

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** February 16, 2017

**TO:** Zoning Hearing Officer

**FROM:** Planning Staff

**SUBJECT:** Consideration of a Non-Conforming Use Permit, pursuant to Sections 6135 and 6137 of the San Mateo County Zoning Regulations, to allow the enlargement of the non-conforming portion of a non-conforming house and the removal of one multi-trunk Mulberry tree (11", 18", and 22" in diameter). The project site is located at 401 La Mesa Drive in the unincorporated Ladera area of San Mateo County.

County File Number: PLN 2016-00340 (Hamilton)

**PROPOSAL**

The applicant is requesting a Non-Conforming Use Permit to raise the roof height and modify the roof design for a portion of the house at 401 La Mesa that encroaches 12 feet into the required front yard setback. The applicant also wishes to add 6 sq. ft. to the front of the house, also within the front yard setback. The existing house is approximately 2,158 sq. ft. in size, with 193 sq. ft. currently located in the required front yard setback. The rest of the proposed house remodel/addition complies with the S-104 Zoning Regulations. The applicant is also proposing to remove the existing pool and pool house building located in the rear of the parcel. The amount of grading for the project, including the filling in of the pool will total 230 cubic yards. The project also proposes the removal of one multi-trunk Mulberry tree (11", 18" and 22" in diameter) in the front side yard.

**RECOMMENDATION**

That the Zoning Hearing Officer approve the Non-Conforming Use Permit (County File Number PLN 2016-00340) by making the required findings and adopting the conditions of approval in Attachment A.

**BACKGROUND**

Report Prepared By: Rob Bartoli, Project Planner; 650/363-1857

Owner: Brett and Laura Hamilton

Applicant: Kelly Melendez

Location: 401 La Mesa, Menlo Park, California

APN: 077-192-080

Parcel Size: 14,941 sq. ft.

Existing Zoning: R-1/S-104

General Plan Designation: Medium Low Density Residential, Urban (2.4 du/ac - 6.0 du/ac)

Sphere-of-Influence: Portola Valley

Existing Land Use: Single-Family Structure

Water Supply: California Water Service

Sewage Disposal: West Bay Sanitary District

Flood Zone: Zone X (area of minimal flood hazard); Community Panel No. 06081C0314E, effective October 16, 2012

Environmental Evaluation: Categorically exempt pursuant to Section 15301, Class 1, of the California Environmental Quality Act (CEQA), related to the minor addition to an existing structure where the addition is less than 50% of the floor area of the existing structure.

Setting: The project site is located on a flat parcel located at the corner intersection of La Mesa Drive and La Cuesta Drive. The property is situated within a developed residential area with single-family residences.

Chronology:

<u>Date</u>	<u>Action</u>
August 11, 2016	- Planning application received for the subject Non-Conforming Use Permit to allow the roof height increase and new square footage for the area of the house that is located in the front yard setback.
December 22, 2016	- Application deemed complete.
February 2, 2017	- Zoning Hearing Officer public hearing.

## DISCUSSION

### A. KEY ISSUES

#### 1. Compliance with the General Plan

- a. Policy 4.36 (*Urban Area Design Concept*) seeks to maintain the visual character of development in urban areas and ensure that new development is designed and constructed to contribute to the orderly and harmonious development of the locality. The project site is located within the urban residential community of Ladera. The proposed 6 feet of additional square footage proposed in the front yard setback will fill in and make flush a portion of the front exterior wall of the house, removing a small recessed area. The additional square feet will provide a more consistent facade to the existing building. The maximum height of the building will be increased from an existing height of 10 feet/3 inches to 14 feet/6 inches. This increase in height will still be less than the maximum height of 28 feet as set forth for this zoning district.
- b. Policy 8.39 (*Height, Bulk, and Setbacks*) regulates height, bulk, and setback requirements in zoning districts in order to: (1) ensure that the size and scale of development is compatible with the parcel size, (2) provide sufficient light and air in and around the structure, and (3) ensure public health and safety. The existing single-family building complies with the height, bulk, and setback requirements for this zoning district. The proposed project will increase the height of the portion of the house that is located in the required front yard setback. This 193 sq. ft. portion of the house will be increased to a height of 10 feet/10 inches from the existing 9 feet/10 inches. This increase in height will be below the required 28-foot maximum building height of the zoning district. The house will remain a single-story structure. There will also be an increase of 6 sq. ft., creating a flush exterior wall at the front of the property. This additional square footage will be used to expand an existing bathroom. The addition will be reviewed by the Building Inspection Section for building code compliance and Woodside Fire Protection District for fire compliance to ensure public health and safety.

#### 2. Compliance with the Zoning Regulations

##### a. Development Standards

The project parcel is zoned R-1/S-104 (Single-Family Residential). The applicant is requesting a Non-Conforming Use Permit to increase the height of an existing portion of the house that is located in the front yard setback by 1-foot, from 9 feet/10 inches to 10 feet/10 inches and

add 6 sq. ft. within the front yard setback. The existing single-family house has an existing non-conforming setback of 13 feet, where 25 feet is required for the main house. The single-family house otherwise complies with the S-104 Zoning District.

S-104 Development Standards			
	Required	Existing	Proposed
Minimum Lot Width	50 ft.	195 ft.	No change
Minimum Building Area	8,000 sq. ft.	14,941 sq. ft.	No change
Minimum Front Yard Setback House	25 ft.	13 ft. (Legal non-conforming)	No change
Minimum Front Yard Setback Garage	15 ft.	16 ft.	No change
Minimum Side Yard Setbacks			
Left Side	8 ft.	25 ft.	No change
Right Side	8 ft.	15 ft.	No change
Minimum Rear Yard Setback	20 ft.	31 ft.	No change
Maximum Lot Coverage	40%	19.0%	23. %
Maximum Floor Area	3,494.1 sq. ft.	2,879 sq. ft.	3,492 sq. ft.
Maximum Building Height	28 ft.	10 ft. 3 in	14 ft. 6 in.
Building Height in Front Yard Setback	N/A	9 ft. 10 in.	10 ft. 10 in.*
*The proposal is requiring a Non-Conforming Use Permit.			

The addition is required to comply with the San Mateo County Building Inspection Section regulations. The Building Inspection Section has reviewed the project and has conditionally approved the project. The height increase of a non-conforming area is considered an intensification of the non-conforming structure, requiring a Non-Conforming Use Permit. The addition of 6 sq. ft. within the front yard setback, also requires a Non-Conforming Use Permit. The proposed addition and intensification via a height increase will not increase the non-conforming setback. As such, there will be no greater adverse impact to the zoning regulations than what currently exists on the property.

3. Compliance with Non-Conforming Use Permit Regulations

Section 6137 (*Exceptions*) of the Zoning Regulations allows the granting of a use permit to enlarge a non-conforming structure provided the following finding is made:

That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in said neighborhood.

The height increase will allow for reasonable head height within the existing structure, as the existing head clearance in the area in the front yard setback is 7 feet in height. The addition of 6 sq. ft. will allow for an increase

in the size of the existing bathroom and will fill in and create a flush portion of the front facade. The addition is required to comply with the San Mateo County Building Inspection Section regulations. The Building Inspection Section has reviewed the project and has conditionally approved the project. There is no evidence to suggest, as conditioned, that the project will have a detrimental effect on the public welfare or be injurious to the property or improvements.

4. Compliance with Significant Tree Regulations

One multi-trunk Mulberry tree (11", 18", and 22" in diameter) is proposed to be removed due to the proximity of the new addition to the tree, the proposed new landscaping plan, and the construction of a new patio area. The removal of the tree will be in accordance with the Significant Tree Regulations, as the removal of the tree will allow reasonable economic or other enjoyment of the property, and the tree will be replaced by plantings approved by the Community Development Director, as one replacement tree will be required (Condition No. 3).

There are several trees that are proposed to be removed on the property that do not require a Tree Removal Permit, as the trees do not meet the size requirements for Heritage or Significant trees or is a stump.

B. ENVIRONMENTAL REVIEW

The project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15301, Class 1, as a minor addition to an existing structure where the addition is less than 50% of the floor area of the existing structure.

C. REVIEWING AGENCIES

Building Inspection Section  
Woodside Fire Protection District  
Department of Public Works

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Site Plans

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County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit or Project File Number: PLN 2016-00340      Hearing Date: February 16, 2017

Prepared By: Rob Bartoli  
Project Planner

For Adoption By: Zoning Hearing Officer

**RECOMMENDED FINDINGS**

For the Environmental Review, Find:

1. That the project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15301, Class 1, as a minor addition to an existing structure where the addition is less than 50% of the floor area of the existing structure.

For the Non-Conforming Use Permit, Find:

2. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in said neighborhood.

