


WGS_1984_Web_Mercator_Auxiliary_Sphere
 © Latitude Geographics Group Ltd.

1: 2,690 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Application for Design Review by the County Coastside Design Review Committee

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
 Mail Drop PLN 122 ■ 650 · 363 · 4161 ■ FAX 650 · 363 · 4849

Permit #: PLN 2017 - 00155

Other Permit #: _____

1. Basic Information

Applicant:

Name: Doug Machado

Address: PO Box 2902

El Granada Zip: 94018

Phone,W: 6506702810 H: 6507261408

Email: dougrmachado@gmail.com

Owner (if different from Applicant):

Name: William Bright

Address: PO Box 2902

Half Moon Bay Zip: _____

Phone,W: 4152617077 H: _____

Email: BBright@afncorp.com

Architect or Designer (if different from Applicant):

Name: _____

Address: _____ Zip: _____

Phone,W: _____ H: _____ Email: _____

2. Project Site Information

Project location:

APN: 036122370

Address: Birch St

Montara Zip: 94,037

Zoning: R1 S17

Parcel/lot size: 6261 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe): _____

3. Project Description

Project:

- New Single Family Residence: 3147 sq. ft
- Addition to Residence: _____ sq. ft
- Other: _____

Describe Project:

Proposed construction of a single family residence on vacant land

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Fill in Blanks:	Material	Color/Finish (If different from existing, attach sample)	Check if matches existing
a. Exterior walls	Hardie siding	Grey	<input type="checkbox"/>
b. Trim	Ceder	White	<input type="checkbox"/>
c. Windows	Milgard Tuscany	White	<input type="checkbox"/>
d. Doors	Wood	Blue	<input type="checkbox"/>
e. Roof	Comp shingle	Grey/Black	<input type="checkbox"/>
f. Chimneys	Eldorado Stone	Grey/ Brown	<input type="checkbox"/>
g. Decks & railings	Ceder rail with trex decking	White/ Brown	<input type="checkbox"/>
h. Stairs			<input type="checkbox"/>
i. Retaining walls	Concrete	Dark grey	<input type="checkbox"/>
j. Fences	Redwood	Natural	<input checked="" type="checkbox"/>
k. Accessory buildings			<input type="checkbox"/>
l. Garage/Carport	Steel door	White	<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.



Owner: _____

Applicant: _____

Date: _____

Date: _____

4-20-2017

Certificate of Exemption or Exclusion from a Coastal Development Permit

Permit #: PLN 2017 - 00155
 Permit #: BLD _____

Permanent Record
 Microfilming Required

1. Basic Information

Owner
 Name: William Bright
 Address: 911 Bancroft Ave.
Half Moon Bay
 Zip: 94019
 Phone, W: 415 261 7077 H: _____
 Email Address: _____

Applicant
 Name: Doug Machado
 Address: P.O. Box 2902
El Granada
 Zip: 94018
 Phone, W: _____ H: _____
 Email Address: dougmachado@gmail.com

2. Project Information

Project Description:
Single Family Residence
on Vacant Land (New)

Assessor's Parcel Number(s):
036 - 122 - 370

Existing water source:
 Utility connection NONE
 Well _____

Proposed water source:
 Utility connection M.S.W.D
 Well _____

Staking of well location and property lines are required.

Provide site plan depicting location and all trees.
 Will this require any grading or vegetation/tree removal? Yes No

If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

Owner _____ Date _____ Applicant [Signature] Date 4-20-2017

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

Environmental Information Disclosure Form

Planning and Building Department

PLN 2017-00155

BLD _____

Project Address: Birch St
Montara, Ca

Assessor's Parcel No.: 036 — 122 — 370

Zoning District: R-1 S-17

Name of Owner: William Bright

Address: 911 Bancroft Ave

Half Moon Bay Phone: 4152617077

Name of Applicant: Doug Machado

Address: PO Box 2902

El Granada, Ca. Phone: 6506702810

Existing Site Conditions

Parcel size: 6261 SQFT

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). EASEMENT FOR SEWER AND WATER PIPE LINE PER BOOK 192 OF DEEDS, PAGE 178

EASEMENT FOR SEWER AND WATER PIPE LINE PER BOOK 192 OF DEEDS, PAGE 178

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>25</u> c.y. Fill: <u>5</u> c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

Excavation of crawl space for proposed house.

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u></p> <p>If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>b. <u>Land disturbance of 1 acre or more of area?</u></p> <p>If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.</p>

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:



Date: 4-20-2017

(Applicant may sign)

REVISIONS	DATE	BY

RECEIVED

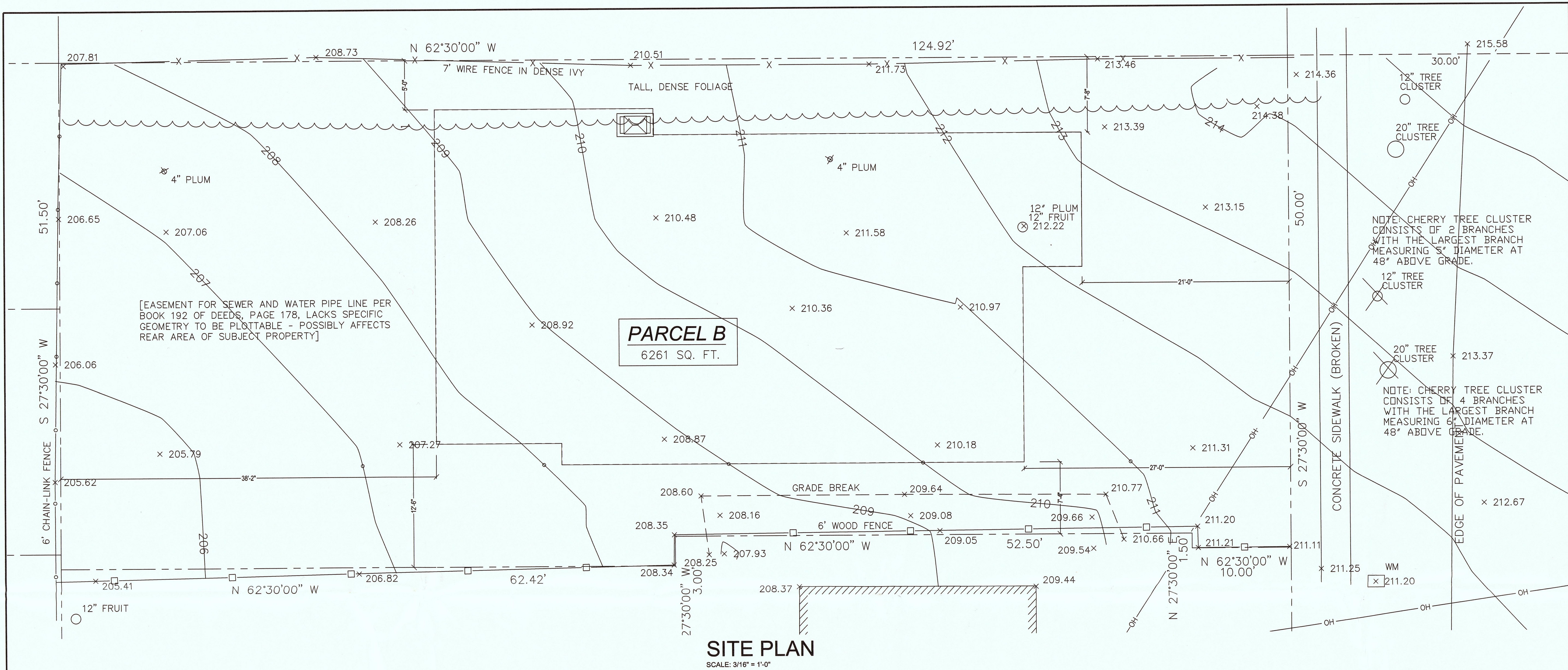
JUL 06 2017

San Mateo County
Planning Division

PLN2017-00155

BIRCH STREET RESIDENCE

APN : 036-122-370
BIRCH ST. MONTARA CA.



PARCEL B
6261 SQ. FT.

SITE PLAN
SCALE: 3/16" = 1'-0"

