT SIZE MUST BE CONTROLLED BECAUSE OF INADEQUATE SPACE FOR THE PLANT, PRUNE TO REDUCE SIZE BY CUTTING INDIVIDUAL BRANCHES OR STEMS TO INTERIOR LATERAL BRANCHES AT APPROPRIATE LOCATIONS.

ANNUAL LAWN AND NATIVE MEADOW SOD CARE

- NATIVE MEADOW SOD MAY BE MOWED 2 TO 3 TIMES A SEASON, BUT IN ANY EVENT SHOULD NEVER BE MOWED SHORTER THAN 4". TYPICALLY IT IS "MOWED" WITH A STRING TRIMMER.
- ANNUAL TURF WILL BE MOWED AT A HEIGHT APPROPRIATE FOR THE SPECIES OF TURF:
- TALL FESCUE 2-3"
- BLUEGRASS, RYEGRASS, RED FESCUE 1.5-2.5"
- DICHONDRA, BERMUDAGRASS 0.5-1.0"
- GRASSCYCLING SHALL BE EMPLOYED FOR ALL ANNUAL LAWN AREAS (SEE A BAY-FRIENDLY LANDSCAPING GUIDE TO GRASSCYCLING, AVAILABLE AT WWW.BAYFRIENDLY.ORG.) GRASSCYCLING REQUIRES AN INTEGRATED MANAGEMENT SYSTEM OF IRRIGATION, MOWING HEIGHT, AND MOWING FREQUENCY.
- KEY COMPONENTS ARE:
 - A. MOW OFTEN, AT LEAST ONCE A WEEK DURING THE GROWING SEASON.
 - B. MOW WHEN THE TURF IS DRY; AT LEAST ON THE DAY FOLLOWING IRRIGATION.
 - C. MAINTAIN EQUIPMENT TO KEEP BLADES SHARP AND BALANCED; USUALLY SHARPEN ONCE A WEEK. KEEP AREA UNDER THE MOWER DECK CLEAN. MULCHING MOWERS ARE MORE EFFECTIVE, BUT NOT REQUIRED FOR GRASSCYCLING.
 - D. LEAVE CLIPPINGS ON THE TURF. A SECOND PASS OVER CLUMPS OR WINDROWS MAY BE NECESSARY IF CLIPPINGS ARE LONG. CLIPPING MAY NOT BE LEFT ON TURF IN CLUMPS OR WINDROWS.
 - E. SEASONAL RAINS MAY REQUIRE TEMPORARILY HALTING OF GRASSCYCLING BECAUSE OF EXCESSIVE MOISTURE. THE CLIPPINGS MUST BE PICKED UP AND USED AS A MULCH OR TRANSPORTED TO A PLANT DEBRIS RECYCLING FACILITY. DO NOT USE GRASS CLIPPINGS AS A MULCH IF AN HERBICIDE HAS BEEN APPLIED TO THE TURF.
- CONTRACTOR WILL LEAVE GRASS CLIPPINGS ON LAWNS AFTER MOWING, FROM AT LEAST APRIL THROUGH OCTOBER. SPORTS TURF MAY BE EXCLUDED 'IN SEASON' WHEN CLIPPINGS WILL INTERFERE WITH PLAY.
 - a. MOWING PATTERNS WILL BE CHANGED WEEKLY OR HOWEVER OFTEN NECESSARY TO AVOID RUTTING.
 - ii. TURF AREAS ADJACENT TO PAVEMENTS SHALL BE EDGED ON A VERTICAL PLANE EVERY OTHER MOWING.
 - iii. A STRING TRIMMER OR SHEARS SHALL BE USED TO TRIM AROUND VALVE BOXES, HEADERBOARDS, ETC. IN THE TURF; ON A REGULAR BASIS TO MAINTAIN A NEAT APPEARANCE.
 - iv. TURF SHALL BE MAINTAINED 24" AWAY FROM THE BASE OF ANY TREE, AND 4" MINIMUM FROM ANY SIGN, BUILDING, OR STRUCTURE.
 - v. CLIPPINGS WILL BE REMOVED FROM PAVED SURFACES THE DAY OF THE MOWING AND EDGING.
 - vi. CONTRACTOR SHALL TAKE CARE TO AVOID DAMAGING PLANTS, EQUIPMENT, SIGNS, BUILDINGS, VEHICLES, ETC. DURING TURF MAINTENANCE OPERATIONS. ANY TREES WHICH HAVE MORE THAN 50% OF THE CIRCUMFERENCE OF THE TRUNK TISSUE REMOVED OR DAMAGED BY STRING TRIMMERS OR MOWERS SHALL BE CONSIDERED DESTROYED AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH LIKE SPECIES AND SIZE.
- vii. MULCH LEAF LITTER WITH MOWERS AS NEEDED THROUGHOUT THE FALL AND WINTER MONTHS. LARGE CONCENTRATIONS OF LEAVES MAY REQUIRE PICKUP. RAKES ARE PREFERRED FOR LEAF LITTER REMOVAL OVER BLOWERS. LEAF LITTER WILL NOT BE ALLOWED TO ACCUMULATE TO THE POINT THAT IT WILL DAMAGE OR KILL TURF. LEAF LITTER THAT IS REMOVED FROM TURF WILL BE EITHER CHOPPED AND USED ON-SITE, OR TRANSPORTED TO A PLANT DEBRIS RECYCLING FACILITY.
 - i. AERATE TURF IN TRAFFIC AREAS ONCE A YEAR. AERATE TURF IN LOW USE AREAS EVERY TWO YEARS. USE EQUIPMENT WITH HOLLOW TINES THAT REMOVES A SOIL CORE. TOP DRESS WITH 1/4 INCH FINE COMPOST. OVERSEED TO FILL IN THIN SPOTS AND TO CROWD OUT WEEDS.
 - ii. DETHATCH TURF WHEN THATCH ACCUMULATES TO A ONE-HALF INCH THICKNESS BY CUTTING WITH A VERTICAL MOWER. THATCH SHALL BE RAKED AND EITHER COMPOSTED FOR USE ELSEWHERE, OR TRANSPORTED TO A GREENWASTE RECYCLING FACILITY.
 - iii. AERATION AND DETHATCHING ACTIVITIES SHOULD BE SCHEDULED TO COINCIDE WITH ACTIVE GROWTH PERIOD OF THE TURF SPECIES, AVOID HOT WEATHER CONDITIONS, AND AVOID PEAK TIME OF CRABGRASS AND OTHER WEED SEED GERMINATION.
 - iv. IRRIGATION FREQUENCY UNDER NORMAL CONDITIONS SHOULD NOT EXCEED THREE TIMES PER WEEK FOR ANNUAL GRASSES, TWICE A WEEK FOR NATIVE SOD BLENDS.
 - v. CONTRACTOR IS RESPONSIBLE FOR MONITORING TURF TO IDENTIFY AND ASSESS PEST PROBLEMS, AND FOR TAKING ACTION TO CONTROL PESTS THAT AFFECT TURF HEALTH AND APPEARANCE WHEN PEST POPULATIONS OR DAMAGE EXCEED ESTABLISHED THRESHOLDS.

GROUND COVERS

- GROUND COVERS SHALL BE TRIMMED ON A REGULAR BASIS TO MAINTAIN PAVEMENTS AND OTHER FEATURES CLEAR OF VEGETATION.
- THE EDGE OF WOODY GROUND COVERS (E.G. ROSEMARY, COTONEASTER) SHALL BE MAINTAINED BY PRUNING INDIVIDUAL BRANCHES OR STEMS TO INTERIOR LATERAL BRANCHES A MINIMUM OF 6" AND MAXIMUM OF 12" FROM THE EDGE OF PAVEMENT.
- THE EDGE OF HERBACEOUS GROUND COVERS (E.G. HYPERICUM) MAY BE MAINTAINED USING TURF EDGING EQUIPMENT.
 - a. WHEN GROUND COVERS BECOME EXCESSIVELY WOODY OR DEVELOP THATCH IN EXCESS OF 4", THE CONTRACTOR SHALL PRUNE THE PLANTING SEVERELY TO REJUVENATE IT. FOR MOST WOODY GROUND COVERS, PRUNE TO APPROXIMATELY 6-8" HEIGHT. HERBACEOUS GROUND COVERS MAY BE MOWED AT AN APPROPRIATE HEIGHT, GENERALLY 4-6". THIS TREATMENT SHALL ONLY BE APPLIED IN THE LATE WINTER/EARLY SPRING WHEN ET IS LOW AND REGROWTH WILL OCCUR QUICKLY.