The proposed project will add additional interior head height and additional square footage as part of a comprehensive major remodel and expansion of this single-family home. The addition is required to comply with the San Mateo County Building Inspection Section regulations. The Building Inspection Section has reviewed the project and has conditionally approved the project. There is no evidence to suggest that, as conditioned, the project will have a detrimental effect on the public welfare or be injurious to the property or improvements.

**RECOMMENDED CONDITIONS OF APPROVAL**

Current Planning Section

1. This approval applies only to the proposal, documents, and plans described in this report and submitted to and approved by the Zoning Hearing Officer on February 2, 2016. Minor modifications to the project may be approved by the Community Development Director if they are consistent with the intent of, and in substantial conformance with, this approval.

2. This Non-Conforming Use Permit is valid for one (1) year from the date of final approval, in which time a valid building permit shall be issued and a completed inspection (to the satisfaction of the building inspector) shall have occurred within 180 days of its issuance. Any extension of this permit shall require submittal of an application for permit extension and payment of applicable fees sixty (60) days prior to expiration.
3. This permit allows for the removal of one multi-trunk Mulberry tree (11", 18" and 22" in diameter). One 15-gallon tree shall be planted as a replacement tree prior to the final inspection of the building permit for this project. Removal of any tree with a circumference of 12 inches or greater, as measured 4.5 feet above the ground, shall require additional review by the Community Development Director prior to removal.

#### Building Inspection Section

4. A building permit is required and shall be applied for and obtained prior to the commencement of any construction or staging activities.

#### Department of Public Works

5. Prior to the issuance of the building permit (for Provision C3 Regulated Projects), the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.

Note that any areas not previously considered for stormwater runoff shall be treated as new impervious surface in these analyses.

6. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.

7. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
8. Prior to the issuance of the building permit, the applicant will be required to provide payment of “roadway mitigation fees” based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.

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**San Mateo County Zoning Hearing Officer Meeting**

Owner/Applicant: Kelly Melendez

File Numbers: PLN2016-00340

Attachment: B

# RESIDENTIAL REMODEL AND ADDITION

## Non-Conforming Use Permit Application; Response to Comments

### 401 La Mesa Drive, Portola Valley, CA 94028

#### ABBREVIATIONS

AD	AREADRAWN	OH	OVERHEAD
ADJ	ADJACENT	OPV	OPENING
AF	ADJACENT FRESH FLOOR	OPR	OPPOSITE
AP	APPROX APPROXIMATE	PLM	PLASTIC LAMINATE
APCH	ARCHITECT	PLYWD	PLYWOOD
ASPH	ASPHALT	PRNT	PRINTED
B	BOARD	QTY	QUANTITY
BDO	BUILDING	R/O	ROUGH OPENINGS
BLK	BLOCK	R/WL	RAIN WATER LEADER
BLDG	BUILDING	RENF	REINFORCING
BOT	BOTTOM	REQD	REQUIRED
CA	CABINET	RM	ROOM
CAB	CABINET	SAD	SEE ARCH DWGS
CL	CENTRAL	SED	SEE ELEC DWGS
CLL	CENTRAL LINE	SEI	SEE MECH DWGS
CLD	CENTRAL LINE	SCHED	SCHEDULE
COAC	CONCRETE	SECT	SECTION
COORD	COORDINATE	SHWR	SHOWER
CTR	CENTER	SM	SMALLER
CS	CABLE	SPC	SPECIFICATION
DEPT	DEPARTMENT	SR	SQUARE
DIAM	DIAMETER	SS	STAINLESS STEEL
DM	DIMENSION	SYM	SYMMETRICAL
DN	DOWN	T&G	TONGUE AND GROOVE
DNL	DOWNLINE	TOP	TOP OF CURB/TOP OF CONCRETE
DWG	DRAWING	TR	TRIM
DWR	DRAWER	TV	TELEVISION
EL	ELEVATION	TYP	TYPICAL
ELEV	ELEVATION	UN	UNLESS OTHERWISE NOTED
ELEC	ELECTRICAL	VER	VERTICAL
ENR	ENGINEER	W	WITH
EQ	EQUAL	WC	WATER CLOSET
EXT	EXTERIOR	WP	WATERPROOF
FB	FLOOR/BEAM	WO	WITHOUT
F.C.	FACE OF CONCRETE	WO	WITHOUT
F.O.F.	FACE OF FINISH		
F.O.S.	FACE OF STUD		
FOUND	FOUNDATION		

#### VICINITY MAP



#### PROJECT INFORMATION

**OWNER:** Brett and Laura Hamilton  
290 South Castanoya Way  
Portola Valley, CA 94028  
650-321-2008 (Laura)

**PROPERTY ADDRESS:** 401 La Mesa Drive  
Portola Valley, CA 94028

**APN:** 077 - 192 - 080

**LOT SIZE:** 14,941 sf or .34 acres

**ZONE:** R1-S104, LaJolla District

#### SCOPE OF WORK

The overall project includes the remodel of an existing 2,688sf residence (includes garage area) with an addition of approximately 4,024sf of new living area. Also part of the overall project is the removal of an existing pool and pool house structure and the addition of a 3,665sf detached office / studio building. Landscaping shall follow construction work.

The work, specific to the NCU application involves a 1,894sf area of the existing living room that encroaches into the front setback. The house remodel includes the living room area, specifically roof work, which will increase the roof height with in the setback. The NCU application requests approval of this minor remodel and modification in the front yard setback.

#### PROJECT TEAM

**ARCHITECT:** KELLY MELENDEZ  
PO BOX 460789 SAN FRANCISCO, CA 94146  
PHONE: (415) 503-4839  
KELLY.MELENDEZ@GMAIL.COM

**STRUCTURAL ENGINEER:** JTC DESIGN, INC.  
1110 CALIFORNIA DRIVE  
FAIRFAX, CA 94930  
PHONE: (415) 353-8888  
JULIA@JTCDESIGN.COM

**ENGINEER:** TO BE DETERMINED

**CONSULTANT:**

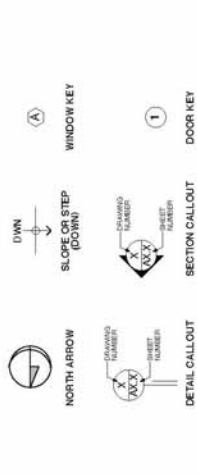
**OWNER:** BRETT AND LAURA HAMILTON  
290 SOUTH CASTANOYA WAY  
PORTOLA VALLEY, CA 94028  
PHONE: (650) 521-2500 (LAURA)

**SURVEYOR:** LEA & BRAZE ENGINEERING, INC.  
1110 CALIFORNIA DRIVE  
FAIRFAX, CA 94930  
PHONE: (510) 387-4086

**CIVIL ENGINEER:** PRECISION ENGINEERING & CONSTRUCTION  
THOMAS LUTZ, PE  
1500 EL CAMINO REAL, 2ND FLOOR  
BELMONT, CA 94022  
PHONE: (415) 591-5224  
THOMAS@PRECISIONE.CC.COM

**LANDSCAPE DESIGNER:** ARTSCAPES  
SCOTT SZABIN  
PHONE: (650) 825-3824  
SCOTT@SCAPES.COM

#### SYMBOLS LEGEND



#### INDEX OF DRAWINGS

A0	COVER SHEET PROJECT INFO, INDEX	C-0	TITLE SHEET
A0.1	GEN PROJECT NOTES & CONSTRUCTION BMP'S	C-1	NOTES SHEET
A1.1	(E) SITE PLAN and SITE SECTION	C-2	GRADING PLAN
A1.2	(N) SITE PLAN and SITE SECTION	C-3	UTILITY PLAN
A2.1	(E) 1st FLOOR PLAN	C-4	EROSION & SEDIMENT CONTROL PLAN
A2.2	(E) 2nd FLOOR PLAN	C-4.1	BEST MANAGEMENT PRACTICES
A3.1	PROPOSED (N) FLOOR PLAN	C-6	DETAIL SHEET
A3.2	PROPOSED (N) ROOF PLAN	SU-1	SURVEY OF EXISTING SITE CONDITIONS
A4.1	(E) AND (N) EXTERIOR ELEVATIONS		
A4.2	(E) AND (N) EXTERIOR ELEVATIONS		

#### AREA CALCULATION (GROSS)

CONDITIONED USABLE AREA	(UN)CONDITIONED USABLE AREA	DETACHED GARAGE BUILDING	TOTAL AREA 1
(E) 1st FLR 2,136 SF	545 SF	178 SF	2,859 SF
(N) 1st FLR 2,624 SF	545 SF	925 SF	3,694 SF
A0.0	466 SF	0 SF	613 SF

\* THESE AREAS ARE "GROSS". CALCULATIONS INCLUDE ALL INTERIOR WALLS AND EXTERIOR WALLS. CALCULATION DOES NOT INCLUDE INACCESSIBLE AREAS OR THOSE WITH A HEAD HEIGHT OF 2' OR LESS.