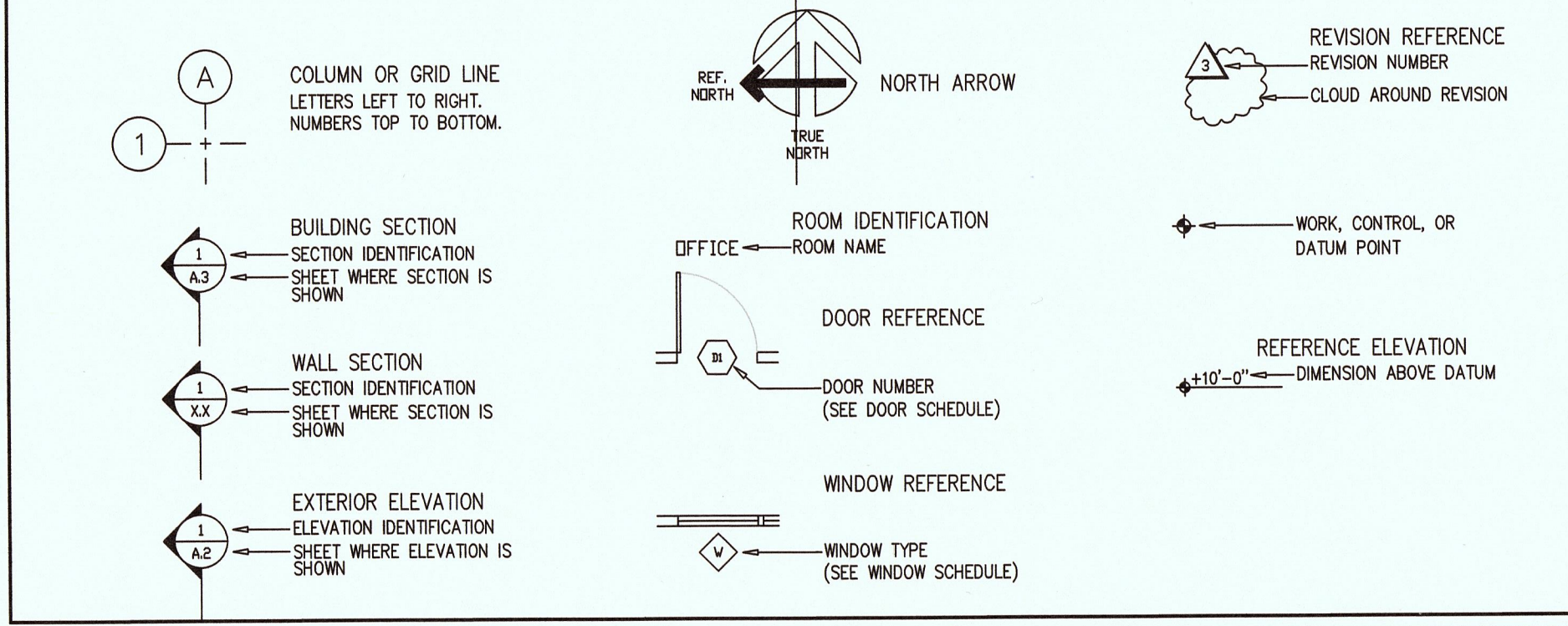
ABBREVIATIONS

ACOUS. Acoustical	ADJ. Adjustable	AGGR. Aggregate	AL. Aluminum	APPROX. Approximate	ARCH. Architectural	ASPH. Asphalt	BD. Board	BITUM. Bituminous	BLDG. Building	BLK. Block	BLKG. Blocking	BM. Beam	BOT. Bottom	CAB. Cabinet	C.B. Catch Basin	CEM. Cement	CER. Ceramic	C.I. Cast Iron	CLG. Ceiling	CLD. Closet	CLR. Clear	COL. Column	CONC. Concrete	CONN. Connection	CONSTR. Construction	CONT. Continuous	CORR. Corridor	CTSK. Countersink	CNTR. Counter	CTR. Center	DBL. Double	DEPT. Department	D.F. Drinking Fountain	DET. Detail	DIA. Diameter	DIM. Dimension	DISP. Dispenser	DN. Down	D.O. Door Opening	DR. Door	DNR. Downspout	DS. Dry Standpipe	DWG. Drawing	E. East	E.A. Each	E.J. Expansion Joint	E.L. Elevation	ELEC. Electrical	ELEV. Elevator	EMER. Emergency	ENCL. Enclosure	E.P. Electrical Panelboard	EQ. Equal	EQPT. Equipment	E.W.C. Electric Water Cooler	EXST. Existing	EXPO. Exposed	EXP. Expansion	EXT. Exterior	F.A. Fire Alarm	F.B. Flat Bar	F.D. Floor Drain	FDN. Foundation	F.E. Fire Extinguisher	F.E.C. Fire Extinguisher Cabinet	F.H.C. Fire Hose Cabinet	FIN. Finish	FL. Floor	FLASH. Flashing	FLUOR. Fluorescent	F.O.C. Face of Concrete	F.O.F. Face of Finish	F.O.S. Face of Studs	FPFR. Fireproof	FS. Full Size	FT. Foot or Feet	FTG. Footing	FURR. Furring	FUT. Future	G.A. Gauge	GALV. Galvanized	G.B. Grab Bar	GL. Glass	GND. Ground	GR. Grade	GYP. Gypsum	H.B. Hose Bibb	H.C. Hollow Core	HDWD. Hardwood	HDWE. Hardware	HR. Horizontal	HR. Hour	HGT. Height	ID. Inside Diameter (Dim.)	INSUL. Insulation	INT. Interior	JAN. Janitor	JNT. Joint	RWD. Redwood	R.W.L. Rain Water Leader	LAB. Laboratory	LAM. Laminate	LAV. Lavatory	LCKR. Locker	LT. Light	MAX. Maximum	M.C. Mechanical	MECH. Membrane	MET. Metal	MFR. Manufacturer	MH. Manhole	MIN. Minimum	MIR. Mirror	MISC. Miscellaneous	M.O. Masonry Opening	MTD. Mounted	MUL. Mullion	N. North	N.I.C. Not In Contract	NO. or # Number	NOM. Nominal	N.T.S. Not To Scale	O.A. Overall	OBS. Obscure	O.C. On Center	O.D. Outside Diameter (Dim.)	OFF. Office	OPNG. Opening	OPP. Opposite	PRCST. Pre-cast	PL. Plate	P. LAM. Plastic Laminate	PLJS. Plywood	PLYWD. Plywood	PR. Pair	PT. Paper Towel Dispenser	P.T.D. Combination Paper Towel Dispenser & Receptacle	PARTN. Partition	P.T.R. Paper Towel Receptacle	Q.T. Quarry Tile	R. Riser	RAD. Radius	R.D. Roof Drain	REF. Reference	REFR. Refrigerator	REG. Register	REINF. Reinforced	REQ. Required	RESIL. Resilient	RESIL. Resilient	RM. Room	RO. Rough Opening	R.W. Redwood	R.W.L. Rain Water Leader	S. South	S.C. Solid Core	S.C.D. Seat Cover Dispenser	SCHED. Schedule	S.D. Soap Dispenser	SECT. Section	SH. Shelf	SHR. Shower	SHT. Sheet	SIM. Similar	S.N.D. Sanitary Napkin Dispenser	S.N.R. Sanitary Napkin Receptacle	SPEC. Specification	SQ. Square	SST. Stainless Steel	S.S.K. Service Sink	STA. Station	STD. Standard	STR. Structural	SUSP. Suspended	SYM. Symmetrical	TRD. Tread	T.B. Towel Bar	T.C. Top of Curb	TEL. Telephone	TER. Terrace	T.&G. Tongue and Groove	THK. Thick	T.P. Top of Pavement	T.P.D. Toilet Paper Dispenser	T.V. Television	T.W. Top of Wall	TYP. Typical	UNF. Unfinished	U.O.N. Unless Otherwise Noted	UR. Urinal	VERT. Vertical	VEST. Vestibule	W. West	W/ With	WC. Water Closet	WO. Wood	W/O Without	WP. Waterproof	WNSCT. Wainscot	WT. Weight
-------------------	-----------------	-----------------	--------------	---------------------	---------------------	---------------	-----------	-------------------	----------------	------------	----------------	----------	-------------	--------------	------------------	-------------	--------------	----------------	--------------	-------------	------------	-------------	----------------	------------------	----------------------	------------------	----------------	-------------------	---------------	-------------	-------------	------------------	------------------------	-------------	---------------	----------------	-----------------	----------	-------------------	----------	----------------	-------------------	--------------	---------	-----------	----------------------	----------------	------------------	----------------	-----------------	-----------------	----------------------------	-----------	-----------------	------------------------------	----------------	---------------	----------------	---------------	-----------------	---------------	------------------	-----------------	------------------------	----------------------------------	--------------------------	-------------	-----------	-----------------	--------------------	-------------------------	-----------------------	----------------------	-----------------	---------------	------------------	--------------	---------------	-------------	------------	------------------	---------------	-----------	-------------	-----------	-------------	----------------	------------------	----------------	----------------	----------------	----------	-------------	----------------------------	-------------------	---------------	--------------	------------	--------------	--------------------------	-----------------	---------------	---------------	--------------	-----------	--------------	-----------------	----------------	------------	-------------------	-------------	--------------	-------------	---------------------	----------------------	--------------	--------------	----------	------------------------	-----------------	--------------	---------------------	--------------	--------------	----------------	------------------------------	-------------	---------------	---------------	-----------------	-----------	--------------------------	---------------	----------------	----------	---------------------------	---	------------------	-------------------------------	------------------	----------	-------------	-----------------	----------------	--------------------	---------------	-------------------	---------------	------------------	------------------	----------	-------------------	--------------	--------------------------	----------	-----------------	-----------------------------	-----------------	---------------------	---------------	-----------	-------------	------------	--------------	----------------------------------	-----------------------------------	---------------------	------------	----------------------	---------------------	--------------	---------------	-----------------	-----------------	------------------	------------	----------------	------------------	----------------	--------------	-------------------------	------------	----------------------	-------------------------------	-----------------	------------------	--------------	-----------------	-------------------------------	------------	----------------	-----------------	---------	---------	------------------	----------	-------------	----------------	-----------------	------------

NOTES

- NEW RESIDENTIAL BUILDINGS SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY.
- ROOF COVERINGS AND ASSOCIATED MATERIALS SHALL HAVE A MINIMUM FIRE RATING OF CLASS B OR HIGHER AS DEFINED IN THE CALIFORNIA BUILDING CODE, COASTSIDE FIRE DISTRICT ORDINANCE 2013-03.
- BUILDING SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM.
- BUILDER TO PROVIDE AN OPERATION AND MAINTENANCE MANUAL TO THE BUILDING OCCUPANT OR OWNER PER CAL GREEN SEC.4.408.1
- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1)
- PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2)
- AEROSOL PAINTS AND OTHER COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.1) VERIFICATION OF COMPLIANCE SHALL BE PROVIDED
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.3)
- MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4.
- PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS 4.504.5.
- INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (4.505.2).
- CHECK MOISTURE CONTENT OF BUILDING MATERIAL USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (4.505.3).
- NO PLASTIC PIPING IS ALLOWED WITHIN THE BUILDING FOOTPRINT OR FOR THE WATER SERVICE.

SYMBOLS



ARCHITECTURAL MATERIALS INDICATIONS

COMPOSITION SHINGLES	EARTH
COLOR PAYER	12"x12" SLATE TILES
LAP SIDING	WOOD
SHINGLE SIDING	METAL ROOFING
GLASS	CONCRETE

NOTE: ALL MATERIAL INDICATIONS LISTED SHALL APPLY UNLESS OTHERWISE NOTED.

