

0.14 0 0.07 0.14 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:4,513 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

# Application for Design Review by the County Coastside Design Review Committee

## Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063  
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN 2017-00017

Other Permit #: \_\_\_\_\_

### 1. Applicant Information

#### Applicant:

Name: NED BRASHER

Address: PO Box 370438

MONTARA Zip: 94037

Phone, W: 650-302-1317 H: 650-728-5199

Email: NBRASHER@COMCAST.NET

#### Owner (if different from Applicant):

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_ H: \_\_\_\_\_

Email: \_\_\_\_\_

#### Architect or Designer (if different from Applicant):

Name: PETER SAND

Address: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_ H: \_\_\_\_\_ Email: \_\_\_\_\_

### 2. Project Site Information

#### Project location:

APN: 036-243-110

Address: 15 BAY VIEW ROAD

MONTARA Zip: 94037

Zoning: RM/CZ/DD

Parcel/lot size: 1.77 acres sq. ft.

#### Site Description:

- Vacant Parcel
- Existing Development (Please describe): \_\_\_\_\_

### 3. Project Description

#### Project:

- New Single Family Residence: 3,294 sq. ft.
- Addition to Residence: \_\_\_\_\_ sq. ft.
- Other: GARAGE ATTACHED 672 sq. ft.

#### Describe Project:

Single Family Residence

EXTENSION OF ROADS + UTILITIES

HDPE PIPES FROM SHARED WELL

#### Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

4. Material and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	CONCRETE BOARDS		<input type="checkbox"/>
b. Trim	" "		<input type="checkbox"/>
c. Windows	Vinyl		<input type="checkbox"/>
d. Doors	Vinyl sliding / wood front door		<input type="checkbox"/>
e. Roof	Asphalt shingles		<input type="checkbox"/>
f. Chimneys	Prepare studs w/ APA / STAINLESS STEEL		<input type="checkbox"/>
g. Decks & railings	UPSTAIRS DECK		<input type="checkbox"/>
h. Stairs	INTRANK STAIRS - 2 levels		<input type="checkbox"/>
i. Retaining walls	AD BLOCKS		<input type="checkbox"/>
j. Fences	Ø		<input type="checkbox"/>
k. Accessory buildings	ATTACHED GARAGE		<input type="checkbox"/>
l. Garage/Carport	→		<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Submittals

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: Ned Braaten Applicant: Ned Braaten

Date: 01/19/2017 Date: 01/19/2017

# Application for a Coastal Development Permit

455 County Center, 2nd Floor • Redwood City, CA 94063  
 Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

## Companion Page

Applicant's Name: NED BRASHER

Primary Permit #: PLN 2017-00017

### 1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

### 2. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes     No

If yes, list Assessor's Parcel Number(s):

036 - 243 - 130

036 - 243 - 120

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes     No

If yes, explain (include date and application file numbers).

PLN 2006-00215

PLN 2006-00498

### 3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	<u>CONCRETE BOARDS</u>		<input type="checkbox"/>
b. Trim	<u>" "</u>		<input type="checkbox"/>
c. Roof	<u>ASPHALT TILES</u>		<input type="checkbox"/>
d. Chimneys	<u>PREPARED STOVE METAL</u>	<u>BLACK / STAINLESS STEEL</u>	<input type="checkbox"/>
e. Accessory Buildings			<input type="checkbox"/>
f. Decks/Stairs	<u>UPSTAIRS DECK</u>	<u>REDWOOD / STAIN</u>	<input type="checkbox"/>
g. Retaining Walls	<u>RB BLOCKS</u>		<input type="checkbox"/>
h. Fences	<u>Ø</u>		<input type="checkbox"/>
i. Storage Tanks	<u>2 - 4975 gal WATER TANKS</u>		<input type="checkbox"/>

## 4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- |   | Yes                                 | No                                  |
|---|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| d. Beaches?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| e. Sand Dunes?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| g. Ridgetops?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation?  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| j. Grading or alteration of landforms?  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| k. Landscaping?   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| l. Signs?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)?   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| n. Areas subject to flooding?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road?                        | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities?                         | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities?   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements?                        | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Explain all Yes answers below.** Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

- i. Remove 26 trees
- J. Road + house site
- K. Landscaping around house + preservation of grass, trees on acreage
- M. Underground by boring

## 5. Staff Use Only

### California Coastal Commission Jurisdiction

**A.** Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?
 

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--
- Construction or grading within 100 feet of a stream or wetland?
 