BIO-SWALES AND BIO-RETENTION AREAS

- BIOSWALES AND BIO-RETENTION AREAS REMOVE POLLUTANTS FROM THE STORMWATER BY FILTERING RUNOFF SLOWLY THROUGH AN ACTIVE LAYER OF SOIL. THEY SHALL BE MAINTAINED TO ENSURE THAT FLOW IS NOT OBSTRUCTED, EROSION IS PREVENTED AND THEY CONTINUE TO BE EFFECTIVE WITHOUT CAUSING FLOODING OR HARBORING VECTORS AND IN ACCORDANCE WITH THE SITE'S STORMWATER CONTROL PLAN'S OPERATION AND MAINTENANCE PLAN, IF AVAILABLE.
- BIOSWALES DEPEND ON SOILS THAT ARE BIOLOGICALLY ACTIVE AND HELD TOGETHER BY PLANT ROOTS. THEY SHALL BE MAINTAINED USING MATERIALS AND METHODS THAT SUPPORT THIS BIOLOGICAL ACTIVITY, PROTECT ENVIRONMENTAL QUALITY AND HUMAN HEALTH, CONSERVE WATER AND ENERGY, MINIMIZE WASTE, AND REUSE AND RECYCLE MATERIALS TO THE EXTENT POSSIBLE.
- INSPECT INLETS FOR CHANNELS AND EXPOSURE OF SOILS AND REPORT TO THE CLIENT IF EVIDENCE OF EROSION IS FOUND. EXAMINE ROCK OR OTHER MATERIAL AND REPORT TO THE CLIENT IF IT REQUIRES REPLACEMENT.
- INSPECT INLETS AND SLOPES FOR INSTABILITY, EROSION OR OBSTRUCTIONS. REPORT INDICATIONS OF PROBLEMS TO CLIENT.
- OBSERVE SOIL AT THE BOTTOM OF THE SWALE FOR UNIFORM INFILTRATION. CONFIRM THAT IRRIGATION IS ADEQUATE BUT NOT EXCESSIVE. REPORT WATER THAT DOES NOT DRAIN WITHIN 48 HOURS OF A STORM.
- CONFIRM THAT CHECK DAMS AND FLOW SPREADERS ARE IN PLACE AND LEVEL. REPORT PROBLEMS TO CLIENT.
- CLEAR MINOR OBSTRUCTIONS AND INSPECT FOR ACCUMULATION OF SEDIMENT. CONTRACTOR SHALL REMOVE ACCUMULATED SEDIMENT IN BIOSWALES BY HAND AND AROUND CATCH BASINS AND CULVERTS AS NECESSARY TO MAINTAIN ADEQUATE FLOW.
- EXAMINE VEGETATION TO ENSURE THAT IT IS HEALTHY, ADEQUATELY BUT NOT OVERWATERED, AND DENSE ENOUGH TO PROVIDE FILTERING. REMOVE DEBRIS.
- GRASSY SWALES SHALL BE MOWED AS NEEDED TO MAINTAIN ADEQUATE WATER FLOW. FOR BIDDING PURPOSES ASSUME 4 MOWINGS PER YEAR. REMOVE NO MORE THAN 1/3 OF THE LENGTH OF THE LEAF BLADE. CLIPPINGS SHOULD BE COLLECTED AND EITHER USED ELSEWHERE ON-SITE OR TRANSPORTED TO A PLANT DEBRIS RECYCLING FACILITY.

HARDSCAPE

- CONTRACTOR WILL CLEAN HARD SURFACES AS NEEDED TO REMOVE ACCUMULATION OF SEDIMENT, DIRT, OR OTHER MATERIALS THAT DISTRACTS FROM THE VISUAL IMPACT OF THE AREA OR CREATES A SAFETY HAZARD. CLEANING METHODS MUST BE CONSISTENT WITH THE BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION. (BASMAA) CRITERIA.
- POTENTIAL ROOT DAMAGE TO HARDSCAPES SHALL BE REPORTED TO CLIENT. CORRECTIVE ACTION WILL BE DETERMINED AND DIRECTED AS AN EXTRA SERVICE.
- CONTRACTOR SHALL CLEAN THE SURFACE OF PERVIOUS PAVING TO REMOVE FINE DEBRIS AND DIRT AS NEEDED TO MAINTAIN PERMEABILITY (APPROXIMATELY FOUR TIMES PER YEAR). PAVEMENT MAY BE CLEANED WITH STREET SWEEPERS EQUIPPED WITH VACUUMS, WATER, AND BRUSHES, FOLLOWED BY HIGH-PRESSURE HOSING OF SURFACE. IF NECESSARY, REPLACE DISPLACED AGGREGATE FILL WITH CLEAN GRAVEL. CLEANING METHODS MUST BE CONSISTENT WITH THE BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION. (BASMAA) CRITERIA (LISTED BELOW IN SECTION 4.9.E., BASMAA CERTIFICATION).
- POLLUTION PREVENTION TRAINING & CERTIFICATION PROGRAM FOR SURFACE CLEANERS ISSUED BY THE BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION (BASMAA) IS REQUIRED TO PERFORM SURFACE CLEANING WORK. ALL WORK SHOULD CONFORM TO BASMAA STANDARDS. BASMAA STANDARDS ENCOURAGE THE USE OF DRY CLEANING METHODS OVER WET SUCH AS THE USE OF ABSORBING MATERIALS FOR OILS AND SWEEPING. IT DISCOURAGES THE USE OF ANY SOAPS OR SOLVENTS. IT ENCOURAGES DIRECTING WASH WATER INTO THE LANDSCAPE OR COLLECTION OF WASTE WATER FOR DISPOSAL INTO A SANITARY SEWER INSTEAD OF A STORM DRAIN. SEE THEIR WEBSITE FOR A THOROUGH LIST OF CRITERIA.

SUPPLEMENTAL RESOURCES FOR CONTRACTORS AND HOMEOWNERS

STOPWASTE.ORG
WWW.BAYFRIENDLY.ORG
1. BAY-FRIENDLY LANDSCAPE GUIDELINES
2. A LANDSCAPER'S GUIDE TO GRASSCYCLING
3. A LANDSCAPER'S GUIDE TO MULCH

A GUIDE TO ESTIMATING IRRIGATION OF WATER NEEDS OF LANDSCAPE PLANTINGS, CALIFORNIA DEPT OF WATER RESOURCES, HTTP://CDEC.WATER.CA.GOV

IRRIGATION WATER AUDITS, IRRIGATION ASSOCIATION, WWW.IRRIGATION.ORG, AND THE IRRIGATION TECHNOLOGY RESEARCH CENTER, WWW.ITRC.ORG.

CALIFORNIA IRRIGATION MANAGEMENT INFORMATION SYSTEM, WWW.CIMIS.WATER.CA.GOV, WASTE MANAGEMENT AND RECYCLING, WWW.CIWMB.CA.GOV.

THE WEED WORKER'S HANDBOOK, A GUIDE TO TECHNIQUES FOR REMOVING BAY AREA INVASIVE PLANTS, THE WATERSHED COUNCIL (510) 231-5655 AND THE CALIFORNIA, INVASIVE PLANT COUNCIL (510) 843-3902

PESTS OF LANDSCAPE TREES AND SHRUBS: AN INTEGRATED PEST MANAGEMENT GUIDE, 2ND ED., UC PUBLICATION 3359, HTTP://WWW.IPM.UCDAVIS.EDU

G. A FIELD GUIDE TO COMPOST USE, THE COMPOSTING COUNCIL, 114 SOUTH PITT STREET, ALEXANDRIA, VIRGINIA 22314, (703) 739-2401, HTTP://WWW.COMPOSTINGCOUNCIL.ORG/INDEX.CFM

This is a conceptual guideline and planting plan only, not intended to be complete for construction. This rendering is based on a site plan provided by the architect. Owner/Contractor is responsible for verifying measurements, easements, property boundaries, and the location of underground utilities, as well as obtaining permits if required, before construction. Owner is responsible for compliance with all easements, setbacks, and permit inspection requirements. Greenwood Design Associates' total aggregate liability to you or any third party for any act or omission, including breach of contract or negligence not amounting to a willful or intentional wrong, is limited to the amount of compensation to be paid pursuant to this project. This amount shall include all liability for attorney's fees and expenses. No warranty or guarantee is expressed or implied that the design will be free of errors, including but not limited to non-toxicity, suitability for a particular purpose, health of plants, or the ultimate ability to construct the design.