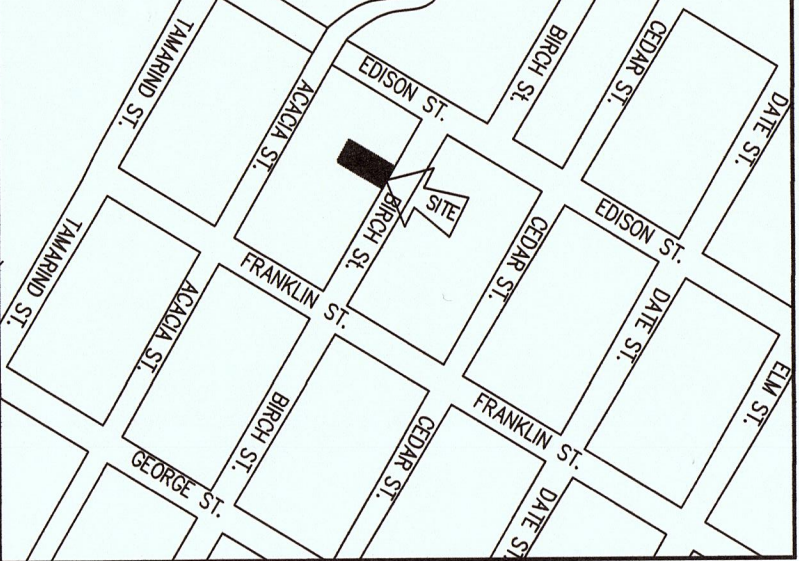
BUILDING CODES

ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP SHALL COMPLY TO THE 2013 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), RESIDENTIAL CODE (CRC), PLUMBING CODE (IPC), MECHANICAL CODE (MCC), FIRE CODE (FC), AND ELECTRICAL CODE (CEC) 2013 CALIFORNIA ENERGY CODE, 2013 CALIFORNIA GREEN BUILDING STANDARDS AND ALL APPENDICES THERETO.

SITE DATA

OWNER :	WILLIAM BRIGHT
PHONE NUMBER :	(415)-261-7077
MAILING ADDRESS :	911 BANCROFT AVE HALF MOON BAY CA
SITE ADDRESS :	APN: 036-122-370 BIRCH ST MONTARA CA
ASSESSORS PARCEL NO.:	036-122-370
BUILDING TYPE :	R1
OCCUPANCY TYPE :	R-3/U
CONSTRUCTION TYPE :	V-B
LOT AREA :	6261 SQ.FT.
ALLOWABLE LOT COVERAGE :	2191 SQ.FT.
LOT COVERAGE :	2185 SQ.FT.
ALLOWABLE FLOOR AREA :	3318 SQ.FT.
GARAGE :	542 SQ.FT.
LEVEL 1 :	1395 SQ.FT.
LEVEL 2 :	1210 SQ.FT.
TOTAL FLOOR AREA	3147 SQ.FT
ALLOWABLE FAR	.53 (OR 53 %)
FAR	.50 (OR 50 %)

VICINITY



INDEX

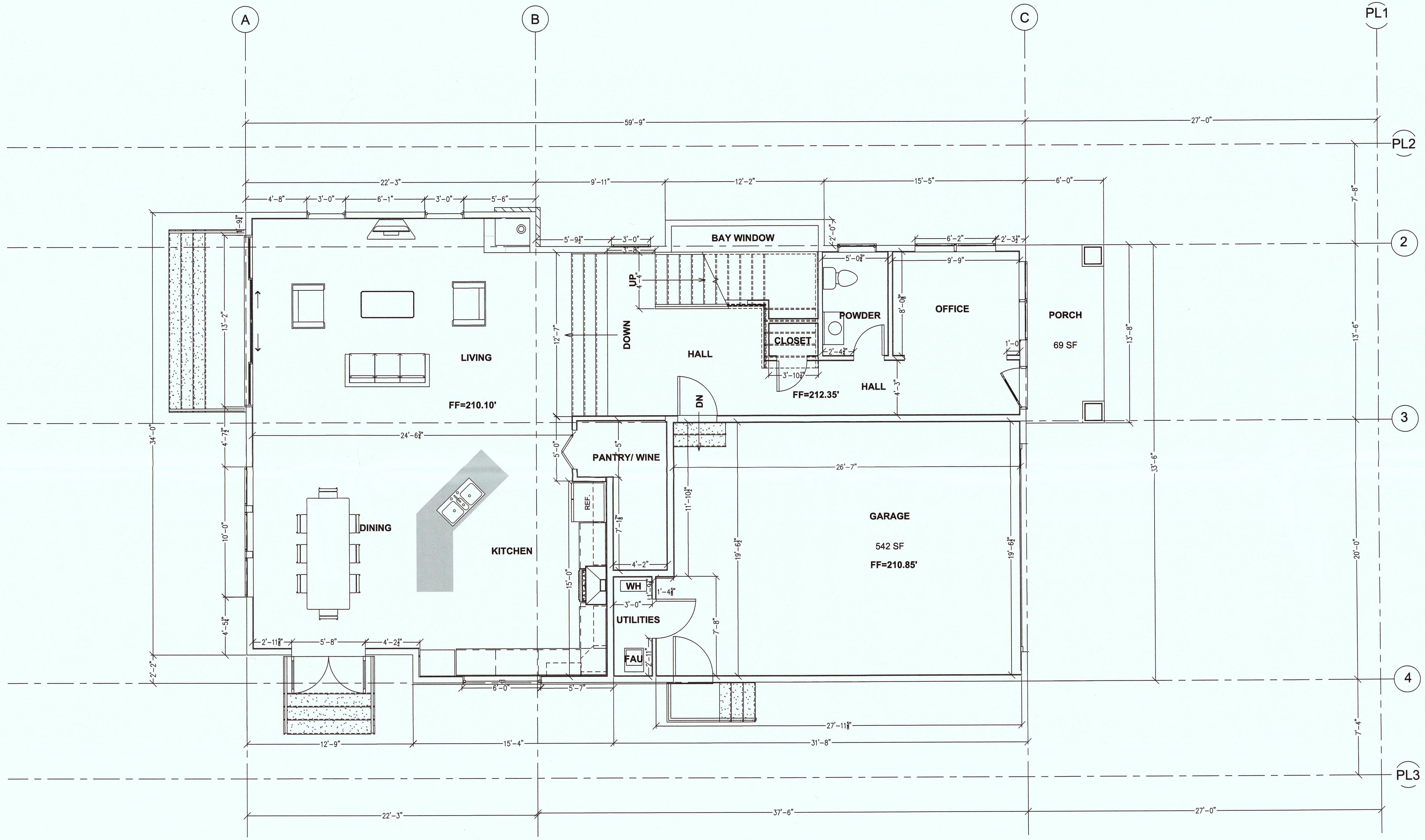
SHEET NO.	DESCRIPTION
A0	COVER SHEET, MOUNITY MAP, SITE PLAN, PERSPECTIVE
SU1	LAND SURVEY
C1	GRADING AND DRAINAGE PLAN
C2	EROSION AND SEDIMENT CONTROL PLAN
A1	1ST FLOOR PLAN
A2	2ND FLOOR PLAN
A3	NORTH & WEST ELEVATION
A4	SOUTH & EAST ELEVATION
A5	SECTIONS
A6	ROOF PLAN
A7	LANDSCAPE PLAN

SHEET TITLE:
SITE PLAN

SCALE: AS NOTED
DATE: 04-07-2017

SHEET NO.
A-0

REVISIONS	DATE	BY



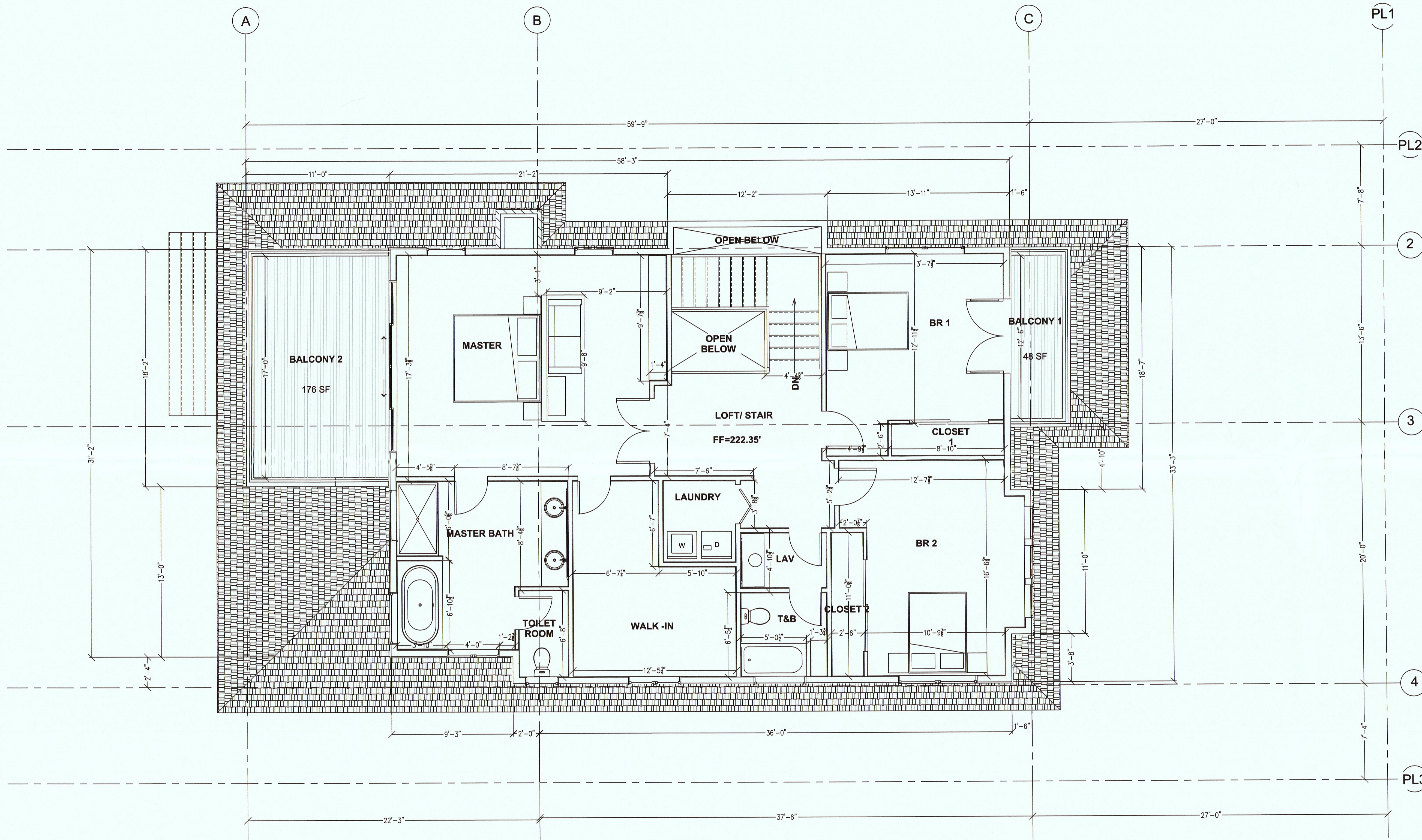
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

BIRCH STREET RESIDENCE

APN : 036-122-370
BIRCH ST. MONTARA CA.