† INCLUDES ATTACHED GARAGE AND STORAGE SPACE.

A0

Sheet Number

KELLY MELLENDEZ ARCHITECT  
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 SAN FRANCISCO, CA 94146  
 415.305.4959 LIC. C27652

Hamilton Residence  
 401 La Mesa Drive  
 Portola Valley, CA 94028

(E) Site Plan and

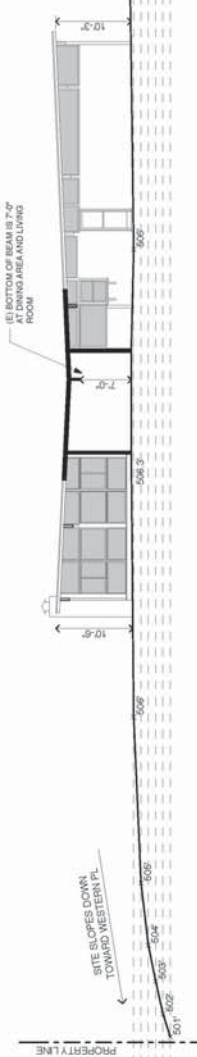
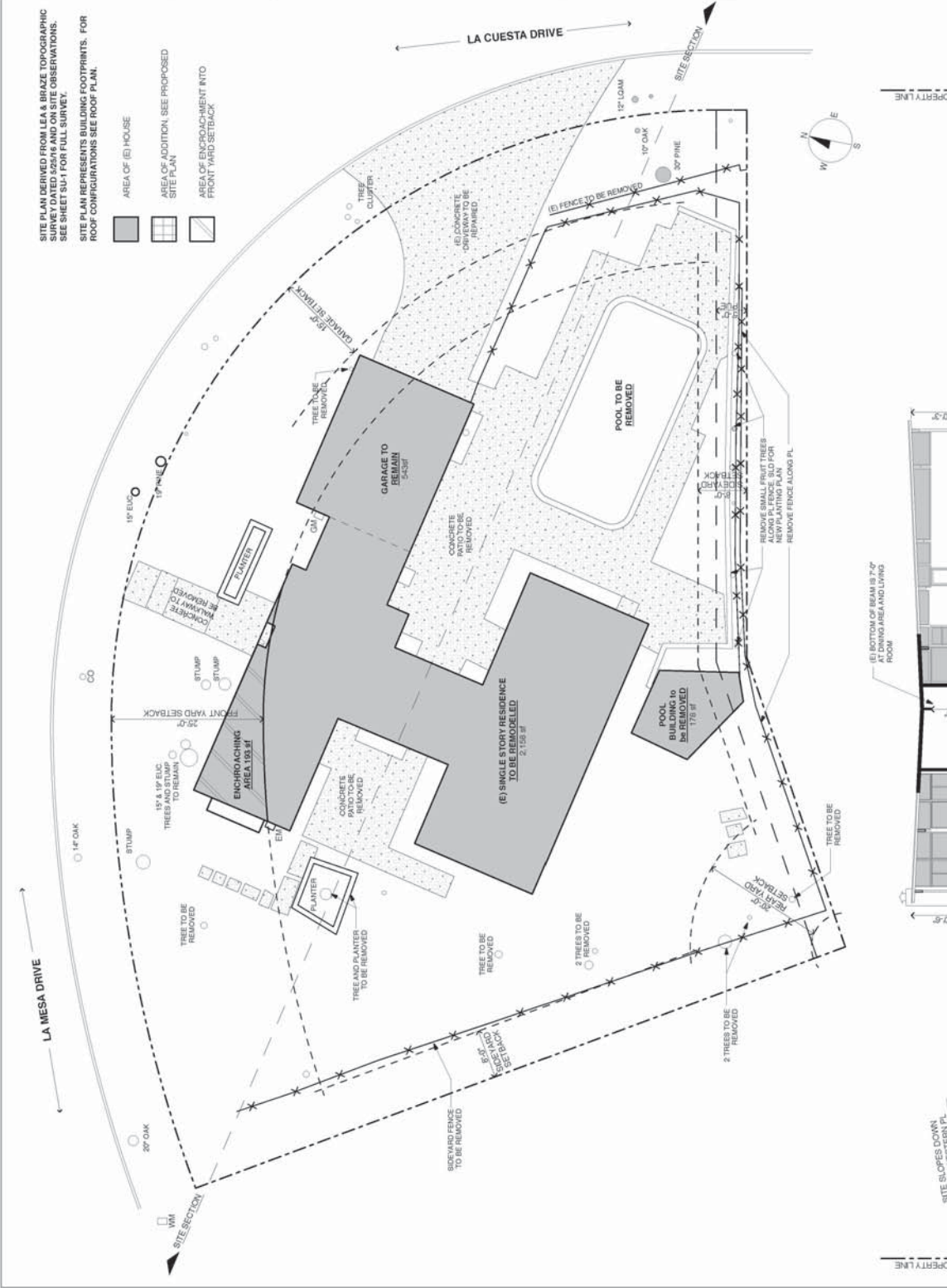
revised  
 Schematic Mtg. 7/22/16  
 Schematic Mtg. 7/28/16  
 Schematic Mtg. 8/1/16  
 NCLP Submittal 8/11/16  
 Pool Demo App. 8/6/16  
 Progress Pmtg. 8/27/16  
 NCLP Responses 11/01/16  
 Progress Mtg. 11/02/16

A1.1

sheet number

SITE PLAN DERIVED FROM LEA & BRAZE TOPOGRAPHIC SURVEY. FIELD NOTES AND PHOTO OBSERVATIONS. SEE SHEET SU-1 FOR FULL SURVEY.  
 SITE PLAN REPRESENTS BUILDING FOOTPRINTS. FOR ROOF CONFIGURATIONS SEE ROOF PLAN.

- AREA OF (E) HOUSE
- AREA OF ADDITION. SEE PROPOSED SITE PLAN
- AREA OF ENCROACHMENT INTO FRONT YARD SETBACK



EXISTING PLOT PLAN AND SITE SECTION

## San Mateo County Zoning Hearing Officer Meeting

Owner/Applicant: Kelly Melendez

File Numbers: PLN2016-00340

Attachment: C

KELLY MELLENDEZ ARCHITECT  
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 415.305.4959 LIC. C27652

**Hamilton Residence**  
 401 La Mesa Drive  
 Portola Valley, CA 94028

(N) Site Plan and  
 Site Section

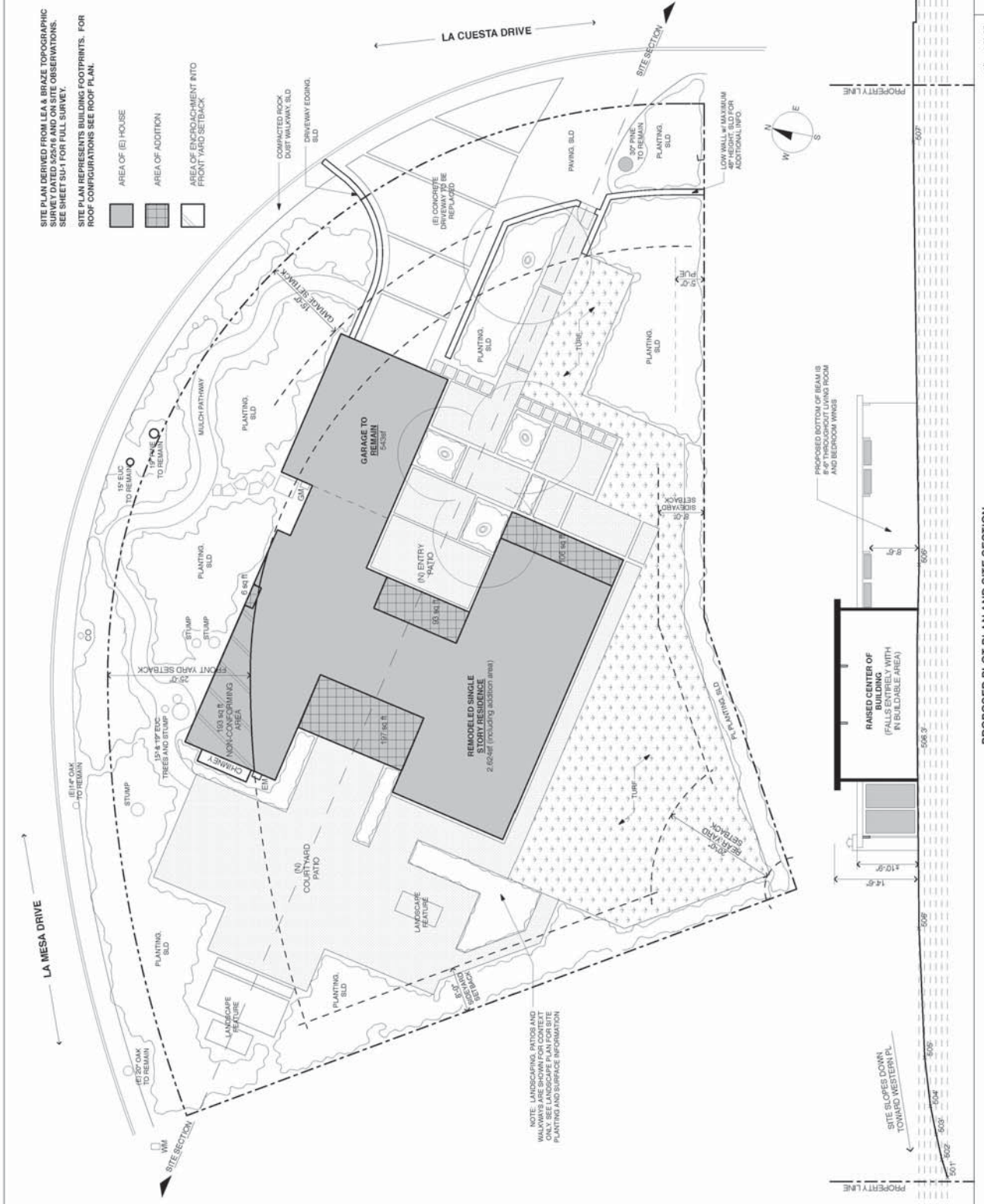
prepared  
 Schematics, Mfg. 7/22/16  
 Schematic, Mfg. 7/29/16  
 Progress Set, 8/29/16  
 Progress Set, 9/13/16  
 Pool Demo App, 8/29/16  
 Progress Print, 9/21/16  
 Mfg. Progress, 11/17/16  
 Progress Mfg. 11/29/16