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?
 

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

**B.** Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

- |                              |  |
|------------------------------|--|
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
|------------------------------|--|

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: 

# Environmental Information Disclosure Form

PLN 2017-00017  
BLD \_\_\_\_\_

Project Address:  
115 BAY VIEW ROAD  
MONTARA, CA 94037  
Assessor's Parcel No: 036 -243 - 110  
Zoning District: RM/CZ/DR

Name of Owner: NED BRASHER  
Address: PO BOX 370438  
MONTARA, CA 94037 Phone: 650-302-1317  
Name of Applicant: Ned Brasher  
Address: PO BOX 370438 MONTARA,  
CA 94037 Phone: 650-302-1317

## Existing Site Conditions

Parcel size: 1.77 ACRES

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

Shed on parcel, shared well on parcel, WATER STORAGE pool ABANDONED

## Environmental Review Checklist

### 1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input checked="" type="checkbox"/>		d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? if yes, how many trees to be removed? <u>26</u>
<input checked="" type="checkbox"/>		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): <u>Excavation 370</u> <u>Fill 170</u> ROAD Excavation: <u>1100</u> c.y. Fill: <u>1100</u> c.y. HOUSE
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

1. d. 2 dangerous trees AND 24 within CONSTRUCTION AREA.  
2. e. ROAD + HOUSE CONSTRUCTION

2. National Marine Fisheries Rule 4(d) Review		
Yes	No	Will the project involve:
		a. Construction outside of the footprint of an existing, legal structure?
		b. Exterior construction within 100-feet of a stream?
		c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
		d. Land-use within a riparian area?
		e. Timber harvesting, mining, grazing or grading?
		f. Any work inside of a stream, riparian corridor, or shoreline?
		g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		

3. National Pollutant Discharge Elimination System (NPDES) Review		
Yes	No	Will the project involve:
	✓	a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of <b>10,000 sq. ft.</b> or more of impervious surface? If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	✓	b. Land disturbance of <b>1 acre</b> or more of area? If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <b>prior</b> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

**DECLARATION**

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: Neil Brubaker Date: 01/19/2017  
 (Applicant may sign)

# Application for a Grading Permit

Land Clearing Companion Page

Grading

Applicant's Name: NED BRASHER

Primary Permit #: PLN 2017-00017

## 1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Grading Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

## 2. Basic Information - Land Clearing

### Land Clearing Operator

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone: \_\_\_\_\_

License #: \_\_\_\_\_

♦ Area to be cleared: \_\_\_\_\_ sq. ft.

♦ Average slope of area to be cleared: \_\_\_\_\_

♦ Type of vegetation to be removed: \_\_\_\_\_

26 trees

♦ Disposal Site: \_\_\_\_\_

♦ Purpose of removal: \_\_\_\_\_

2 TREES DANGEROUS PER ARBORIST  
24 TREES FOR CONSTRUCTION OF  
HOUSE + POOL

## 3. Land Clearing Plan Requirements

The land clearing plans must show:

(1) Property lines.

(2) Location of area to be cleared.

(3) Existing structures

(4) Erosion control measures.

## 4. Basic Information - Grading

### Grading Operator

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone: \_\_\_\_\_

License #: \_\_\_\_\_

### Geotechnical Consultant

Name: Charles Kissick, P.E.

Address: 111 VASSAR ST

Half Moon Bay

Zip: 94019

Phone: 650-728-3590

License #: 62264



**Civil Engineer**

Name: CHARLES KISSICK, P.E.  
 Address: 111 VASSAR STREET  
HAIF MOON BAY  
 Zip: 94019  
 Phone: 650-728-3590  
 License #: 62264

♦ Engineer's estimate of the quantity of materials to be moved:

cut:	<u>1100 house</u>	<u>370 ROAD</u>	cubic yards
fill:	<u>1100 house</u>	<u>170 ROAD</u>	cubic yards
Depth of cut:			ft.
Depth of fill:			ft.