SHEET TITLE:	FIRST FLOOR PLAN
SCALE:	AS NOTED
DATE:	04-07-2017
SHEET NO.	A-1

REVISIONS	DATE	BY



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

BIRCH STREET RESIDENCE

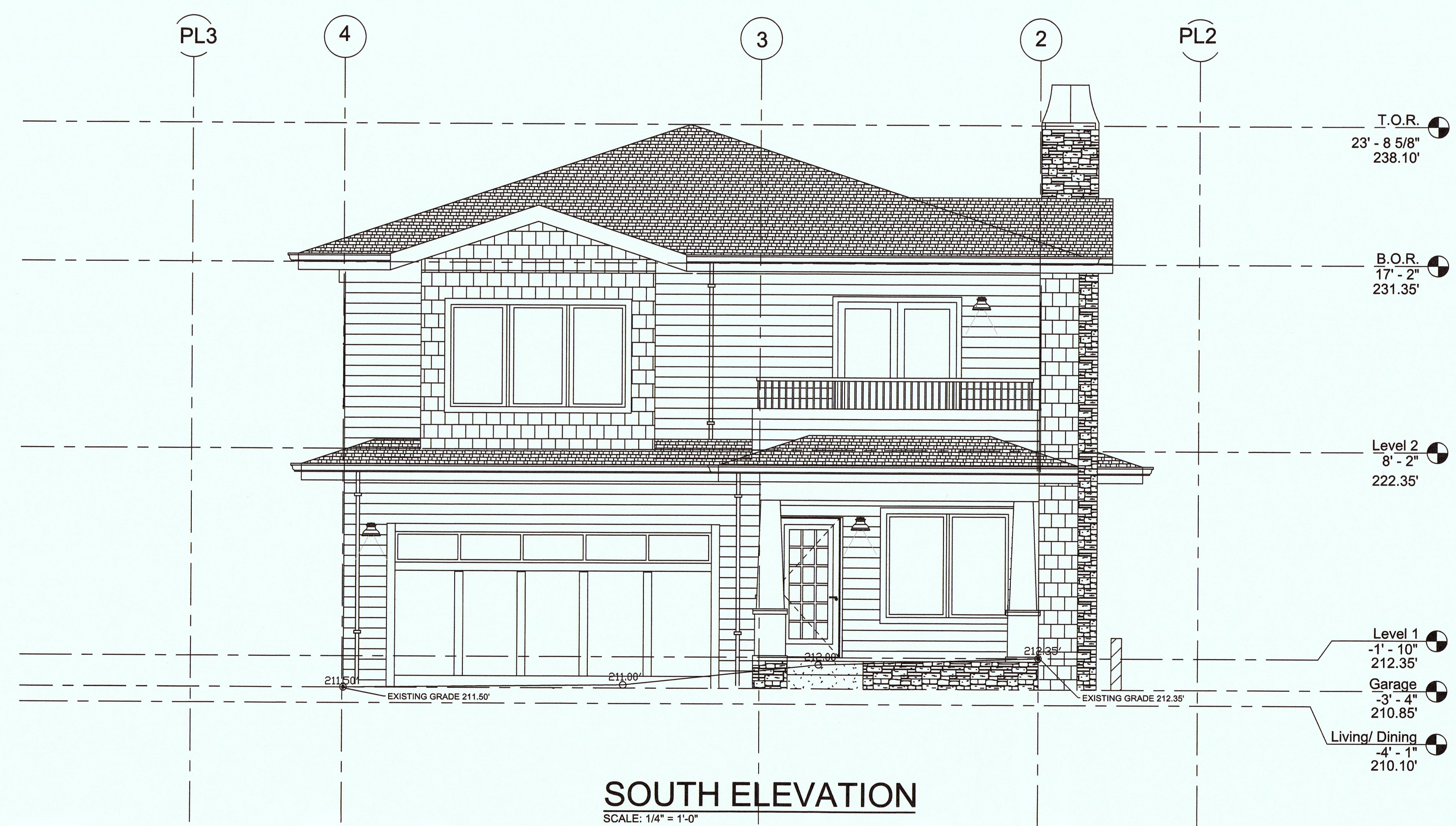
APN : 036-122-370
BIRCH ST. MONTARA CA.