**A1.2**

sheet number

SITE PLAN DERIVED FROM LEA & BRAZE TOPOGRAPHIC  
 SURVEY. ELEVATIONS ARE BASED ON PREVIOUS  
 SURVEY OBSERVATIONS.  
 SEE SHEET 05A FOR FULL SURVEY.  
 SITE PLAN REPRESENTS BUILDING FOOTPRINTS. FOR  
 ROOF CONFIGURATIONS SEE ROOF PLAN.

- AREA OF (E) HOUSE
- AREA OF ADDITION
- AREA OF ENCROACHMENT INTO  
FRONT YARD SETBACK



NOTE: LANDSCAPING PATIOS AND  
 WALKWAYS ARE SHOWN FOR CONTEXT.  
 PATIOS ARE TO BE CONSTRUCTED WITH  
 PLANTING AND SURFACE INFORMATION

PROPOSED PLOT PLAN AND SITE SECTION

1" = 10'-0"

**San Mateo County Zoning Hearing Officer Meeting**

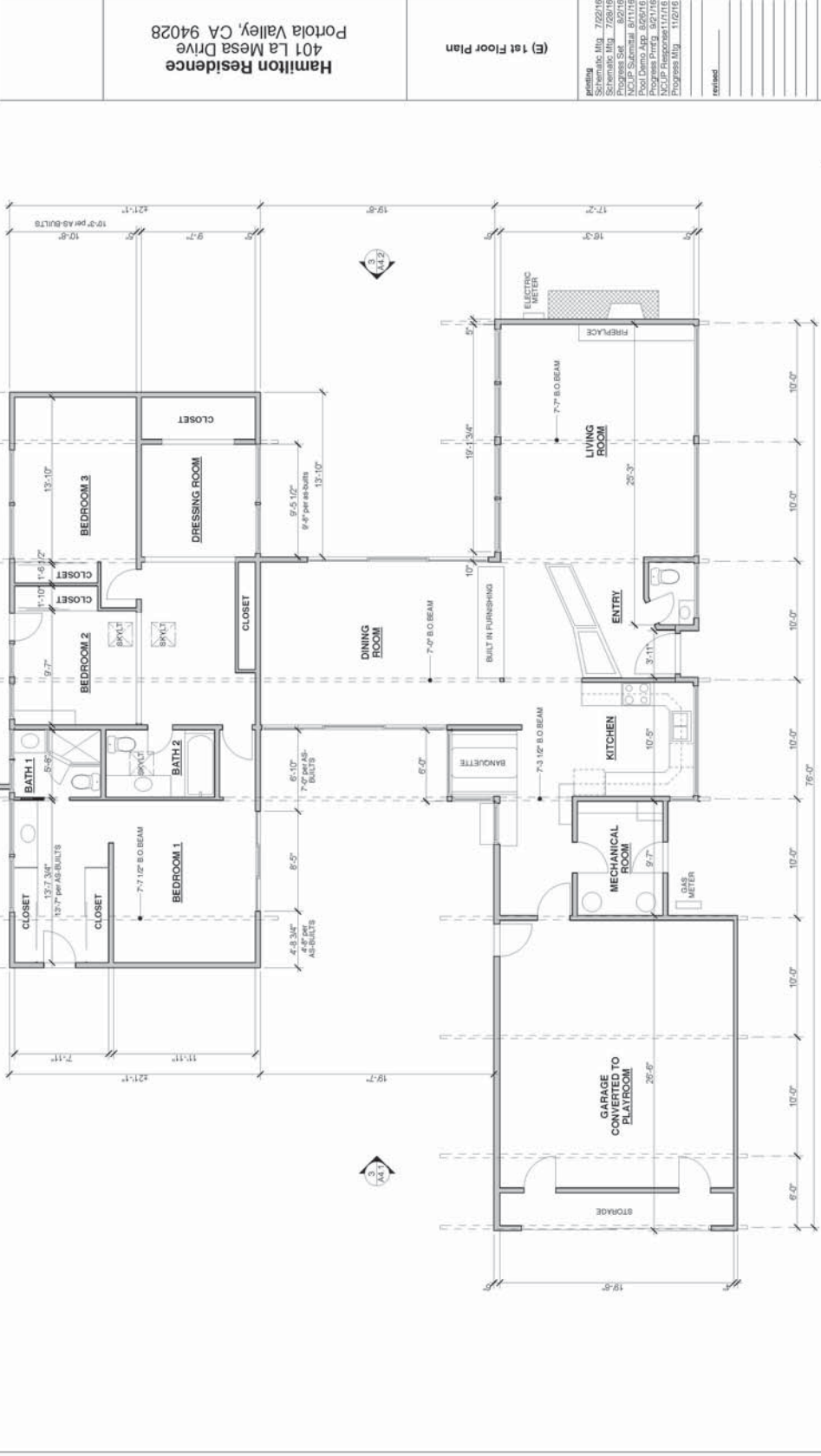
Owner/Applicant: Kelly Melendez

File Numbers: PLN2016-00340

Attachment: C

NOTE: EXISTING PLANS AND ELEVATIONS BASED ON AS-BUILT DRAWINGS PROVIDED BY THE CLIENT. DIMENSIONS AND LOCATIONS ARE NOTES AND WILL BE RECHECKED IN THE FIELD.

KELLY MELENDEZ ARCHITECT  
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 PORTOLA VALLEY, CA 94028



(E) 1st Floor Plan

Hamilton Residence  
 401 La Mesa Drive  
 Portola Valley, CA 94028

Sheet number: A2.1

3/16" = 1'-0"