♦ Haul site:  
KEPT ON PARCELS + ROAD

♦ Purpose of grading:  
HOUSE SITE  
ROADS  
FIRE TRUCK TURNOUTS + TURN AROUND

♦ List Assessor's parcel numbers of any adjacent property owned by the owner or applicant, now or in the past:  
036 -243 - 130  
036 -243 - 120  
— —

**5. Grading Plan Requirements**

The grading plans, 24"x36", prepared and signed by a civil engineer shall contain the following:

- (1) All of the proposed uses for which the proposed grading is necessary.
- (2) Boundary lines of the site.
- (3) If there is a proposed subdivision, each lot or parcel of land into which the site is proposed to be divided.
- (4) The location of any existing buildings, structures, easements or underground utilities on the property where the work is to be performed and the location of any buildings or structures on adjacent land within 50 feet of the proposed work.
- (5) Accurate contours showing the topography of the existing ground extending at least 10 feet outside all boundary lines of the project site.
- (6) Elevations, locations, extent and slope of all proposed final grading shown by contours. Location of any rock disposal areas, buttress fills, subdrains, or other special features to be included in the work.
- (7) A statement of the quantities of material to be excavated and/or filled and the amount of such material to be imported to, or exported from, the site.

- (8) Location and nature of known or suspected soil or geologic hazard areas.
- (9) Specifications, cross-sections, profiles, elevations, dimensions and construction details based on accurate field data.
- (10) Construction details for roads, watercourses, culverts, bridges and drainage devices, retaining walls, gabion walls, cribbing, dams, and other improvements existing or to be constructed, together with supporting calculations and maps.
- (11) Approximate boundaries of any areas with a history of flooding.
- (12) Location, width, direction or flow and approximate location of top and toes of banks or any watercourse.
- (13) General location and character of vegetation covering the site, including all trees proposed to be removed and all trees 12" dbh within 20 feet of the area to be disturbed.
- (14) Name and registration number of the registered California civil engineer under whose direction the grading plan is prepared.

**RECEIVED**

JAN 19 2017

San Mateo County  
Planning and Building Department

PLN2017-00017

BLD:

Applicant: NED BRASHER

Mailing Address: PO BOX 370438

MONTARA, CA

Zip: 94037

Phone, W: 650-302-1317

H: 650-728-5199

E-mail Address: NBRASHER@COMCAST.NET

FAX:

455 County Center, 2nd Floor Redwood City CA 94063 Mail Drop:  
PLN 122 . TEL (650) 363-4161 FAX (650) 363-4849  
www.co.sanmateo.ca.us/planning

# Planning Permit Application Form

PLN:

Name of Owner (1): NED BRASHER  
Mailing Address: PO BOX 370438  
MONTARA  
CA Zip: 94037

Name of Owner (2): DEBRA BRASHER  
Mailing Address: PO BOX 370438  
MONTARA  
CA Zip: 94037

Phone, W: 650-302-1317

Phone, W: 650-787-5663

H: 650-728-5199

H: 650-728-5199

E-mail Address: NBRASHER@COMCAST.NET

E-mail Address: DBRASHER416@gmail.com

Project Location (address):

50 HERMOSA ROAD

MONTARA, CA 94037

Zoning: RM/CZ

Assessor's Parcel Numbers: 036 243 110  
036-243-130  
036 243 010 , 036-243-120  
036 231 090  
036 231 120

Parcel/lot size: 036-243-110 = 1.772 AC +/-

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

Resource Management, Coastal Development, Grading and Design Review permits for a 3,294 sq/ft single-family residence & a 672 sq/ft attached garage at 15 Bay View Road (APN 036-243-110). Construction of Bay View Road and a portion of Hermosa Road including underground utilities and HDPE water pipes from a shared well to proposed house and stubbed to utility boxes for APN's 036-231-100, 036-243-130 and 036-241-010 for future construction. Two fire truck turnouts and one turn around, and two fire hydrants. Two 4,975-gallon water tanks for domestic and fire hydrant water. Septic system with leech fields. Tree removals per arborist report. SWPPP isn't needed as less than one acre will be disturbed.