SHEET TITLE:
SECOND FLOOR PLAN

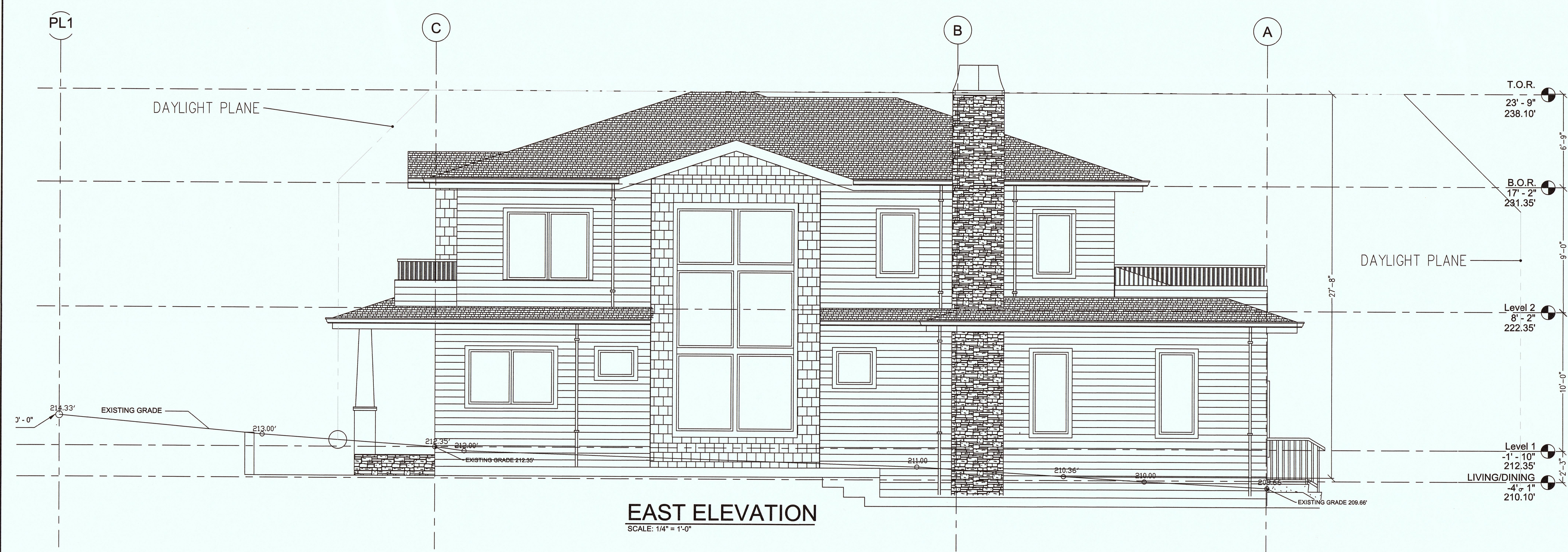
SCALE: AS NOTED
DATE: 04-07-2017

SHEET NO.
A-2

REVISIONS	DATE	BY



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

BIRCH STREET RESIDENCE

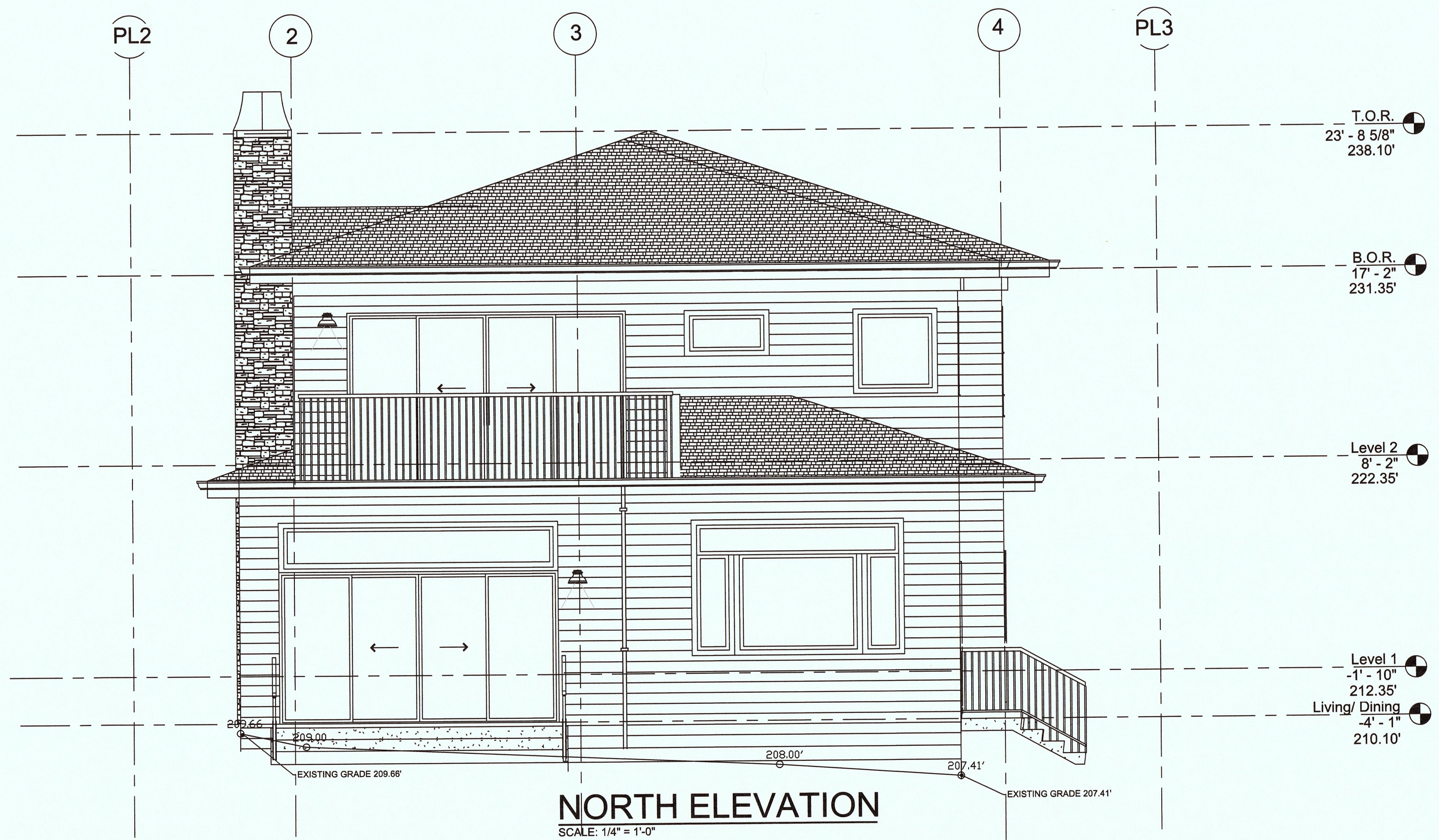
APN : 036-122-370
BIRCH ST. MONTARA CA.

SHEET TITLE:
SOUTH & EAST ELEVATION

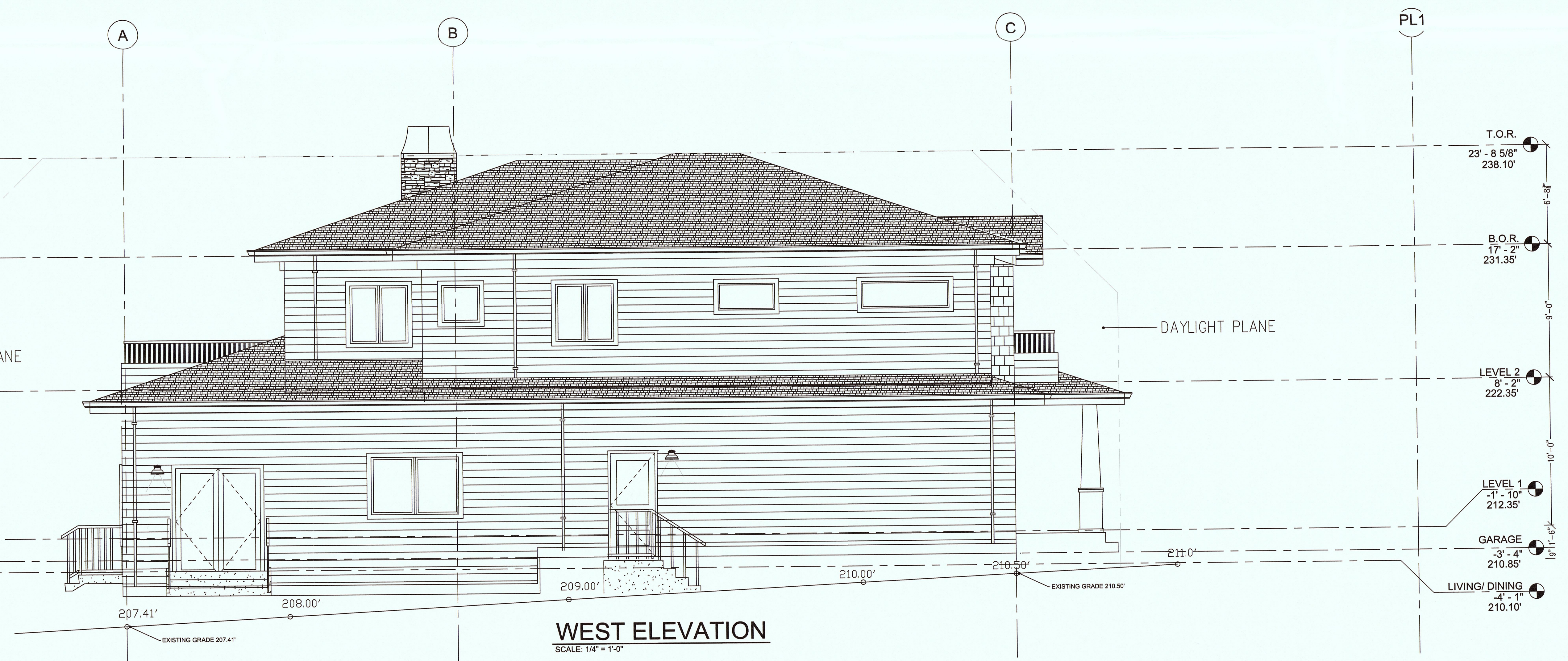
SCALE: AS NOTED
DATE: 04-07-2017

SHEET NO.
A-3

REVISIONS	DATE	BY



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

BIRCH STREET RESIDENCE

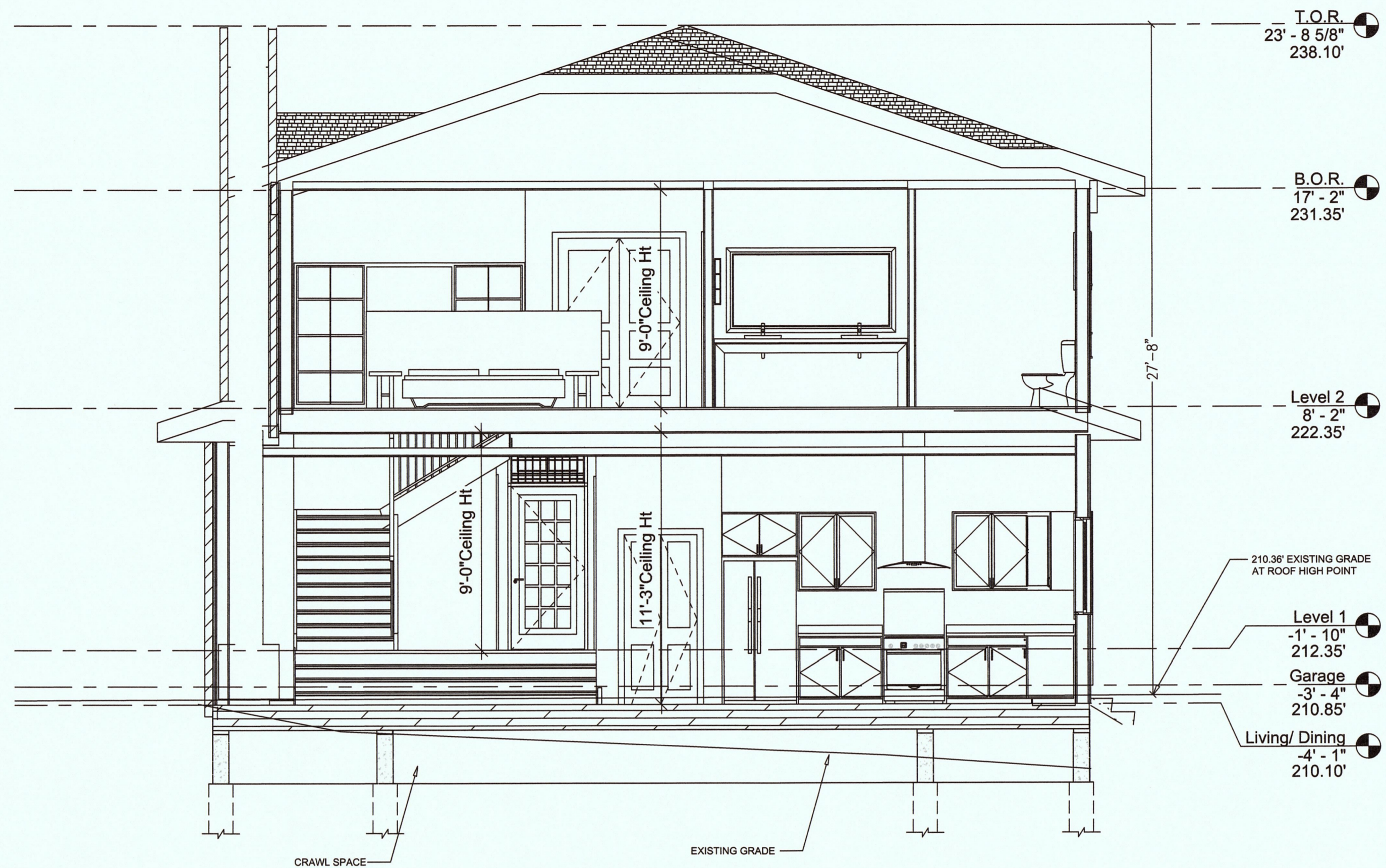
APN : 036-122-370
BIRCH ST. MONTARA CA.