(E) 1st FLOOR - 2,158 Gross SF, not including garage

San Mateo County Zoning Hearing Officer Meeting

Owner/Applicant: Kelly Melendez

File Numbers: PLN2016-00340

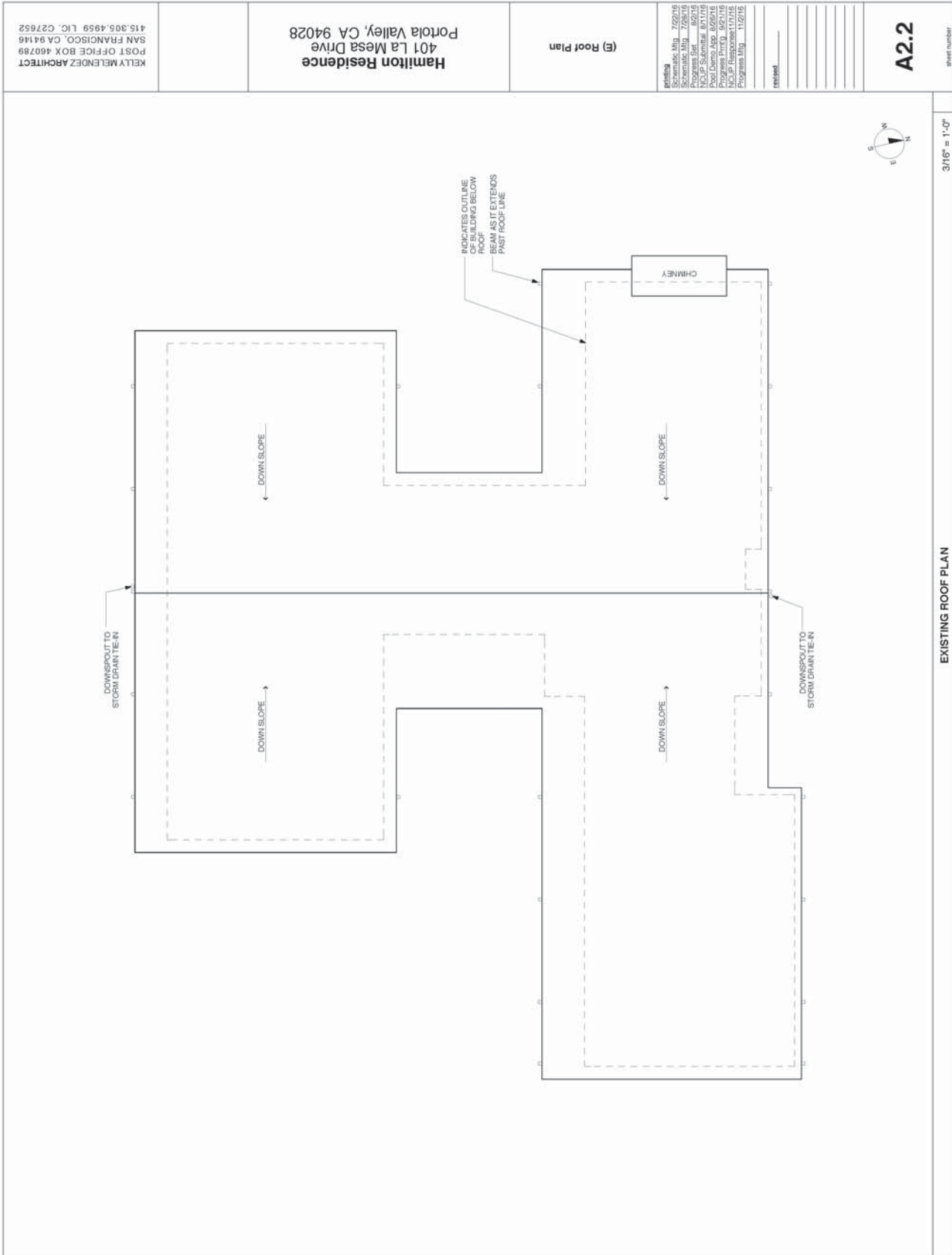
Attachment: C

San Mateo County Zoning Hearing Officer Meeting

Owner/Applicant: Kelly Melendez

File Numbers: PLN2016-00340

Attachment: C



3/16" = 1'-0"

EXISTING ROOF PLAN

**A2.2**

sheet number

(E) Roof Plan

**Hamilton Residence**  
401 La Mesa Drive  
Portola Valley, CA 94028

KELLY MELENDEZ ARCHITECT  
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printing  
Schematic Mtg. 7/22/16  
Pre-construction Mtg. 8/1/16  
Permitting Mtg. 8/2/16  
Final Submittal 8/11/16  
Pool Demo App. 8/25/16  
Program Mtg. 9/27/16  
Final Construction Mtg. 11/1/16  
Progress Mtg. 11/20/16

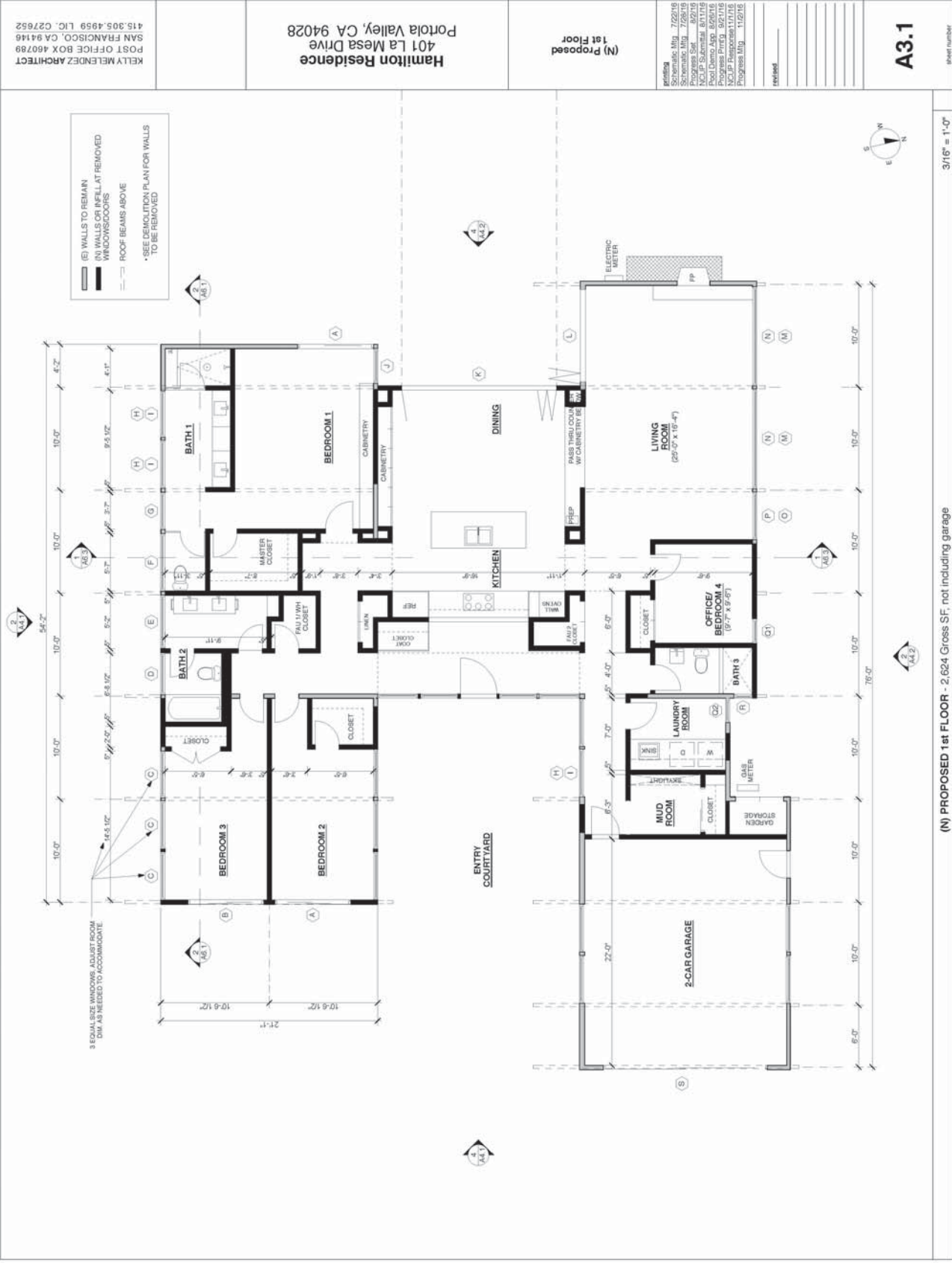
checked

**San Mateo County Zoning Hearing Officer Meeting**

Owner/Applicant: Kelly Melendez

File Numbers: PLN2016-00340

Attachment: C



(E) WALLS TO REMAIN  
 (N) WALLS OR PELLAY REMOVED  
 (W) ROOF BEAMS ABOVE  
 -SEE DEMOLITION PLAN FOR WALLS TO BE REMOVED

3 EQUAL SIZE WINDOWS ADJUST ROOM DIM. AS NEEDED TO ACCOMMODATE



**Hamilton Residence**  
 401 La Mesa Drive  
 Portola Valley, CA 94028

(N) Proposed 1st Floor

Schematic: 11/27/18  
 Schematic: 11/27/18  
 Schematic: 11/27/18  
 NCIIP Submittal: 8/11/18  
 Pool Demo App: 8/29/18  
 Progress Print: 9/27/18  
 NCIIP Submittal: 11/1/18  
 Progress: 11/1/18

**A3.1**

sheet number

3/16" = 1'-0"

(N) PROPOSED 1st FLOOR - 2,624 Gross SF, not including garage

**San Mateo County Zoning Hearing Officer Meeting**

Owner/Applicant: Kelly Melendez

File Numbers: PLN2016-00340

Attachment: C

PER CBC 1203.2 - ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBERS SHALL HAVE CROSS BRACING. ALL ROOF FRAMING SHALL BE PROTECTED AGAINST WEATHER OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW. BLOCKING AND BRIDGING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR. AN INSULATION VENTILATION GAP SHALL BE MAINTAINED BETWEEN THE INSULATION AND THE ROOF SHEATHING. THE NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150TH OF THE AREA OF THE SPACE VENTILATED.