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

SEE BELOW FOR EXISTING FEATURES, TR.

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature:

*Ned A. Basher, Trustee*

Owner's signature:

*Basher, Trustee*

Applicant's signature:

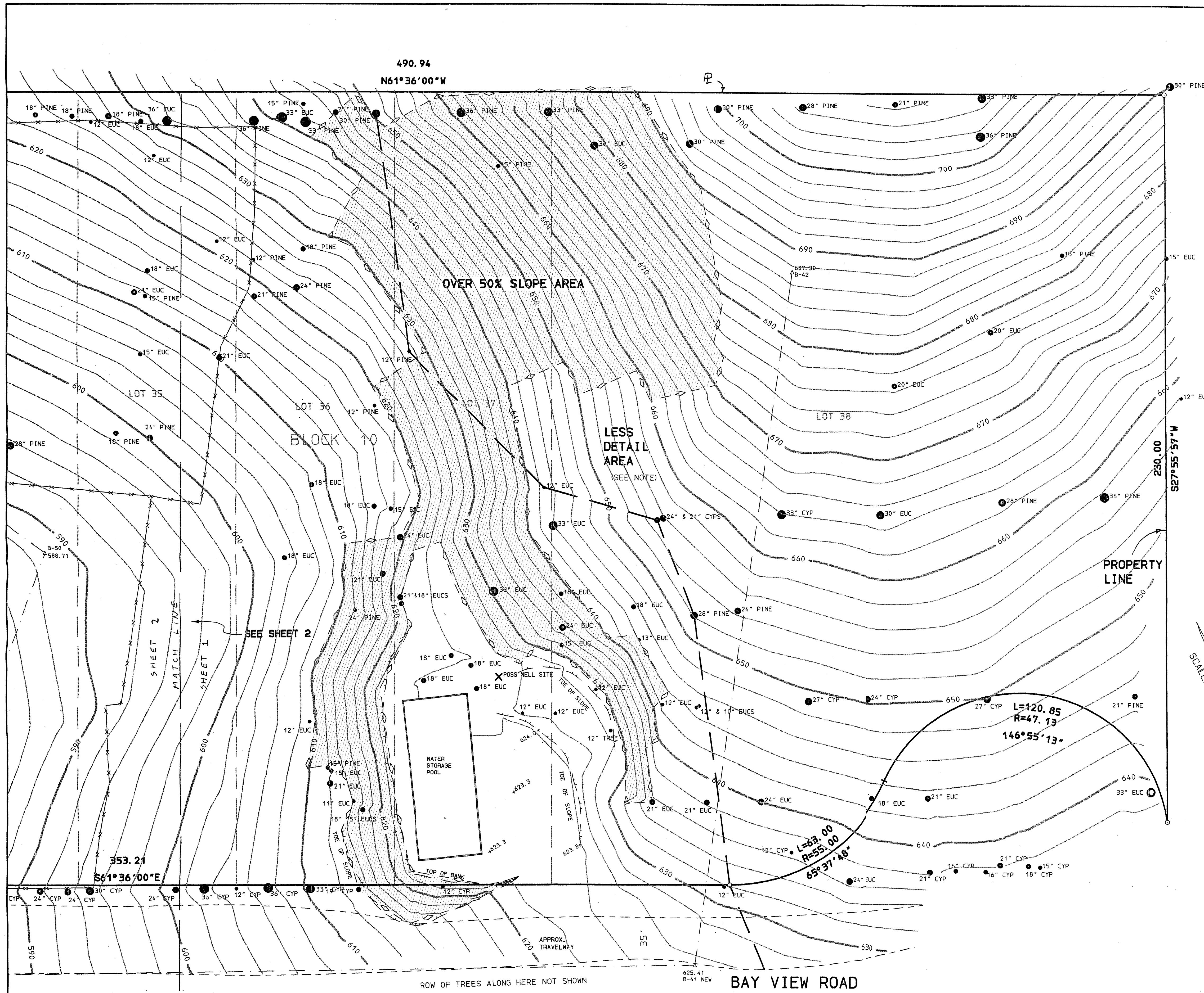
*Ned A. Basher, Trustee*

I:\web stuff\PBSite\pdf\Form\22054 09-06-12

**Submissions with application:**

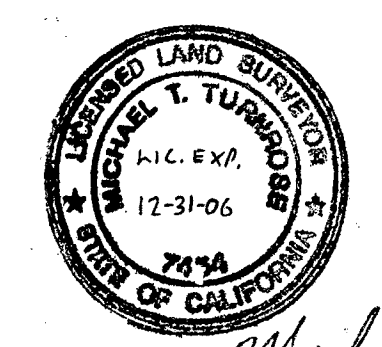
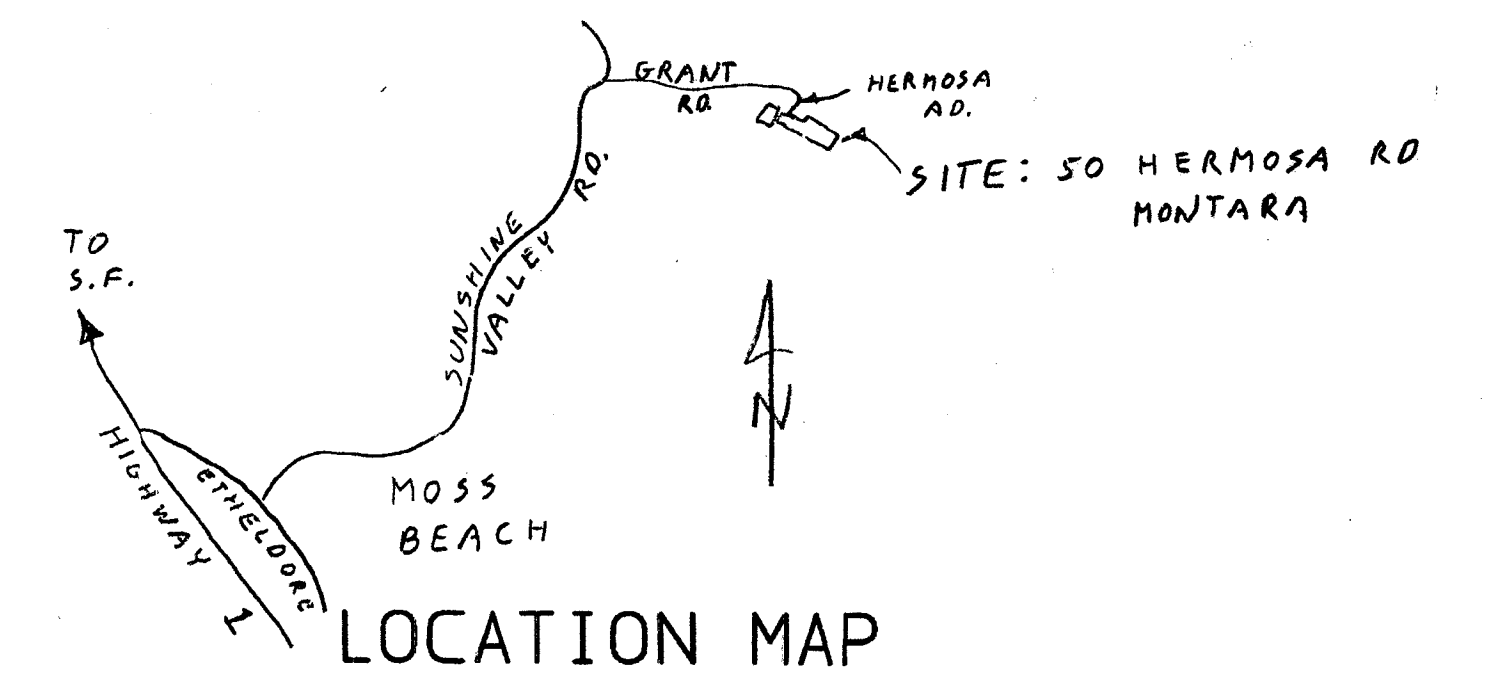
- 2 Sets of proof of ownership for all parcels: 1) Property tax statements, 2) Grant deeds.
- 5 sets of 24x36" and 2 sets of 8 1/2x11" Grading and Drainage Plan and Erosion Control Plan for house site.
- 5 sets of 24x36" and 2 sets of 8 1/2x11" Grading and Utility Plans.
- 5 sets of 24x36" and 2 sets of 8 1/2x11" Tree Map.
- 5 sets of 24x36" and 2 sets of 8 1/2 x11" Septic System Plan.
- 2 sets of Drainage Analysis.
- 2 sets of C.3 & C.6 Development Review Checklist for Bay View Road and portion of Hermosa Road.
- 2 sets of C.3 & C.6 Development Review Checklist for APN 036-243-110.
- 2 sets of Tree Inventory Report.
- 2 sets of Biological Resources Evaluation.
- 5 sets of 24x36" and 2 sets of 8 1/2x11" House Plans.
- 2 copies of Geotechnical Study