SHEET TITLE:
NORTH & WEST ELEVATION

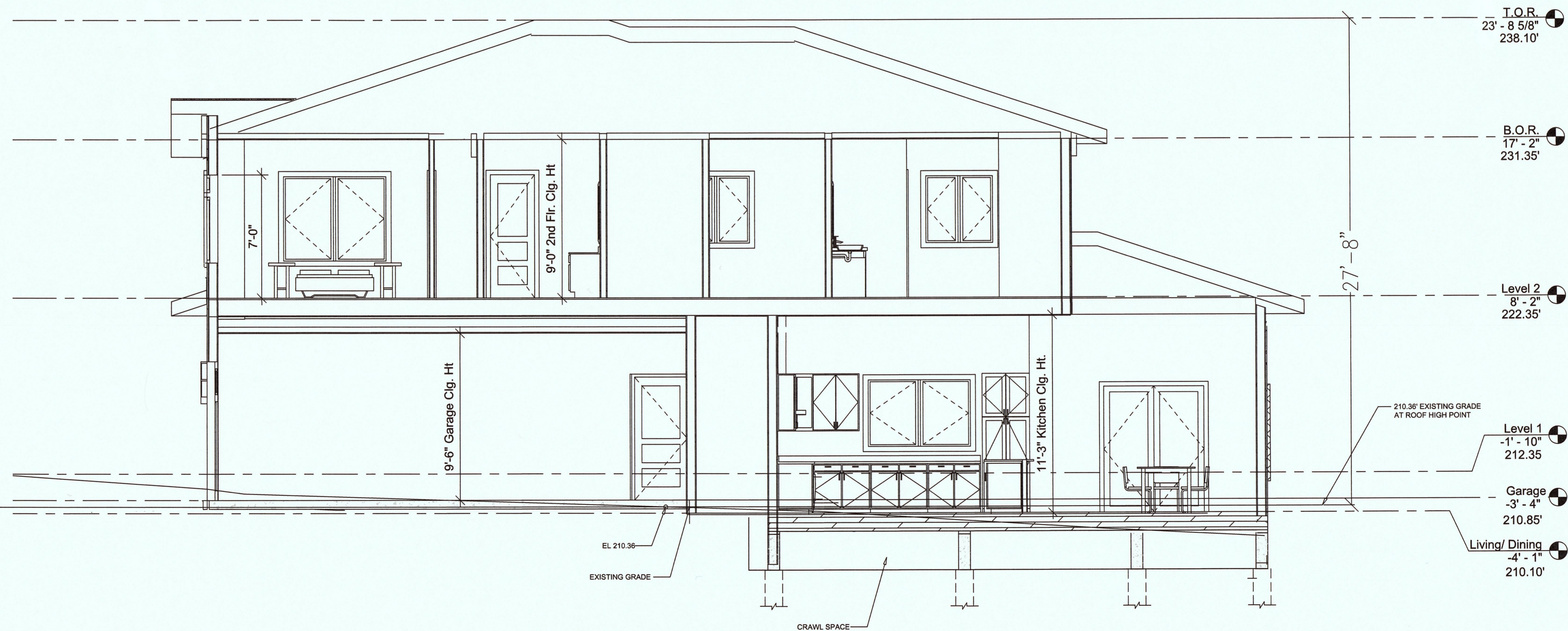
SCALE: AS NOTED
DATE: 04-07-2017

SHEET NO.
A-4

REVISIONS	DATE	BY



CROSS SECTION
SCALE: 1/4" = 1'-0"



LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0"

BIRCH STREET RESIDENCE

APN : 036-122-370
BIRCH ST. MONTARA CA.

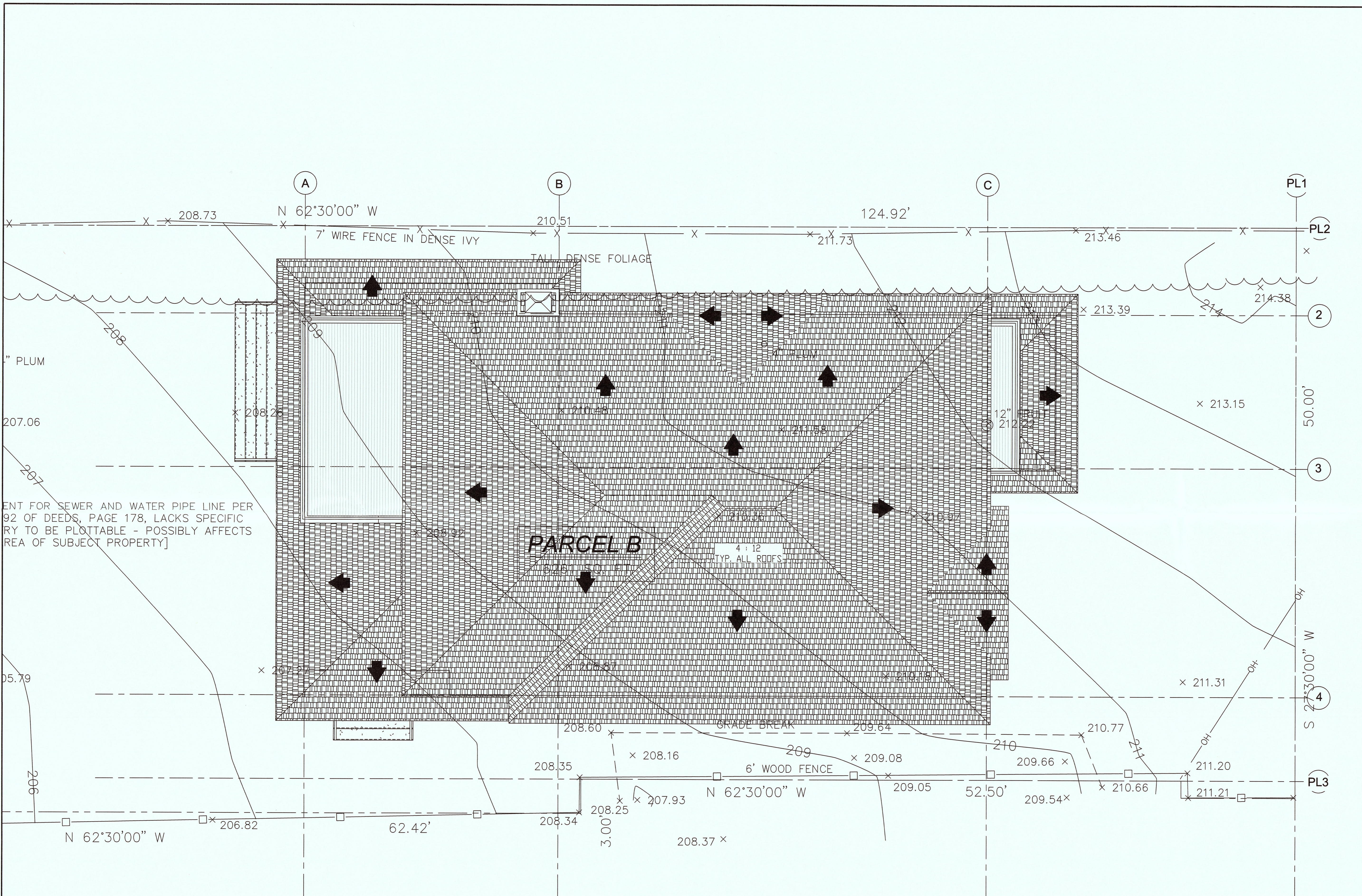
SHEET TITLE:
**CROSS SECTION
&
LONGITUDINAL SECTION**

SCALE: AS NOTED
DATE: 04-07-2017

SHEET NO.

A-5

REVISIONS	DATE	BY



MENT FOR SEWER AND WATER PIPE LINE PER 92 OF DEEDS, PAGE 178, LACKS SPECIFIC Y TO BE PLOTTABLE - POSSIBLY AFFECTS REA OF SUBJECT PROPERTY]

PARCEL B

4:12
TYP. ALL ROOFS

ROOF PLAN
SCALE: 1/4" = 1'-0"

BIRCH STREET RESIDENCE

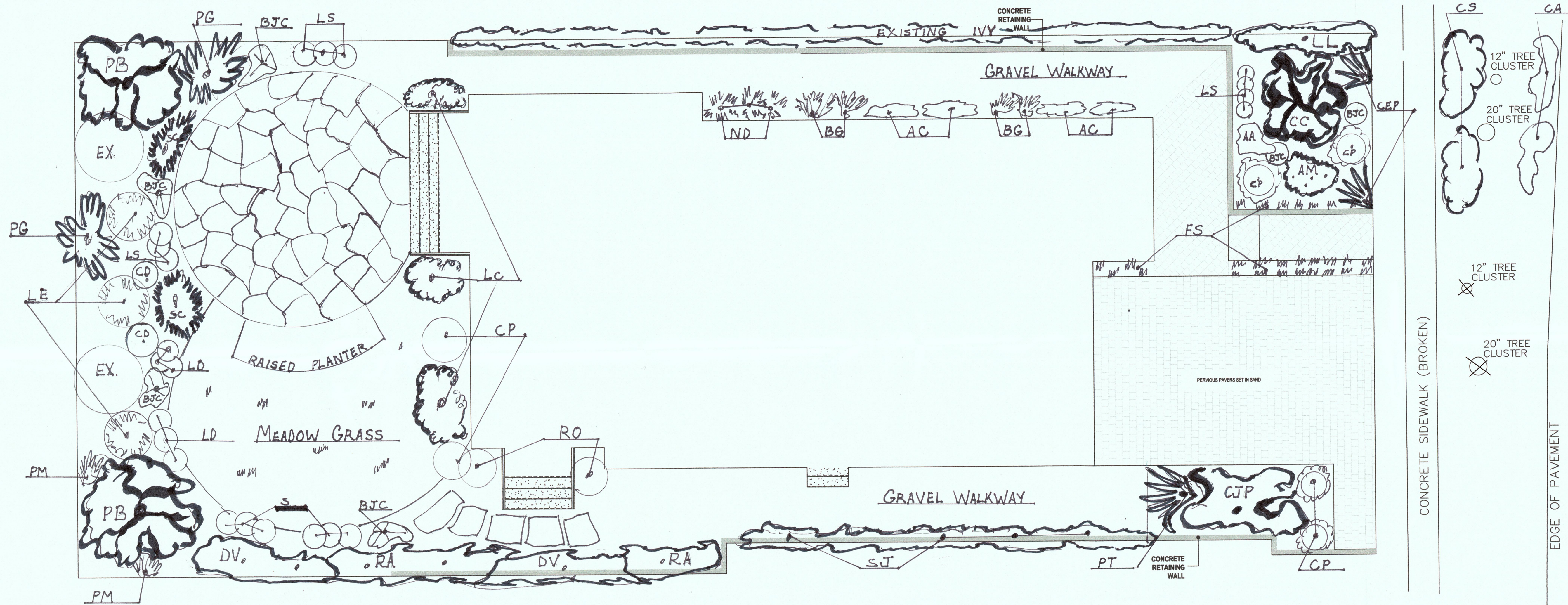
APN : 036-122-370
BIRCH ST. MONTARA CA.