**ROOF AREA 1** - BEDROOM KING ROOF/TIC AREA = 1,156sf  
 1/150 X 1,156sf = 7.71sf OF NET FREE VENTILATION AREA REQUIRED  
 COR-A VENT PS-400 PROVIDES 10% OF NET FREE VENT PER IF.  
 PERIMETER LF AT ROOF AREA 1 = 131'11"

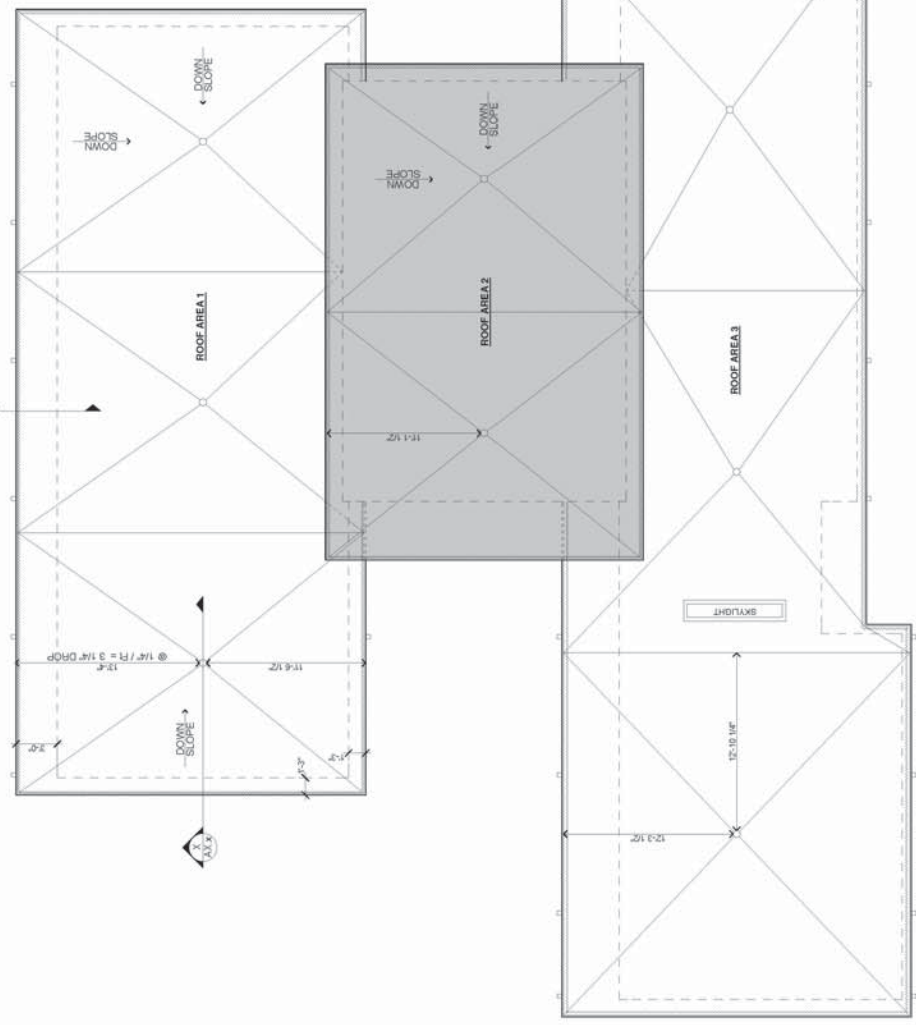
**ROOF AREA 2** - ENTRY/KITCHEN/DINING ROOF/TIC AREA = 811sf  
 1/150 X 811sf = 5.41sf OF NET FREE VENTILATION AREA REQUIRED  
 COR-A VENT PS-400 PROVIDES 10% OF NET FREE VENT PER IF.  
 PERIMETER LF AT ROOF AREA 2 = 115'11"

**ROOF AREA 3** - LIVING/RM/LAUNDRY/GARAGE ROOF/TIC AREA = 1,363sf  
 1/150 X 1,363sf = 9.11sf OF NET FREE VENTILATION AREA REQUIRED  
 COR-A VENT PS-400 PROVIDES 10% OF NET FREE VENT PER IF.  
 PERIMETER LF AT ROOF AREA 3 = 154'4"

--- LINE OF BUILDING  
 --- EXTERIOR WALL BELOW  
 --- CONTINUOUS ROOF  
 --- VENT STRIP  
 ○ ROOF DRAIN

(E) ROOF TIMBERS TO BE RE-USED, TRIM ENDS AS NEEDED, AND CORRO. ADJUSTED ROOF CORRO. ADJUSTED ROOF LENGTH WITH ARCHITECT

(E) CHIMNEY



3/16" = 1'-0"

PROPOSED ROOF PLAN

A3.3

sheet number

KELLY MELENDEZ ARCHITECT  
 POST OFFICE BOX 460789  
 SAN FRANCISCO, CA 94146  
 415.305.4959 LIC. C27652

Hamilton Residence  
 401 La Mesa Drive  
 Portola Valley, CA 94028

(N) Roof Plan

PROJECT  
 Schematic, May 7/2016  
 Schematic, May 7/2016  
 Schematic, May 7/2016  
 NCP Submittal 8/11/16  
 Pool Demo App. 8/20/16  
 Progress Prtg. 9/21/16  
 NCP Response 11/10/16  
 Progress Prtg. 11/22/16

**San Mateo County Zoning Hearing Officer Meeting**

Owner/Applicant: Kelly Melendez  
 File Numbers: PLN2016-00340

Attachment: C



KELLY MELENDEZ ARCHITECT  
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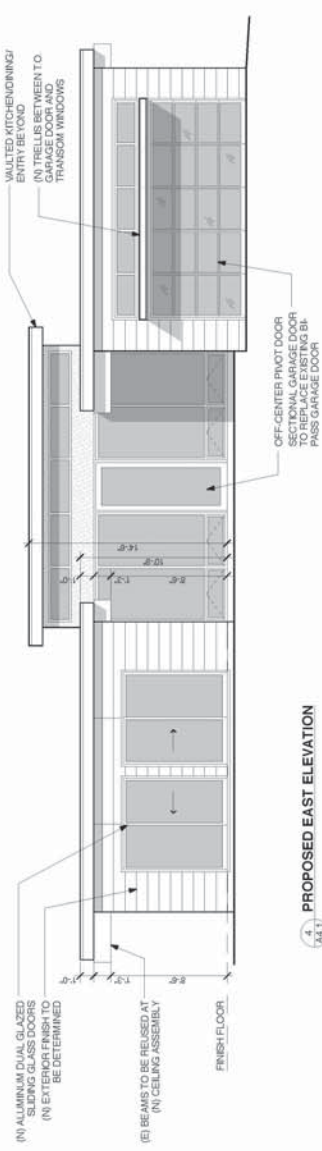
Hamilton Residence  
 401 La Mesa Drive  
 Portola Valley, CA 94028

(E) and (N)  
 Exterior Elevations

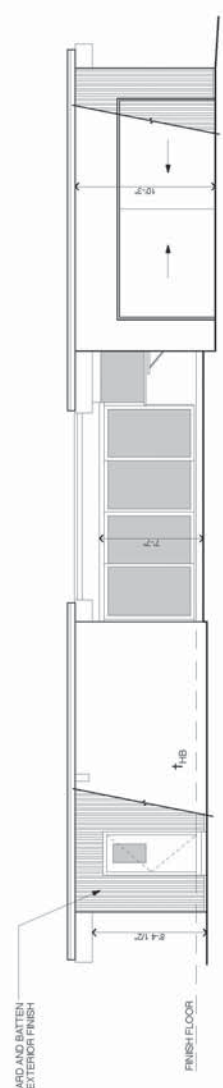
REVISIONS  
 11/27/16  
 Program Mfg. 11/27/16  
 NCLP Responses 11/17/16  
 Program Part 5/21/16  
 Program Part 5/21/16  
 NCLP Responses 11/17/16  
 Program Mfg. 11/27/16