GREENWOOD DESIGN ASSOCIATES LLC

© Copyright 2016

Contact information:

KELLY GREENWOOD
10165 Pescadero Road
La Honda, CA 94020
p. 650.996.4612
www.gda-llc.com

REVISIONS

LANDSCAPE GENERAL NOTES

xxx SAN CARLOS AVE EL GRANADA, CA 94019

DATE 02/09/2016

SCALE AS SHOWN

DRAWN BY CH

DESIGNED BY KG

CHECKED KG

PROJECT NO.

CADD FILE

SHEET NO.

N-03



GREENWOOD DESIGN ASSOCIATES LLC

© Copyright 2016

Contact information:

KELLY GREENWOOD
10165 Pescadero Road
La Honda, CA 94020
p. 650.996.4612
www.gda-llc.com

REVISIONS

NO.	DESCRIPTION

LANDSCAPE PLAN

xxx SAN CARLOS AVE. EL GRANADA, CA 94019

DATE 02/09/2016

SCALE AS SHOWN

DRAWN BY CH

DESIGNED BY KG

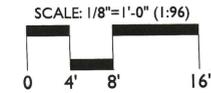
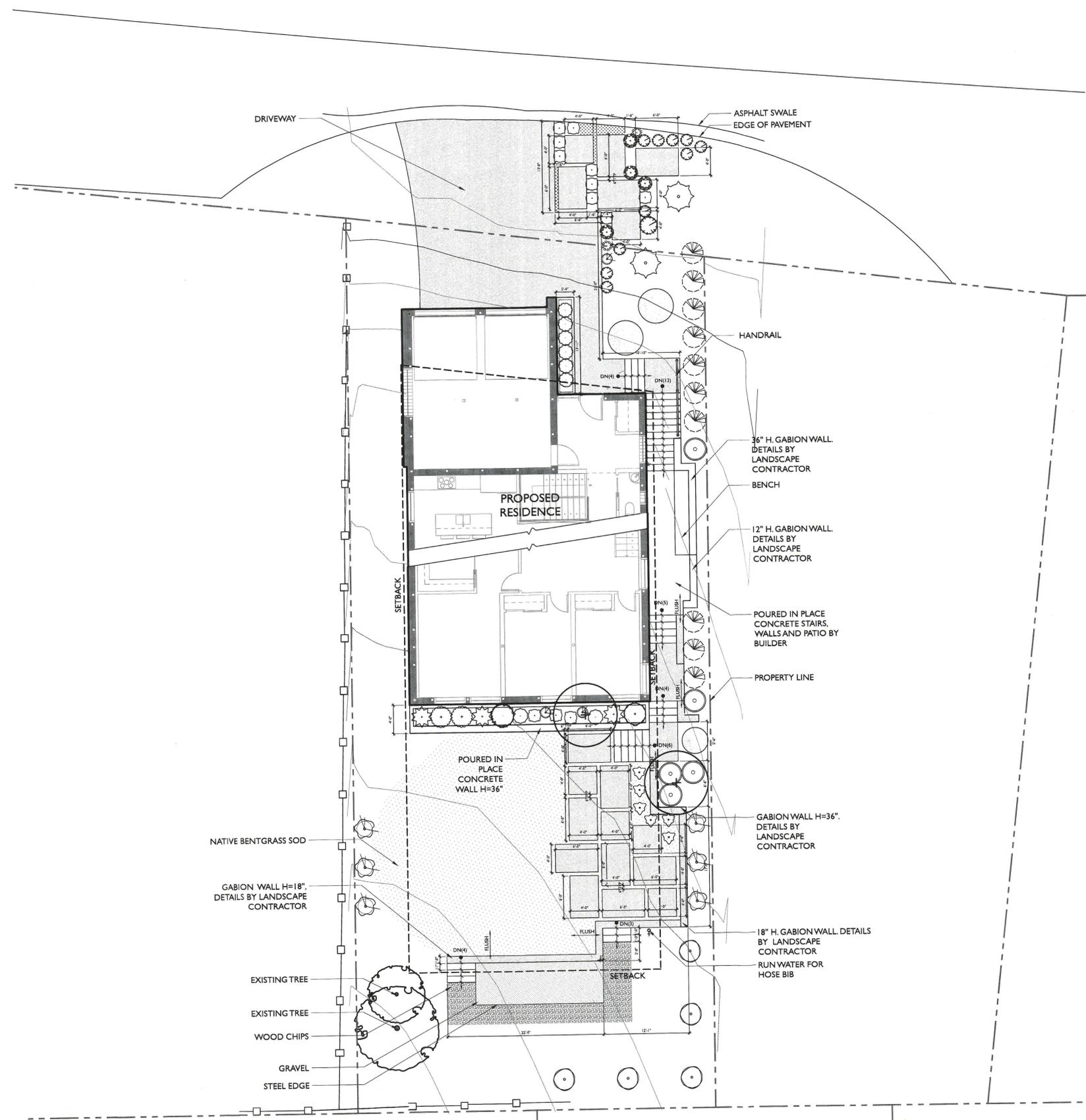
CHECKED KG

PROJECT NO.

CADD FILE

SHEET NO.

L-01



This is a conceptual guideline and planting plan only, not intended to be complete for construction. This rendering is based on a site plan provided by the architect. Owner/Contractor is responsible for verifying measurements, easements, property boundaries, and the location of underground utilities, as well as obtaining permits if required, before construction. Owner is responsible for compliance with all easements, setbacks, and permit inspection requirements. Greenwood Design Associates' total aggregate liability to you or any third party for any act or omission, including breach of contract or negligence not amounting to a willful or intentional wrong, is limited to the amount of compensation to be paid pursuant to this project. This amount shall include all liability for attorney's fees and expenses. No warranty or guarantee is expressed or implied that the design will be free of errors, including but not limited to non-toxicity, suitability for a particular purpose, health of plants, or the ultimate ability to construct the design.



GREENWOOD DESIGN ASSOCIATES LLC

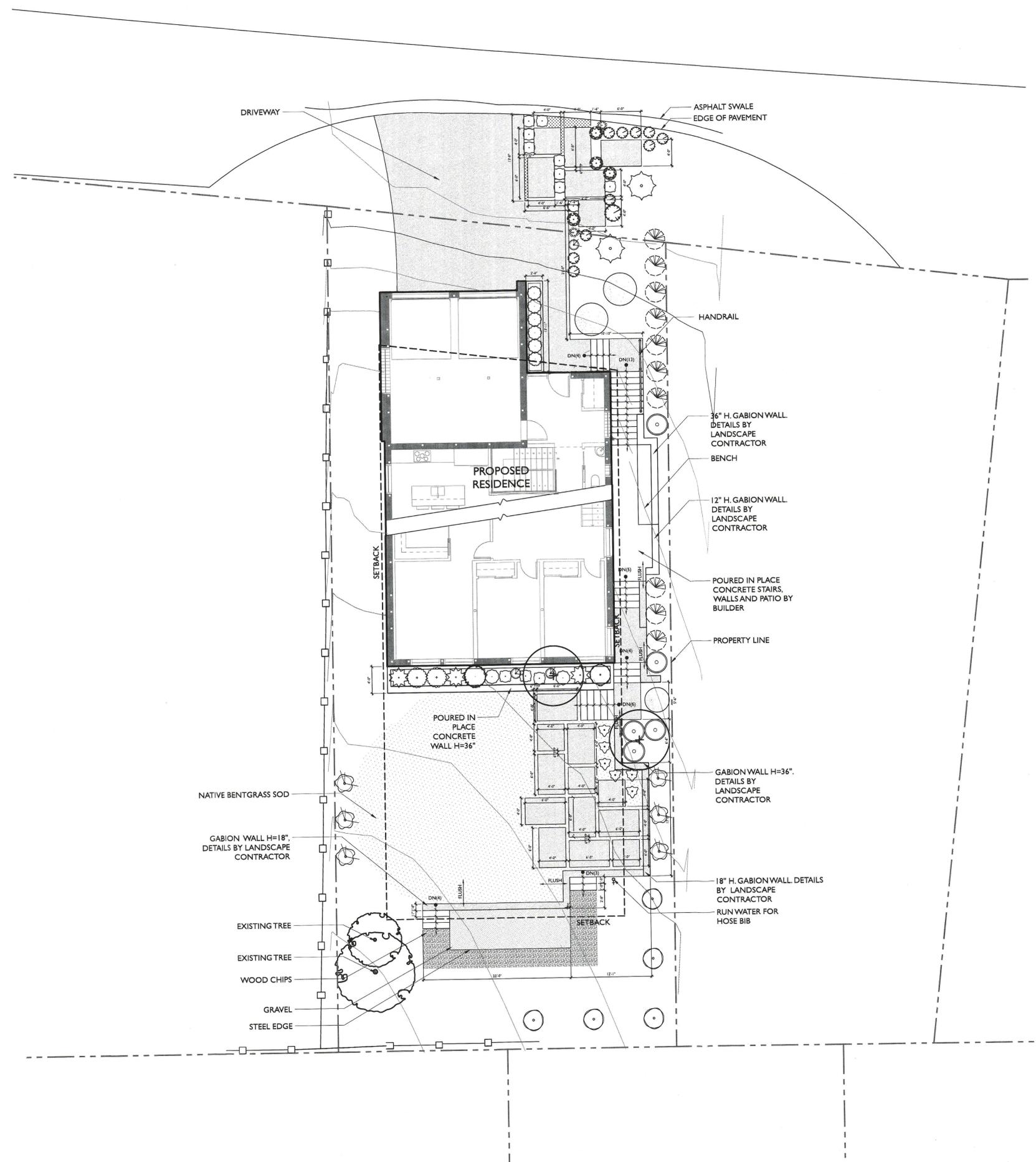
© Copyright 2016

Contact information:

KELLY GREENWOOD
10165 Pescadero Road
La Honda, CA 94020
p. 650.996.4612
www.gda-llc.com

REVISIONS

NO.	DESCRIPTION



LANDSCAPE PLAN

xxx SAN CARLOS AVE. EL GRANADA, CA 94019

DATE 02/09/2016

SCALE AS SHOWN

DRAWN BY CH

DESIGNED BY KG

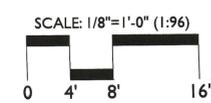
CHECKED KG

PROJECT NO.

CADD FILE

SHEET NO.

L-01



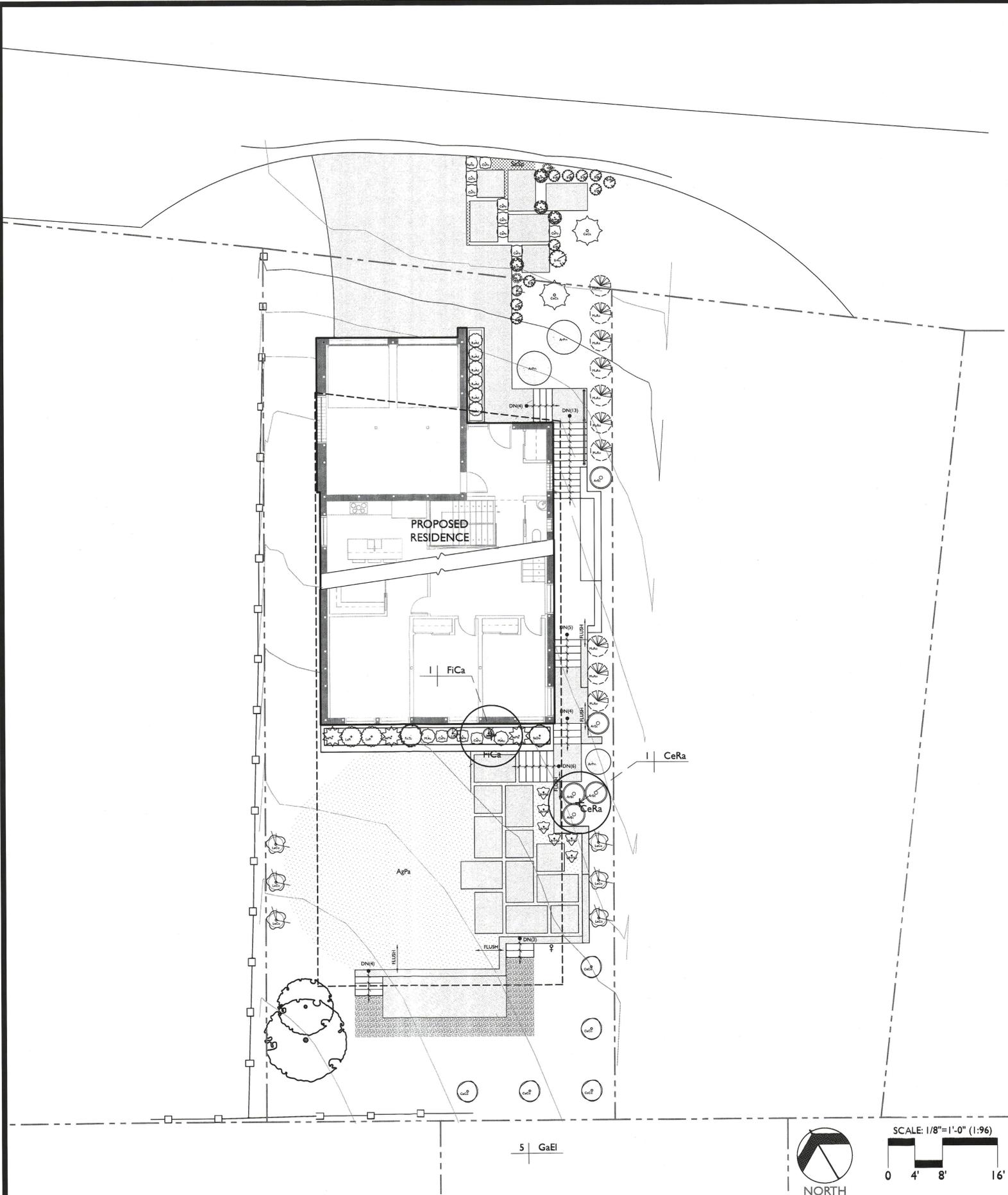
This is a conceptual guideline and planting plan only, not intended to be complete for construction. This rendering is based on a site plan provided by the architect. Owner/Contractor is responsible for verifying measurements, easements, property boundaries, and the location of underground utilities, as well as obtaining permits if required, before construction. Owner is responsible for compliance with all easements, setbacks, and permit inspection requirements. Greenwood Design Associates' total aggregate liability to you or any third party for any act or omission, including breach of contract or negligence not amounting to a willful or intentional wrong, is limited to the amount of compensation to be paid pursuant to this project. This amount shall include all liability for attorney's fees and expenses. No warranty or guarantee is expressed or implied that the design will be free of errors, including but not limited to non-toxicity, suitability for a particular purpose, health of plants, or the ultimate ability to construct the design.



GREENWOOD DESIGN
ASSOCIATES LLC
© Copyright 2016

Contact information:
KELLY GREENWOOD
10165 Pescadero Road
La Honda, CA 94020
p. 650.996.4612
www.gda-llc.com

REVISIONS



PLANT LIST

QUANT	CODE	COMMON NAME BOTANICAL NAME	SIZE MIN.	HEIGHT MIN.	SPREAD	DROUGHT TOLERANT	COMMENTS
TREES							
01	CaRa	RAY HARTMAN CALIFORNIA LILAC <i>Ceanothus 'Ray Hartman'</i> (Standard)	15 GAL	12-15'	8'	YES	CALIFORNIA NATIVE
01	FiCa	BLACK MISSION FIG <i>Ficus carica</i> 'Black Mission'	15 GAL	12-15'	8'	YES	