SHEET TITLE:
ROOF PLAN

SCALE: AS NOTED
DATE: 04-07-2017

SHEET NO.
A-6

REVISIONS	DATE	BY



PLANT LIST & DESIGN
Machado Property Birch Street Montara, CA
Compiled by Linda Montalto Patterson Landscape Designer
650 726-2513

Botanical Name	Common Name	Qty	Size
Trees			
CC	Cotinus Coggryia 'Royal purple'	1	15 gal
DV	Dodonea Viscosa 'Purpurea'	3	1 gal
EX	Existing fruit trees to remain		
LL	Leptospermum Laevigatum 'Helene Strybing'	1	15gal
PB	Prunus Bliireana	2	15 gal
PG	Podocarpus gracilior	2	5 gal
RH	Rhamnus Alaternus	3	1 gal
Small Trees / Large Shrubs			
CJP	Ceanothus 'Julia Phelps'	1	15 gal

LANDSCAPE PLAN
SCALE: 3/16" = 1'-0"

Shrubs and Perennials			
AA	Artemisia Absinthium	Common Wormwood	1 1 gal
AC	Acanthus Mollis	Bear's breach	4 1gal
AM	Achillea Millefolium	Yarrow (Mixed Colors)	2 1 gal
BJC	Buxus Japonica Compacta	Boxwood	4 1 gal
CD	Correa Pulchella	"DuskyBells"	2 1 gal
CEP	Cordylone	"ElectricPink"	2 2 gal
CP	Coleonema Pulchrum	"Sunset Gold"	6 1 gal
LC	Loropetalum Chinense	"Razzleberry"	3 1 gal
LD	Lavandula Dentata	French Lavender	6 1 gal
LE	Leucadendron Salignum	"Blush"	3 1 gal
LS	Lavandula Stoechas	Spanish Lavender	10 1 gal
ND	Nandina Domestica	Heavenly Bamboo	3 1 gal
PT	Phormium tenax	Maori Sunrise	1 2 gal
RO	Rosmarinus Officinalis	Tuscan Blue or Blue Spires	2 1 gal
SC	Santolina Chamaecyparissus	Lavender Cotton	2 1 gal
SS	Sisyrinchium Bellum	Arroyo de la Cruz blue	6 1 gal

Ferns / Grasses / Ground Cover / Vines			
BG	Blechnum Gibbum	Fern	4 1 gal
CA	Calandrinia spectabilis		3 1 gal
CS	Cistus Salviifolius	Rock Rose 'White'	2 1 gal
FS	Festuca Glaucia	"Siskiyou Blue"	14 1 gal
PM	Polystichum Munitum	"Western Sword Fern"	2 1 gal
SJ	Solanum Jasminoides	Potato Vine	4 1 gal

All plants listed are native and or drought tolerant. Existing fruit trees, rear of property to remain.
2 existing tree clusters, front of property to remain. All to be pruned.

BIRCH STREET RESIDENCE

APN : 036-122-370
BIRCH ST. MONTARA CA.

SHEET TITLE:
LANDSCAPE PLAN

SCALE: AS NOTED
DATE: 04-07-2017

SHEET NO.

A-7

SW 7571
Casa Blanca

SW 6199
Rare Gray

SW 6244
Naval

253-C6



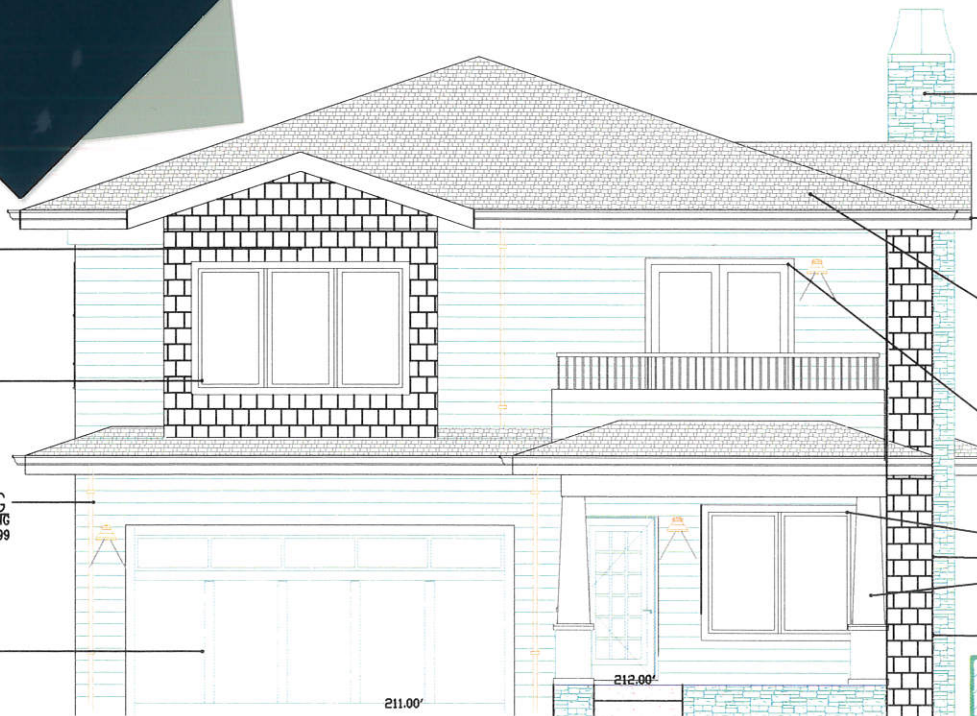
SHINGLE SIDING
HARDY SHINGLE SIDING
SHERWIN WILLIAMS RARE GREY #6199

WINDOWS
MILGARD TUSCANY WHITE



LAP SIDING
HARDY PLANK SMOOTH LAP SIDING
SHERWIN WILLIAMS RARE GRAY #6199

GARAGE DOOR
COPLAY COACHMAN SERIES WHITE



STONE CHIMNEY
EL DORADO STONE MOONLIGHT ROUGH CUT



COPPER GUTTERS AND
DOWNSPOUTS (UNTREATED)

ROOFING
CERTAINTED LANDMARK OLD OVERTON



ALL WOOD TRIM
CEDAR
SHERWIN WILLIAMS CASA BLANCA #7571

FRONT DOOR
PAINT GRADE
SHERWIN WILLIAMS NAVAL #6244

RECEIVED

APR 20 2017

San Mateo County
Planning Division



LED Energy Efficient Black 7 1/2" High Outdoor Wall Light - Style # 3X119

\$69.99

Compare \$104.99

FREE SHIPPING & **FREE RETURNS*** | [Low Price Guarantee](#)

1

ADD TO CART

[ADD TO WISH LIST](#)

[In Stock - Ships in 1 to 2 Days](#) | [Check Store Availability](#)

★★★★★ [1 Reviews](#)

With energy efficient LED, this outdoor wall light has a no-glass, Dark Sky design, from the Danbury outdoor lighting collection.

[MORE DETAILS >](#)

[ZOOM](#)

[VIEW IN YOUR ROOM](#)



[VIDEO](#)

[PRINT](#) [EMAIL](#) [CHAT](#)

[Pinterest](#) [Facebook](#) [Google+](#) [Twitter](#)

[PRODUCT DETAILS](#) | [RELATED PRODUCTS](#) | [REVIEWS](#)

MORE YOU MAY LIKE



\$64.99



\$59.99



\$69.99



\$79.99



\$79.99

PRODUCT DETAILS

Advanced energy-saving technology meets simple traditional style in this beautiful outdoor wall light. Durable black painted steel housing comprises this non-glass design. The light source is a dedicated energy efficient and long-lasting LED with a warm 3000k color temperature. The light is directed downward, making this design Dark Sky compliant as well. From the Danbury collection by John Timberland

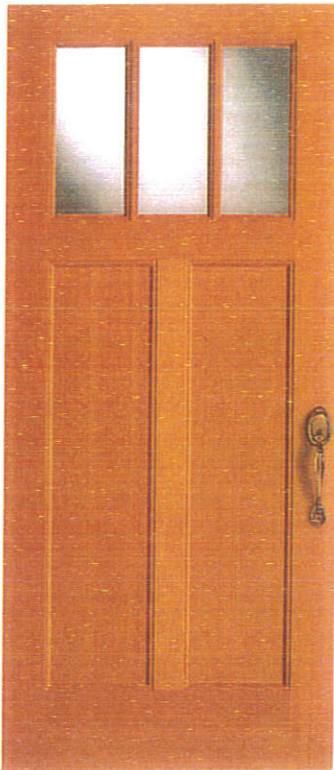
- 8 3/4" wide x 7 1/2" high x extends 10 1/2" from the wall.
- 10 watt LED array, not dimmable; 3000K, 790 lumens, comparable to a 60 watt incandescent.
- Dark sky compliant, inspired by modern industrial and barn light designs.
- Part of the Danbury collection from John Timberland.
- Black finish, steel construction.
- Back plate 6 3/4" high and 4 3/4" wide.

JOHN TIMBERLAND
LIGHTING



[Shop all John Timberland](#)

36803 — CRAFTSMAN TWO PANEL - THREE LITE (SDL)








SERIES: Craftsman Collection
TYPE: Exterior Decorative
APPLICATIONS: Can be used for a swing door, with barn track hardware, with pivot hardware, in a patio swing door or slider system and many other applications for the home's exterior.