A4.1

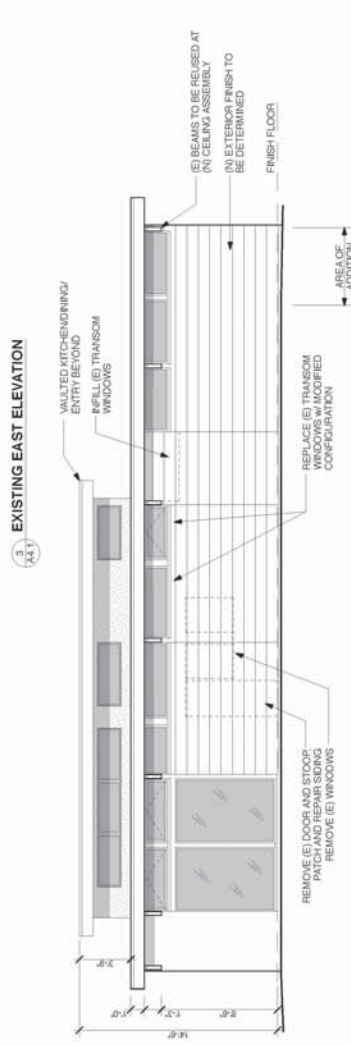
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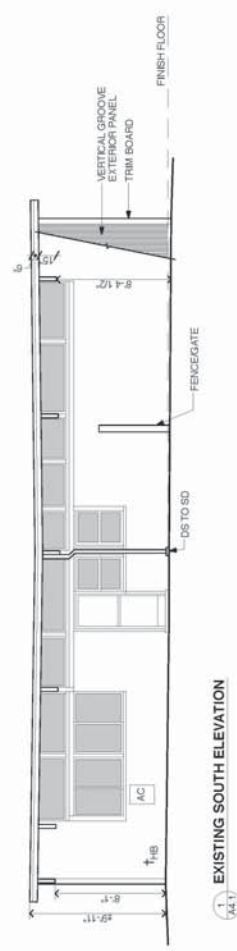
1. PROPOSED EAST ELEVATION (A4.1)



3. EXISTING EAST ELEVATION (A4.1)



2. PROPOSED SOUTH ELEVATION (A4.1)



1. EXISTING SOUTH ELEVATION (A4.1)

EXISTING AND PROPOSED EXTERIOR ELEVATIONS

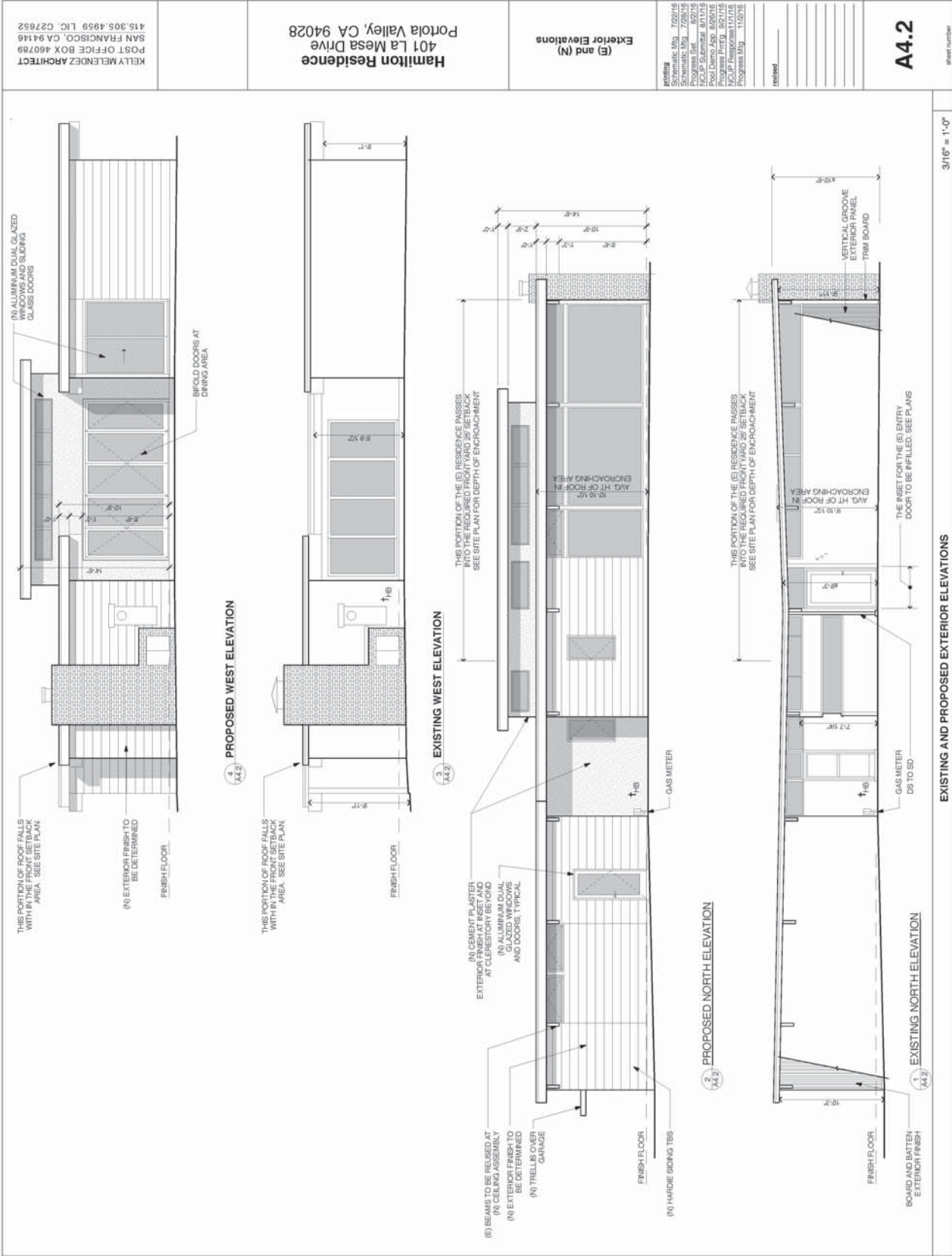
3/16" = 1'-0"

San Mateo County Zoning Hearing Officer Meeting

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3/16" = 1'-0"

EXISTING AND PROPOSED EXTERIOR ELEVATIONS

**A4.2**

sheet number

**(E) and (N)  
Exterior Elevations**

**Hamilton Residence**  
401 La Mesa Drive  
Portola Valley, CA 94028

**KELLY MELLENDEZ ARCHITECT**  
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SAN FRANCISCO, CA 94146  
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**Revisions**

Schematic Mtg.	7/22/16
Schematic Mtg.	7/26/16
Progress Site	8/27/16
Client Meeting	9/1/16
Food Demo JAO	8/26/16
Progress PnTD	9/21/16
NCJP Response	11/17/16
Progress Mtg.	11/21/16

Notes

# HAMILTON RESIDENCE 401 LA MESA DRIVE PORTOLA VALLEY (SMCO), CA 94028



- ABBREVIATIONS**
- AB AGGREGATE BASE
  - AG ASPHALT
  - AD ASPHALT DRIVE
  - AFP ASPHALT FLOW PREVENTION DEVICE
  - AW WALL ELEVATION
  - CB CATCH BASIN
  - CE CURB ELEVATION
  - CG GRASS
  - CH CHALK
  - CI CONCRETE
  - CS CONCRETE SLAB
  - DD DRAIN
  - DDW DOWN DOWN
  - DDG DOWN DOWN
  - DDO DOWN DOWN
  - DDP DOWN DOWN
  - DDT DOWN DOWN
  - DDV DOWN DOWN
  - DDW DOWN DOWN
  - DDO DOWN DOWN
  - DDP DOWN DOWN
  - DDT DOWN DOWN
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  - DDV DOWN DOWN
  - DDW DOWN DOWN
  - DDO DOWN DOWN
  - DDP DOWN DOWN
  - DDT DOWN DOWN
  - DDV DOWN DOWN



- LEGEND:**
- PROPOSED
  - EXISTING
  - SEWER
  - STORM DRAIN
  - TRANSITION FROM PIPE TO SOLID PIPE
  - FORCE MAIN
  - FIRE WATER LINE
  - IRRIGATION
  - NATURAL GAS
  - ELECTRIC
  - JOINT TRENCH
  - CLEAN OUT
  - DOUBLE DETECTION CHECK VALVE
  - POST INDICATOR VALVE
  - VALVE
  - METER BOX
  - CATCH BASIN
  - AREA DRAIN
  - UNDERGROUND
  - FIRE HYDRANT
  - FIRE DEPARTMENT CONNECTION
  - WATER METER
  - MANHOLE
  - SEWER
  - DOWNPOUT
  - SPALSH BLOCK
  - PROPERTY LINE
  - SETBACK

**EARTHWORK QUANTITIES**

CUT	65 CY
FILL	170 CY
TOTAL TO BE MOVED	235 CY
WATER	170 E.V.
ESTIMATED QUANTITIES IN THESE AREAS ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR QUANTITIES AND USE THEIR CALCULATIONS FOR BIDDING AND COST ESTIMATING PURPOSES.	