PLANT LIST

QUANT	CODE	COMMON NAME BOTANICAL NAME	SIZE MIN.	HEIGHT MIN.	SPREAD	DROUGHT TOLERANT	COMMENTS
SHRUBS, GROUNDCOVERS & PERENNIALS							
06	AeHa	HARMONY KANGOROO PAW <i>Anigozanthos 'Harmony'</i>	1 GAL	30"	-	NO	
05	ArEc	CARPET MANZANITA <i>Arctostaphylos 'Emerald Carpet'</i>	5 GAL	30"	-	YES	DROUGHT TOLERANT, FAST GROWTH RATE.
03	ArPm	MANZANITA <i>Arctostaphylos 'Pacific Mist'</i>	5 GAL	30"	6"	YES	DROUGHT TOLERANT, FAST GROWTH RATE.
04	ArPy	BEACH WORMWOOD <i>Artemisia pycnocephala</i>	1 GAL	12-18"	18-36"	YES	
11	CaFo	CAPE MENDOCINO REED GRASS <i>Calamagrostis foliosa</i>	1 GAL	12-18"	18-36"	YES	
02	CaCa	CARMEL CREEPER <i>Ceanothus griseus</i> 'horizontalis' 'California Lilac'	5 GAL	4'	5-6'	YES	CALIFORNIA NATIVE, 5-6" DIAM
05	CaCo	CONCHA CEANOETHUS <i>Ceanothus 'Concha'</i>	5 GAL	4'	5-6'	YES	CALIFORNIA NATIVE, 5-6" DIAM
01	DuBr	DUDLEYA <i>Dudleya brittonii</i>	1 GAL	12-18"	18-36"	YES	
10	ErRu	RED-FLOWERED BUCKWHEAT <i>Eriogonum grande</i> var. <i>rubescens</i>	1 GAL	12-18"	18-36"	YES	
1	ErRu	RED-FLOWERED BUCKWHEAT <i>Eriogonum grande</i> var. <i>rubescens</i>	5 GAL	30"	36-42"	YES	
03	IrPa	IRIS PACIFICA <i>Iris pacifica</i> hybrids	1 GAL	12"	12"	YES	CALIFORNIA NATIVE, COLONY FORMING OVER TIME
02	LaPa	LAVANDA <i>Lavandula pinastis</i>	1 GAL	6"	-	NO	
06	LeCo	CALIFORNIA PRINCE RYE <i>Leymus condensatus</i> 'Canyon Prince'	5 GAL	36"	36"	YES	
02	MiAu	STICKY MONKEYFLOWER <i>Mimulus aurantiacus</i>	1 GAL	24"	24-30"	YES	
10	MuRo	DEER GRASS <i>Muhlenbergia rigens</i>	5 GAL	5'	3'	NO	
01	PeHe	PENSTEMON MARGARITA BOP <i>Penstemon heterophyllus</i> 'Margarita Bop'	1 GAL	12-18"	18-36"	YES	
06	RuAd	RUMOHRA <i>Rumohra adiantiformis</i>	1 GAL	12"	-	NO	
01	RoTu	TUSCAN BLUE ROSEMARY <i>Rosmarinus officinalis</i> 'Tuscan Blue'	5 GAL	30"	30"	YES	
15 sq ft	SeSp	STONECROP 'CAPE BLANCO' <i>Sedum spathulifolium</i> 'Cape Blanco'	1 FLAT	4"	12"	YES	DROUGHT TOLERANT, FAST GROWTH RATE.
03	SePa	KLEINIA <i>Senecio mandraliscae</i>	1 GAL	12"	12"	YES	
01	SaDo	YERBA BUENA <i>Satureja douglasii</i>	5 GAL	30"	30"	YES	
880 sq ft	AgPa	NATIVE BENTGRASS SOD <i>Agrostis patens</i> - Native Mow Free™ Delta Blue Grass Mix	1 FLAT	4"	12"	YES	DROUGHT TOLERANT, FAST GROWTH RATE, CALIFORNIA NATIVE.

ALL PLANTING AREAS TO USE NETAFIM SUB-SURFACE DRIP IRRIGATION

PLANTING PLAN
 XXX SAN CARLOS AVE EL GRANADA, CA 94019

DATE 02/09/2016
SCALE AS SHOWN
DRAWN BY CH
DESIGNED BY KG
CHECKED KG
PROJECT NO.
CADD FILE
SHEET NO.

P-01

This is a conceptual guideline and planting plan only, not intended to be complete for construction. This rendering is based on a site plan provided by the architect. Owner/Contractor is responsible for verifying measurements, easements, property boundaries, and the location of underground utilities, as well as obtaining permits if required, before construction. Owner is responsible for compliance with all easements, setbacks, and permit inspection requirements. Greenwood Design Associates' total aggregate liability to you or any third party for any act or omission, including breach of contract or negligence not amounting to a willful or intentional wrong, is limited to the amount of compensation to be paid pursuant to this project. This amount shall include all liability for attorney's fees and expenses. No warranty or guarantee is expressed or implied that the design will be free of errors, including but not limited to non-toxicity, suitability for a particular purpose, health of plants, or the ultimate ability to construct the design.

Allura Fiber Cement Siding and Trim

Fiber Cement Siding

General Description: Allura Fiber Cement siding is available in different products providing both traditional and contemporary aesthetics. It is suitable for residential and light commercial applications. These products offer a high degree of dimensional stability and impact resistance.

Shapes	Lap	Vertical	Trim
Perfection Shingles	Smooth Lap	Stucco	Cedar
Random Square Straight Edge	Cedar Lap	Smooth	
Random Square Staggered Edge		Cedar/no groove	
Half-Rounds		Cedar/8" grooved	
Octagons			

Finishes: Allura's exclusive Sealing System ready for field top coating with high quality, acrylic latex paint or stains. Factory prefinishing available with paint or stain. Allura Fiber Cement Siding must be allowed to breathe; therefore, it must never be primed, painted or stained on the back side.

Surface Patterns: Smooth, Traditional Cedar and Rustic Cedar grains, cedar-textured grain, stucco texture, vertical grain.

Sizes:	Shapes	Trim
	8-1/4" x 12' (209mm x 3657mm)	3-1/2" (89mm)
	12" x 48" (305mm x 1219mm)	5-1/2" (140mm)
	16" x 48" (406mm x 1219mm)	7-1/4" (185mm)
		9-1/4" (235mm),
		11-1/4" (286mm) x 12' (3657mm) length
	Lap Siding	
	5-1/4" (133mm)	(4/4" thick - 11mm)
	6-1/4" (159mm)	2" (59 mm)
	7-1/4" (185mm)	3" (76 mm)
	7-1/2" (191mm)	4" (102 mm)
	8-1/4" (209mm)	6" (153 mm)
	9-1/4" (235mm)	8" (203 mm)
	12" (305mm) x 12' (3657mm) length	10" (254 mm)
		12" (305 mm) x 12' (3657mm) length
	Vertical	
	4' x 8' (1219mm x 2438mm)	(5/4" thick - 11mm)
	4' x 9' (1219mm x 2743mm)	3" (76 mm)
	4' x 10' (1219mm x 3048mm),	4" (102 mm)
	4' x 12' (1219 mm x 3657mm)	5" (127 mm)
		6" (153 mm)
		8" (203 mm)
		10" (254 mm)
		12" (305 mm x 12' (3657mm) length

Thickness: 5/16" (8mm) on shapes, lap and vertical siding.

Composition: The products are manufactured using a multi-step high-pressure process combining Portland cement, wood fiber and specialty additives. Wood grains and other architectural features are pressed into the surface.

Technical Data: Allura Fiber Cement soffit was tested in accordance with the American Society for Testing & Materials

ASTM C1186-02	Standard Specification for Flat Non-Asbestos Fiber Cement Sheets
ASTM C1185-96	Sampling and Testing Non-Asbestos Fiber-Cement Flat Sheet, Roofing and Siding Shingles, and Clapboards
ASTM E72-95	Conducting Strength Tests of Panels for Building Construction
ASTM E84	Surface Burning Characteristics of Building Materials
ASTM E119-95a Fire	Tests of Building Construction and Materials
ASTM E136	Non-Combustible
ASTM E330-96	Structural Performance of Exterior Windows, Curtain Walls, and Doors by Uniform Static Air Pressure Difference
ASTM G26-95	Operating Light-Exposure Apparatus (Xenon-Arc Type) With and Without Water for Exposure of Nonmetallic Materials

(ASTM) standards of the following specifications:

Approvals: ICC ESR-1668

Texas Dept. of Insurance Product Evaluation EC-16

Weather and Other Considerations: Product offers resistance to freeze/thaw cycles and is highly dimensionally stable. It is resistant to damaging ultraviolet (UV) rays and salt spray. It is immune to wood-boring insects. Product can resist high wind forces when installed in accordance with Allura application instructions; see instructions for details.

Fire Resistance Characteristics: Allura Fiber Cement soffit products have a Class A (1) Flame Spread Rating - 0, Smoke developed - 5, per ASTM E84, and is considered Non-Combustible in accordance with ASTM E136.

Installation:

Preparatory Work – Allura Fiber Cement siding products are cut and installed like conventional wood siding. Handle and store product according to Allura recommendations. Fiber Cement siding may be applied over sheathed walls or directly to studs spaced up to 24” (610mm) o.c. where local codes permit. When applying direct to wood or metal studs, a continuous weather-resistive barrier, not a vapor retarder, must be applied. A vapor barrier, permeability of 1 perm (57.5 ng/(Pa·s·m²) or less, should be used in the wall when required and as described in the ASHRAE design manual. Consult a qualified mechanical engineer or other design professional.

Note: Allura Fiber Cement siding must be installed with the textured or smooth finished exterior surface facing out.