Construction Type:

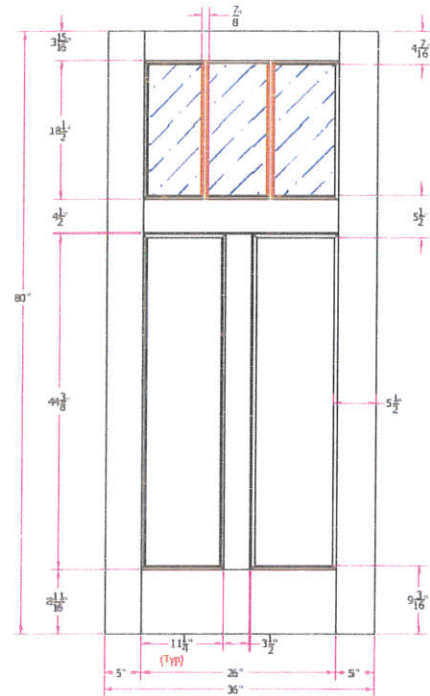
Engineered All-Wood Stiles and Rails with Dowel Pinned Stile/Rail Joinery

Panels: 3/4" VG Flat Panel
Glass: 3/4" Insulated Glazing

STANDARD FEATURES

-  Any Wood Species
-  Virtually Any Size
-  Glass Options
-  UltraBlock® Technology
-  Privacy Rating: 1

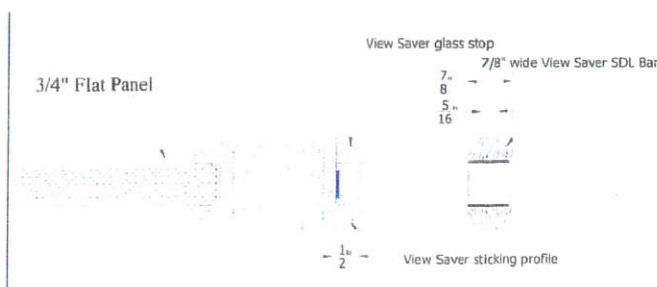
DETAILED DRAWING



DRAWING AND THE INFORMATION CONTAINED HEREIN IS CONFIDENTIAL TO

11/11/11

DETAILS



(Standard)

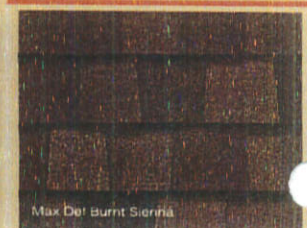
**peace
of mind
...guaranteed**

warranty

- Lifetime limited transferable warranty against manufacturing defects on residential applications
- 50-year limited transferable warranty against manufacturing defects on group-owned or commercial applications
- 15-year StreakFighter™ warranty
- 10-year SureStart™ protection
- 10-year 110 mph wind-resistance warranty
- Wind warranty upgrade to 130 mph available. CertainTeed starter and CertainTeed hip and ridge required

See actual warranty for specific details and limitations.

LANDMARK TL color palette



- Nationwide Profiles
- Eastern Profiles
- Northwestern Profiles
- Western Profiles
- Products
- Nationwide Profiles
- RoughCut

Like 23

Add



G+

RoughCut

Add Image To Ideabox



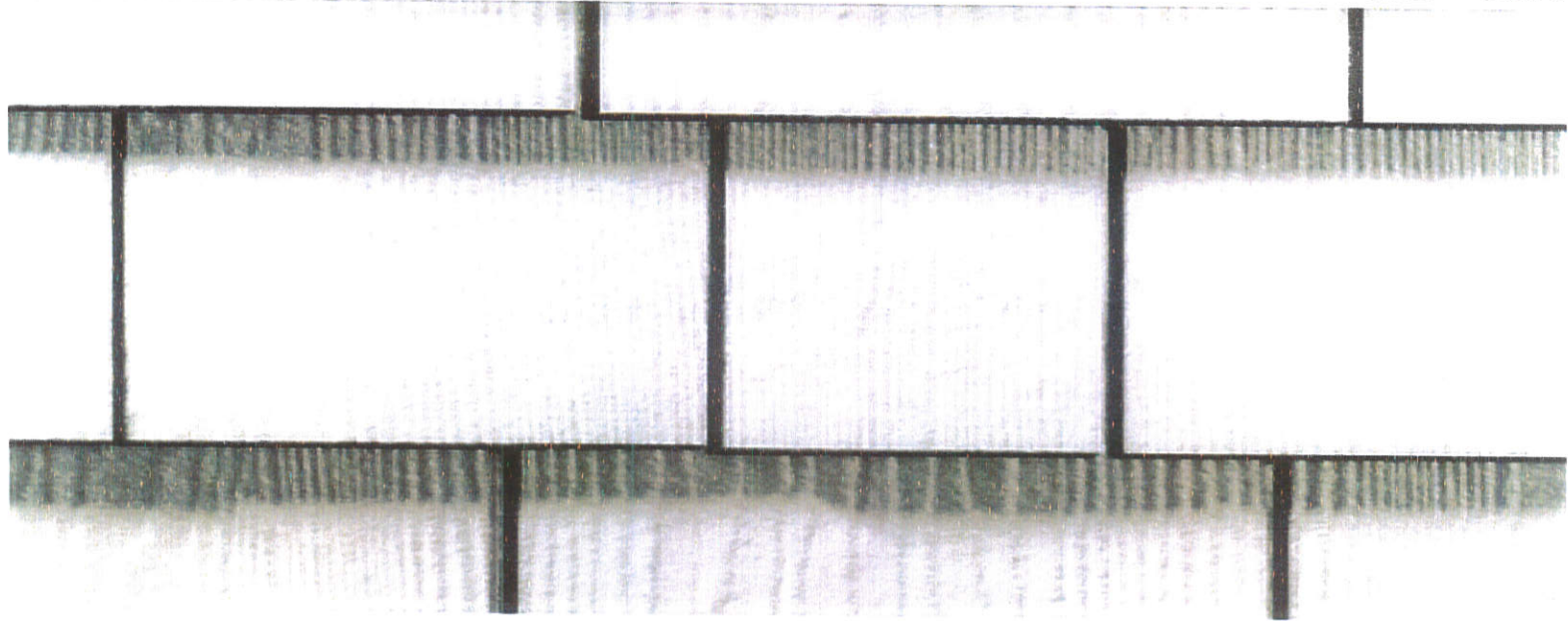
View Larger Photo Moonlight RoughCut



Produ

HARDIESHINGLE

Sha Save It



HardieShingle® Siding

STRAIGHT EDGE PANEL

A clean-lined, tailored look.

DESIGN ADVICE: Shingles can soften a contemporary design.

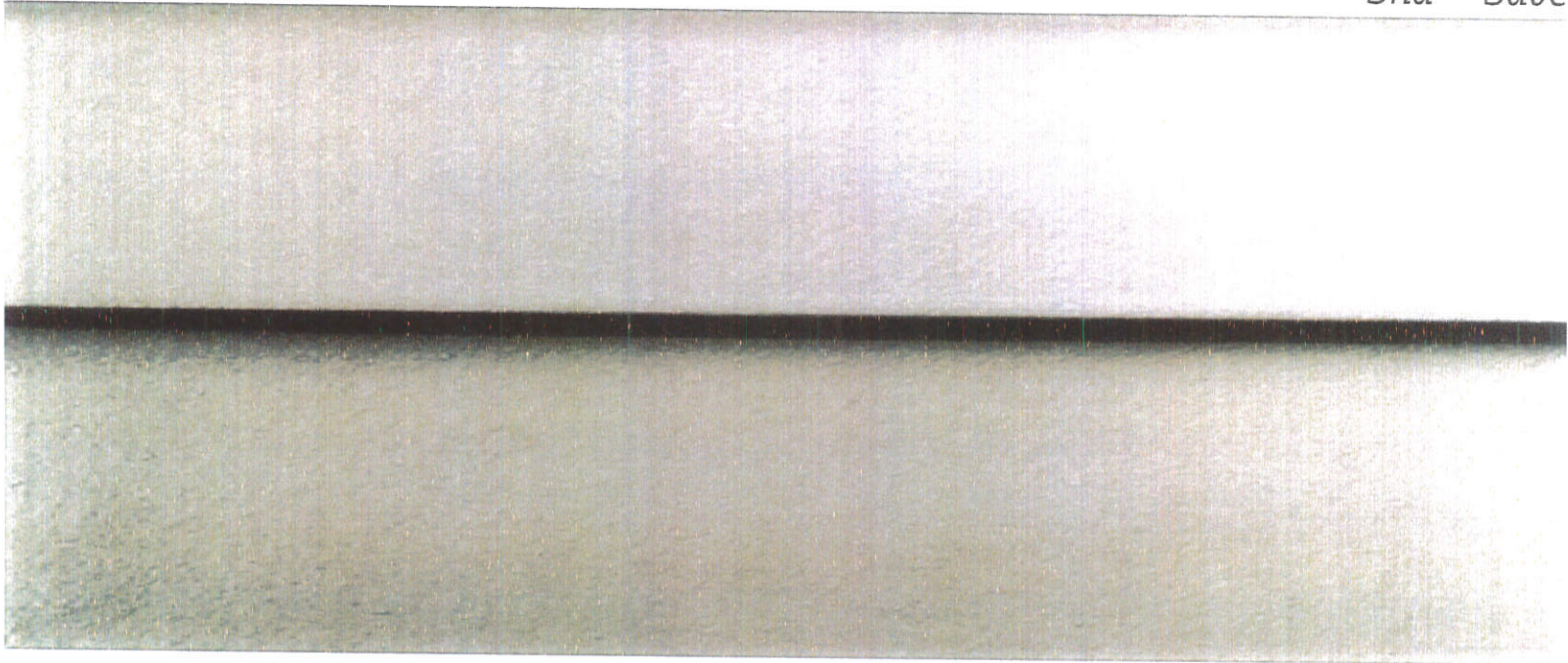
1/3



Produ

HARDIEPLANK® L

Sha Save I



HardiePlank® Lap Siding

SMOOTH

You can't go wrong with this simple, clean look.

DESIGN ADVICE: Try it on ranches or breezy coastal homes

1/3