**TITLE SHEET**  
HAMILTON RESIDENCE  
401 LA MESA DRIVE  
PORTOLA VALLEY (SMCO), CA 94028

**HYDROLOGY**

STORAGE VOL.	212.0 P
PROPOSED	
WET OF	212.0 P
EX. WET OF	
6.800 SF	

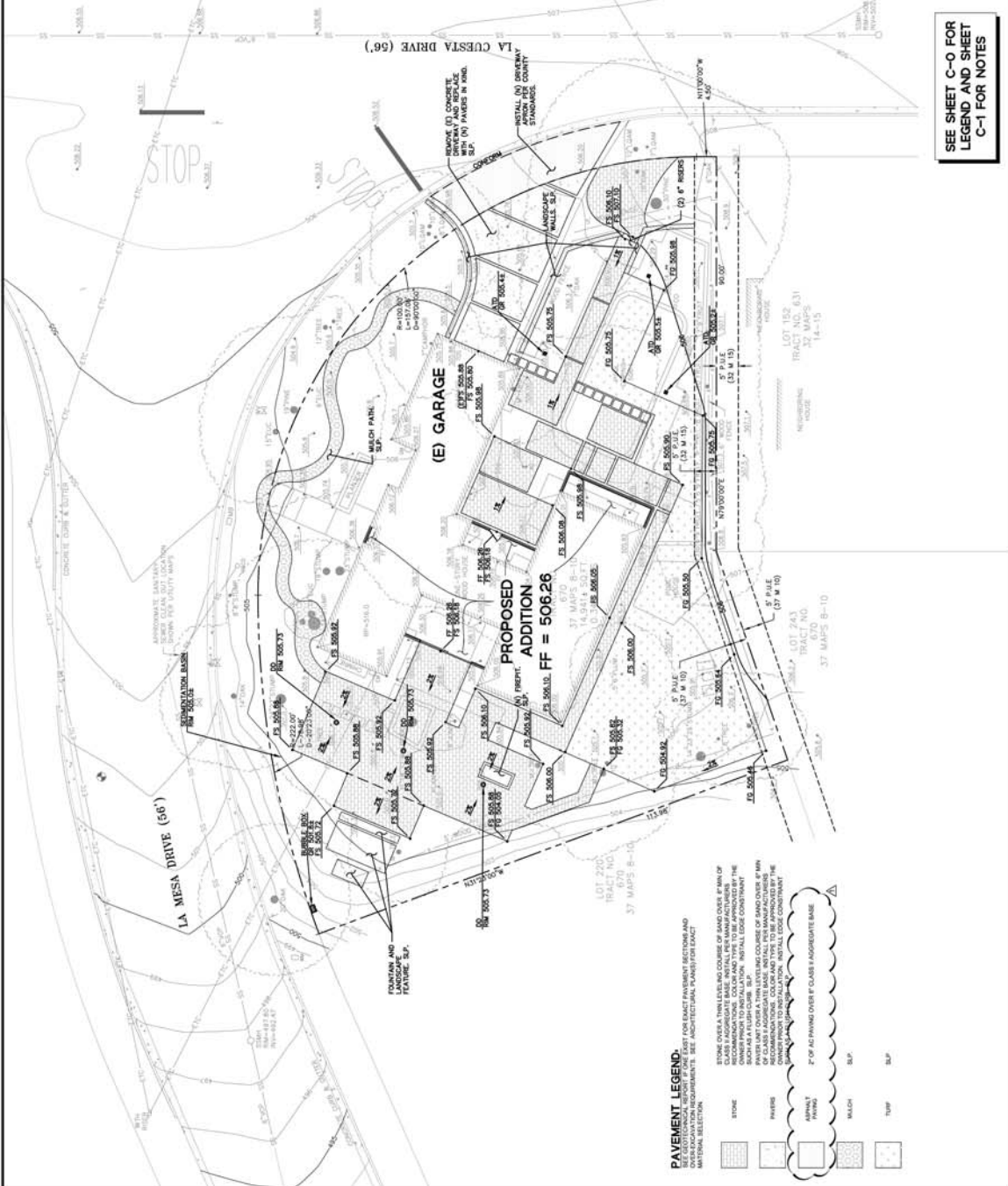
- SHEET INDEX**
- C-0 TITLE SHEET
  - C-1 GRADING PLAN
  - C-2 UTILITY PLAN
  - C-3 EROSION AND SEDIMENT CONTROL PLAN
  - C-4 LANDSCAPE PRACTICES (BMP)
  - C-5 DETAIL SHEET

## San Mateo County Zoning Hearing Officer Meeting

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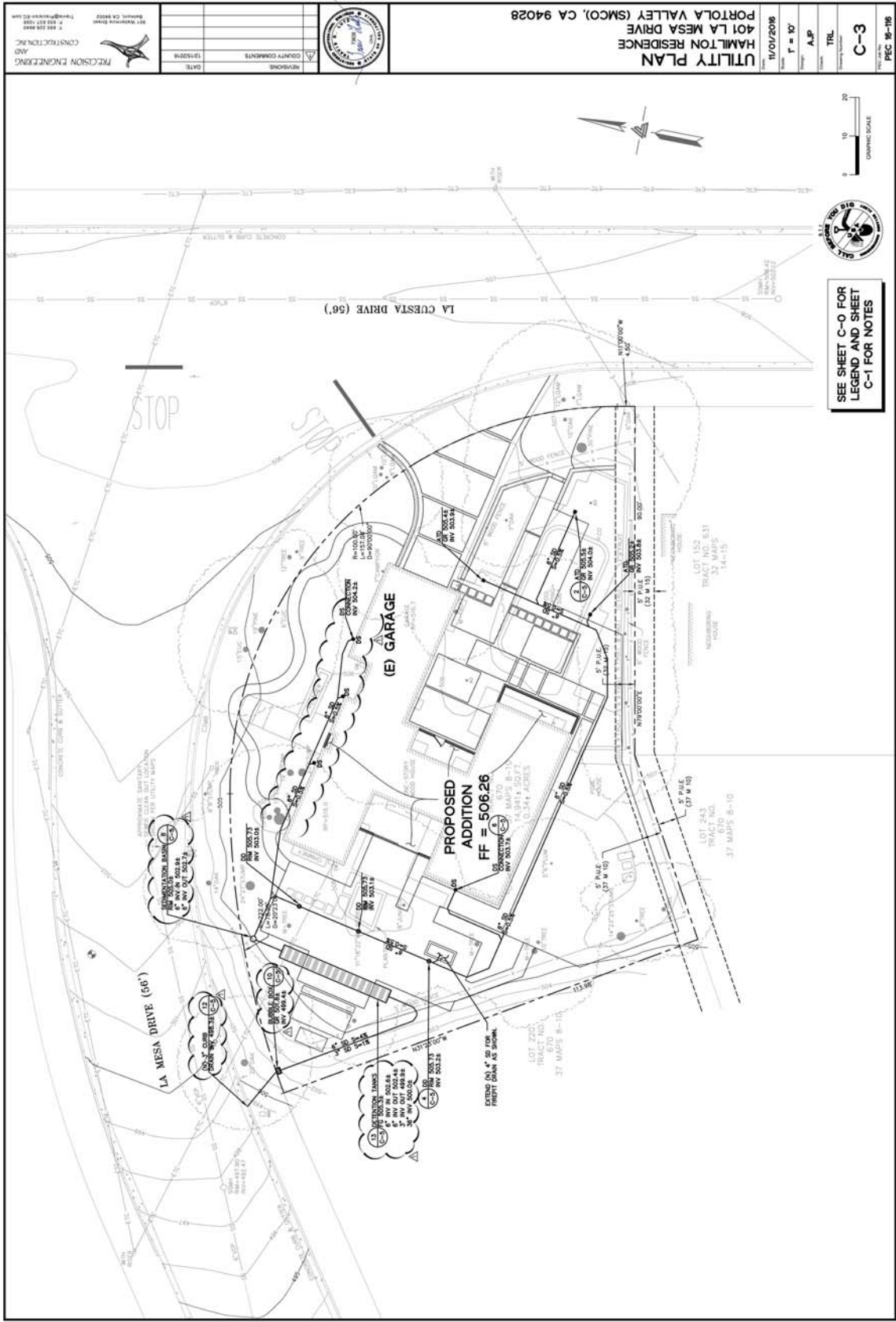
Attachment: B



**San Mateo County Zoning Hearing Officer Meeting**

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Attachment: C



SEE SHEET C-0 FOR  
LEGEND AND SHEET  
C-1 FOR NOTES

PEC 16-116

C-3

TRAIL

ALP

T = 10'

11/01/2016

UTILITY PLAN  
HAMILTON RESIDENCE  
401 LA MESA DRIVE  
PORTOLA VALLEY (SMCO), CA 94028



REVISIONS	DATE

PRECISION ENGINEERING AND CONSTRUCTION, INC.  
1001 W. BROADWAY  
SUNNYVALE, CA 94089  
TEL: 415.333.1000  
WWW.PRECISION-ENG.COM

**San Mateo County Zoning Hearing Officer Meeting**

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Attachment: C