Methods – Complete installation recommendations are available from the manufacturer. Pneumatic nailing is recommended for attachment to wood framing. Use double hot-dipped galvanized or stainless steel nails. Do not use staples. For steel framing application use corrosion resistant bugle head screws. Vertical joints on Prefinished -Sealed lap siding should be moderately butted. Unfinished or unsealed joints must be gapped 1/8” maximum and caulked. Follow caulk manufacturer’s application instructions. Use drip cap flashing above all openings.

Precautions – Avoid breathing dust created by drilling, cutting, or sawing. Use with adequate ventilation and a dust collection system; see MSDS for additional dust precautions. All Allura soffit is sealed with our primer/sealer. A finish coat should be applied within 6 months of installation.

Building Codes – Current data on building code requirements and product compliance may be obtained from Allura. Installation must comply with the requirements of all applicable local, state and national code jurisdictions.

Warranty: Allura Fiber Cement siding offers a 50-year limited transferable product warranty. Additionally, Allura offers for ColorMax prefinished products a 15-year limited coating warranty.

Allura warrants that the product will be free from manufacturing defects and will not crack, rot or delaminate and will not suffer damage from termites when stored, installed and maintained according to Allura printed instructions. See warranties for details and limitations.

Technical Services: Allura maintains a technical services staff to assist building professionals with questions regarding Allura siding products. Call 1 (844) 4 ALLURA for samples and answers to technical or installation questions.

Plycem USA
 15055 Woodham Drive
 Houston, Texas 77073

1 844 4 ALLURA
 (1-844-425-5872)

www.allurausa.com



Lap Siding

Indulge in the ultimate luxury with Allura's Fiber Cement Lap Siding. Our lap siding line is manufactured to look like natural wood, providing bold and traditional profiles.

Allura intersections – where siding meets roofing, decking and other building components – are held to a 1-inch offset instead of 2 inches to offer better curb appeal.

Available in a cedar or smooth finish, Allura will match your home's style perfectly.

Our cedar woodgrain appearance is achieved with our advanced direct transfer system using real cedar boards. Allura creates a panel surface that authentically captures the finely crafted, smooth finish of sanded wood.

Available with ColorMax® Finishing System or choose pre-primed and sealed panels for painting after installation.

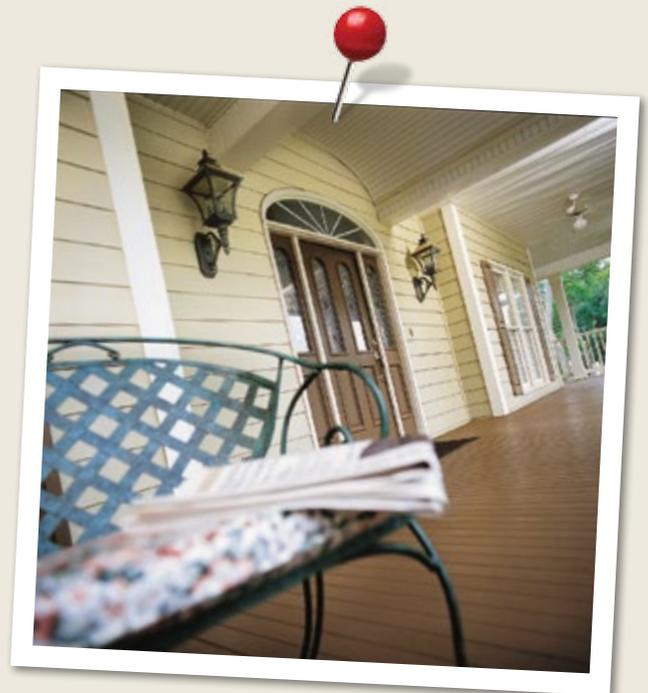


Cedar Lap Siding
 5-1/4" x 12' 8-1/4" x 12'
 6-1/4" x 12' 9-1/4" x 12'
 7-1/4" x 12' 12" x 12'
 Shown in Coastal Blue



Smooth Lap Siding
 5-1/4" x 12' 8-1/4" x 12'
 6-1/4" x 12' 9-1/4" x 12'
 7-1/4" x 12' 12" x 12'
 Shown in Sterling Gray

Bottom and top edges are cut clean with water jet cutters for a smooth appearance and dimensional stability. This design allows for boards to be reversed for installation, allowing for less waste and more flexibility.





STONE

your NATURAL choice

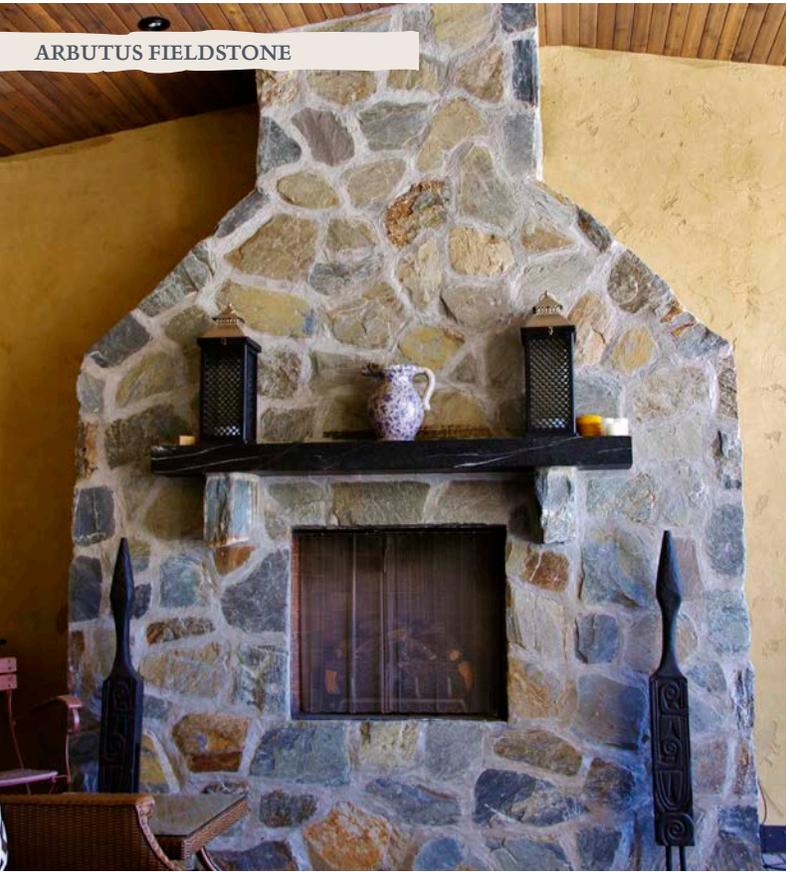
NATURAL STONE PRODUCTS



www.K2STONE.com

INSPIRATION GALLERY

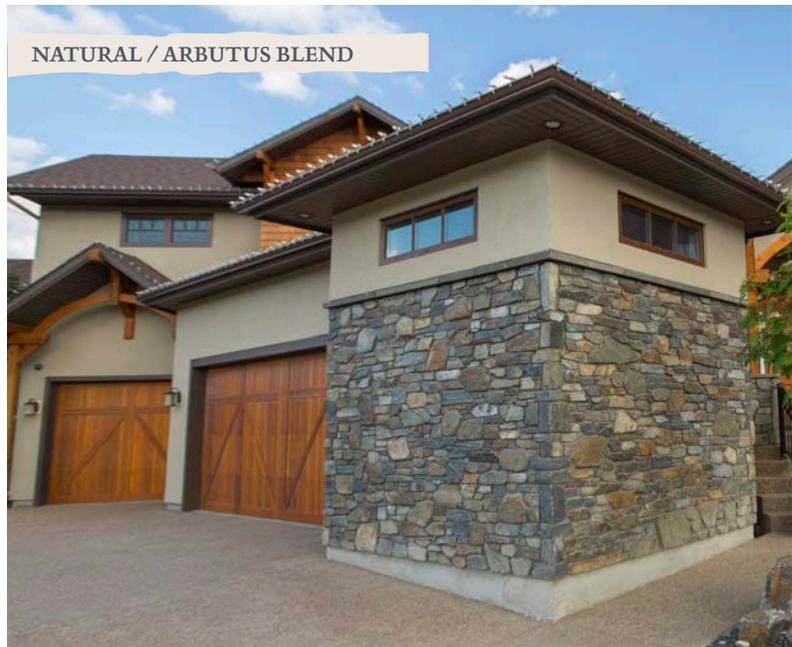
ARBUTUS FIELDSTONE



AUTUMN FLAME LEDGESTONE



NATURAL / ARBUTUS BLEND

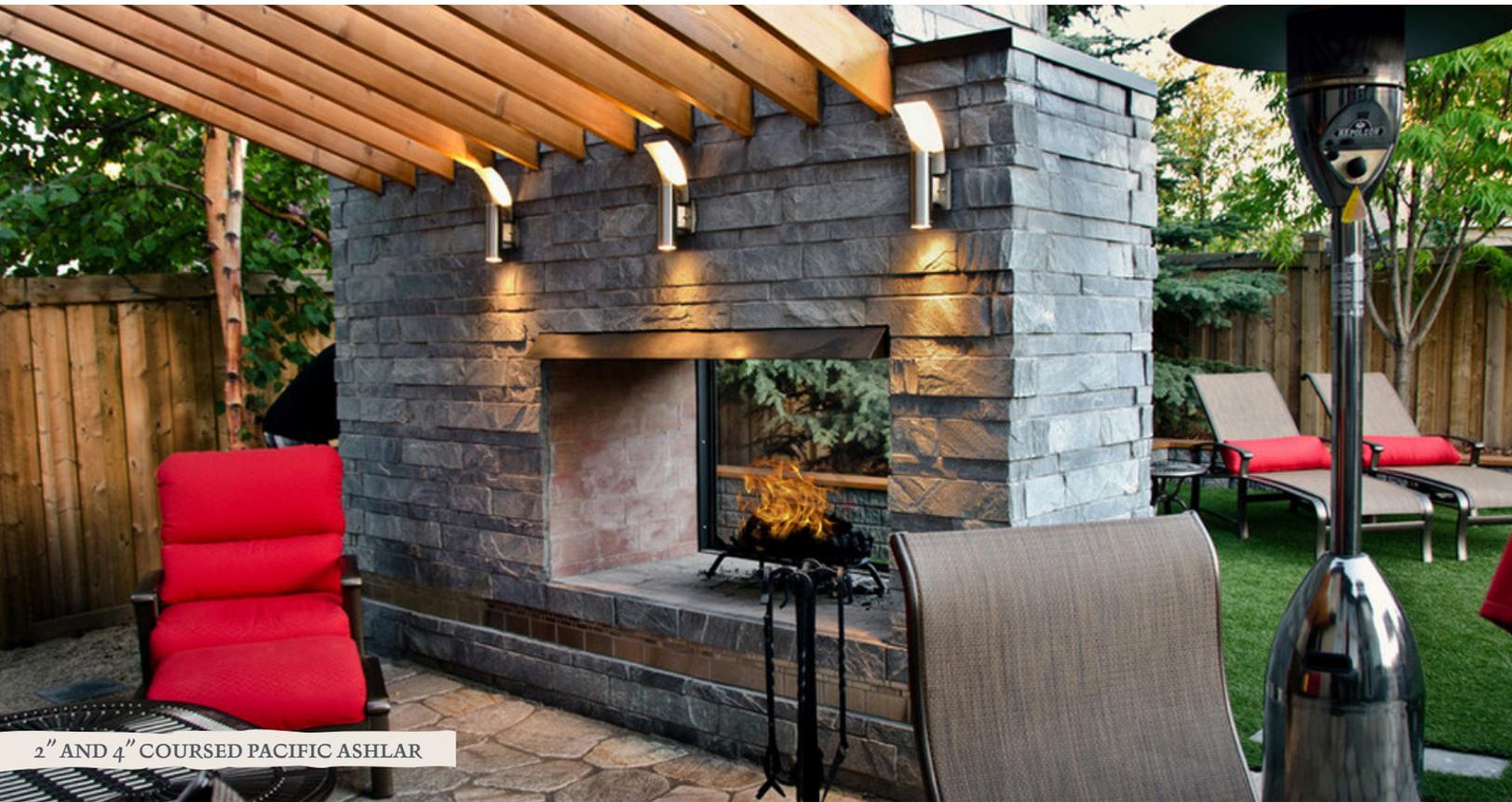


BLACK PEARL LEDGESTONE



AUTUMN GOLD LEDGESTONE





2" AND 4" COURSED PACIFIC ASHLAR



WHAT IS THIN STONE?

K2's thin stone is real stone, cut to approximately 1" thick, making it light enough to be installed as an adhered veneer. It offers ease of application without losing the uncompromising beauty and durability of natural stone. It does not require special mechanical fastening or foundations. Due to its size and weight transportation and installation costs are less than full thickness masonry. All of K2 Stone's thin veneers are offered with matching corners.

BENEFITS OF REAL THIN STONE

1. Uncompromising beauty
2. Unmatched by imitation
3. Does not fade
4. Safe to pressure wash
5. All natural, eco-friendly
6. Ideal for Interior and Exterior
7. No efflorescence
8. LEED and Built Green points
9. Adds value to your property
10. No Volatile Organic Compounds (VOC's)

GENUINE STONE



STONE VENEER AS IT IS APPLIED

OCEAN PEARL STONE PROFILES



BLACK PEARL LEDGESTONE



NATURAL LEDGESTONE



NATURAL LEDGESTONE



CROWN ISLE GRANITE

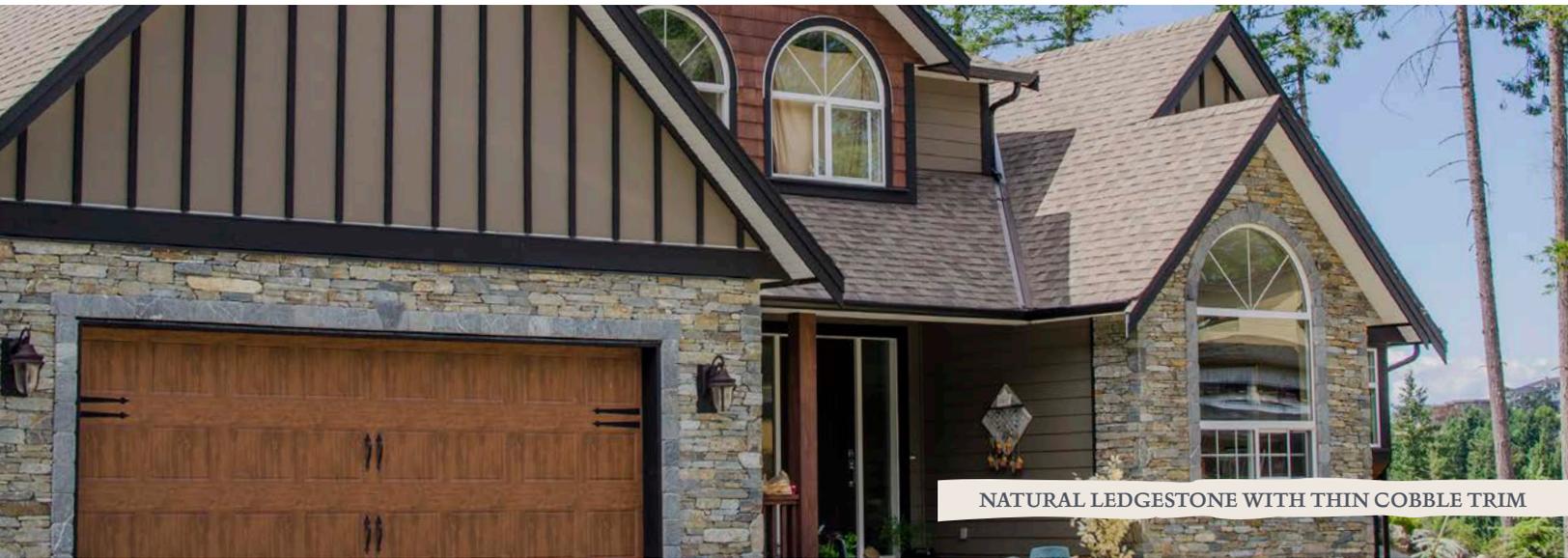


OCEAN MIST LEDGESTONE



K2 STONE VENEER PROFILES

VIEW ALL OF OUR PRODUCTS AT K2STONE.COM



SPRING VALLEY LEDGESTONE



OCEAN MIST LEDGESTONE



OCEAN MIST / NATURAL BLEND



BLACK PEARL MICRO LEDGE



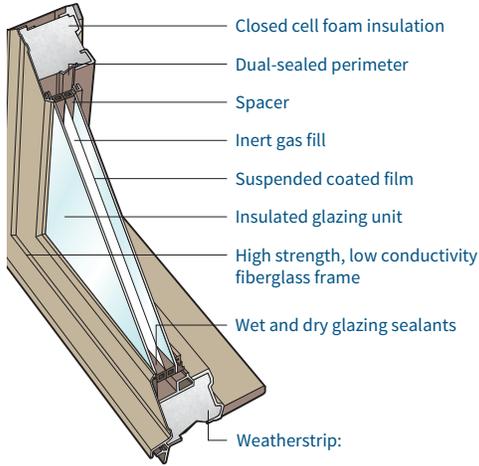
525 Series Alpen Windows

525 Series windows offer an exceptional value proposition, delivering high thermal and structural performance at an affordable price. These low-maintenance fiberglass windows require no sanding nor painting and are suitable for new construction and remodel/replacement projects.

Benefits:

- NFRC Certified thermal performance up to R-5.9 (U-0.17)
- Exceed Energy Star® standards
- AAMA Gold Labeled to Commercial-grade performance
- Superior air and water infiltration resistance
- Center-of-glass thermal performance up to R-8.3 (U-0.12) with solar control and passive solar heat gain options
- Advanced triple-pane, suspended-film glazing technology stabilizes interior glass surface temperature to create comfortable indoor living spaces year-round
- 99% + UV blockage protects interior finishes
- Custom built to fit your budget and design

TECHNICAL SPECIFICATIONS



Closed cell foam insulation

Dual-sealed perimeter

Spacer

Inert gas fill

Suspended coated film

Insulated glazing unit

High strength, low conductivity fiberglass frame

Wet and dry glazing sealants

Weatherstrip:

Triple weatherstrip on casements and awnings.

Double weatherstrip on sliding, single and double hung windows.

525 Series Full Frame NFRC Thermal Performance:

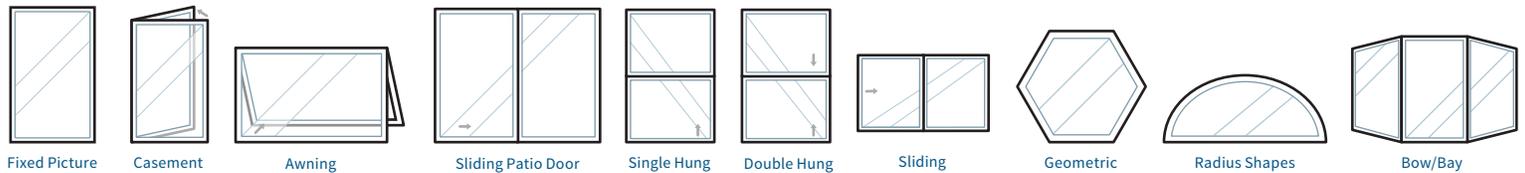
Styles	ALPENGlass 5L					ALPENGlass 5H				
	U-Factor	R-Value	SHGC	VT	CRF	U-Factor	R-Value	SHGC	VT	CRF
Picture Window LP	0.17	5.9	0.29	0.50	64	0.18	5.6	0.47	0.62	63
Picture Window HP	0.17	5.9	0.26	0.45	64	0.18	5.6	0.42	0.55	63
Casement	0.21	4.8	0.23	0.39	65	0.21	4.8	0.37	0.48	61
Awning	0.21	4.8	0.23	0.39	65	0.21	4.8	0.39	0.48	61
Single-Hung	0.21	4.8	0.24	0.41	57	0.22	4.5	0.39	0.51	56
Double-Hung	0.21	4.8	0.24	0.41	57	0.22	4.5	0.39	0.51	56
Horizontal Sliding	0.20	5.0	0.26	0.44	57	0.21	4.8	0.42	0.54	57
Sliding Patio Door	0.20	5.0	0.25	0.42	55	0.21	4.8	0.39	0.52	55

Alpenglass 5L utilizes low-e coated glass and suspended film plus inert-gas filled cavities to reduce unwanted solar heat gain and provide maximum insulation at an affordable price.

Alpenglass 5H offers superior insulation and high solar heat gain for homes with passive solar design; 5H also utilizes low-e coated glass and suspended film and inert-gas filled cavities.

A unique combination of 9 key technologies including a fully insulated fiberglass frame, suspended film, and gas-filled cavities maximize performance.

WINDOW STYLES



Exterior Trim Accessories: Nailing Fin, Aluminum Brick Mould with Nail Fin **Interior Trim Accessories:** Jamb Extensions: 4-9/16", 6-9/16"; Pine, Oak and Fir

SIMULATED DIVIDED LIGHTS

525 Series Windows offer interior and exterior-applied Simulated Divide Light (SDL) Grids in classic styles and custom patterns

Interior (Wood)

Interior grille matches interior paint and color. For windows with interior wood veneer, grille is ready to stain.

Exterior (aluminum)

Exterior grille matches exterior paint color



PAINT AND FINISH OPTIONS

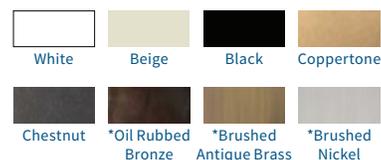
Picture Windows, Casements, Awnings and Sliding Patio Doors



Single/Double Hung and Sliding Window



Hardware



P5641 SERIES

LED Wall Mount • Wet Location



Specifications:

Description:

The P5641 Series are ideal for a wide variety of interior and exterior applications including residential and commercial. The Cylinders feature a 120V alternating current source and eliminates the need for a traditional LED driver. This modular approach results in an encapsulated luminaire that unites performance, cost and safety benefits.

Construction:

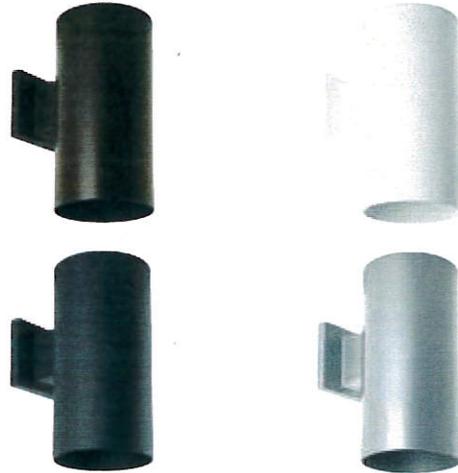
- Powdercoated Antique Bronze (-20), White (-30), Black (-31), Metallic Gray (-82)
- Die-cast aluminum construction
- Flicker-free dimming to 10% brightness with many ELV type dimmers (See Dimming Notes)
- Covers a standard 4" recessed outlet box
- Mounting strap for outlet box included

Performance:

Number of Modules	1
Input Power	29W
Input Voltage	120V
Input Frequency	60Hz
Lumens/LPW	2000/68 (LM-79) per module
CCT	3000K
CRI	90
Life	60,000 (L70/TM-21)
EMI/RFI	FCC Title 47, Part 15, Class B
Min. Start Temp	-30° C
Max. Operating Temp	30° C
Warranty	5 yrs.
Labels	cCSAus certified for wet locations

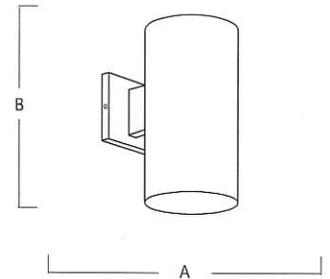
P5641-30/30K

Images:



Dimensions:

A	B
6"	12"
Extends H/CTR	
8-7/8"	4-1/2"



Catalog number:

Base	Finish	Color Temp	CRI
P5641	20 - Antique Bronze	30K - 3000K	90 CRI
	30 - White		
	31 - Black		
	82 - Metallic Gray		

P5641 SERIES

LED Wall Mount • Wet Location



Dimming Notes:

P5641-30/30K

P5641 is designed to be compatible with many Electronic Low Voltage (ELV-Reverse Phase) controls.

The following is a partial list of known compatible dimmer controls:

Electronic Low Voltage ELV Reverse Phase Controls

Lutron	Diva Series	(Part Number DVELV-300)
Lutron	Nova T Series	(Part Number NTELV-300)
Lutron	Vierti Series	(Part Number VTELV-600)
Lutron		(Part Number MAELV-600)
Lutron		(Part Number SPELV-600)
Leviton		(Part Number AWRMG-EAW)
Leviton		(Part Number 6615-P)

Digital type dimmers are not recommended.

Dimming capabilities will vary depending on the dimmer control, load, and circuit installation.

Always refer to dimmer manufacturer instructions or a controls specialist for specific requirements.

Dimmer control brand names where identified above are trade names or registered trademarks of each respective company.