Landscaping Plan to be submitted later.



NOTES:

- 1) ELEVATIONS SHOWN WERE TAKEN FROM A HUB WITH SPIKE AND SHINER SHOWN AS "B-4" WITH AN ASSUMED ELEVATION OF 564.71 FEET..
- 2) TOPOGRAPHIC FEATURES SHOWN WERE LOCATED BY THE "E.D.M." METHOD. ALTHOUGH THIS METHOD PROVIDES AN ACCURACY OF LESS THAN TWO FEET IN VERTICAL AND TWO FEET IN HORIZONTAL" ERROR. IN MOST CASES, ANY PROPOSED DEVELOPMENT THAT IS DESIGNED ON (1) SPECIFIC HEIGHT REQUIREMENTS AND/OR (2) A CLOSENESS TO SAID FEATURES MUST BE CONFIRMED ON THE SITE.
- 3) CONTOUR INTERVAL = 2'; SCALE: 1" = 16'.
- 4) NOT ALL TREES WERE LOCATED BY THIS SURVEY..
- 5) THE LOCATION OF MULTIPLE TREES ARE SHOWN TO REFLECT THE NUMBER OF TRUNKS IN A GROUP AND NOT NECESSARILY THEIR TRUE RELATIVE POSITION TO EACH OTHER. SOME TREE SPECIES COULD NOT BE IDENTIFIED.
- 6) THE EASEMENT SHOWN WAS TAKEN FROM A TITLE INSURANCE POLICY PREPARED BY TITLE INSURANCE COMPANY OF MINNESOTA DATED JUNE 9, 1986 WITH ORDER NUMBER 101522. THERE ARE NO EASEMENTS OF RECORD ENCUMBERING ON THE LARGER PARCEL AS PER A PRELIMINARY REPORT PREPARED BY OLD REPUBLIC TITLE DATED APRIL 22, 1999 WITH ORDER NUMBER 273452.
- 7) THE PROPERTY LINES SHOWN WERE DETERMINED FROM A BOUNDARY SURVEY CONDUCTED IN AUGUST & SEPTEMBER OF 2001. A RECORD OF SURVEY MAP HAS BEEN SUBMITTED TO THE COUNTY AND IS PENDING RESUBMITAL.
- 8) GENERALLY, AT THE TIME OF THIS SURVEY, LOWER PORTIONS OF THE PROPERTY HAD BEEN CLEARED OF UNDERBRUSH.
- 9) THE AREA TO THE EAST OF THE BOLD DASHED LINE IS LESS ACCURATE WITH LESS DETAIL AND ONLY SOME TREES ARE SHOWN.
- 10) TOPOGRAPHIC FEATURES SHOWN AS THEY WERE IN OCTOBER & NOVEMBER, 2002.



Michael T. Turnrose

REVISED 9/10/04  
**TOPOGRAPHIC MAP**  
 OF THE LANDS OF BRASHER AS DESCRIBED IN DOCUMENT NUMBERS 95-099361 & 1999-165801 OF OFFICIAL RECORDS, BEING MORE COMMONLY KNOWN AS ASSESSOR'S PARCEL NUMBERS 36-231-090 & -100 & 36-243-020. SAN MATEO COUNTY RECORDS, CALIFORNIA.

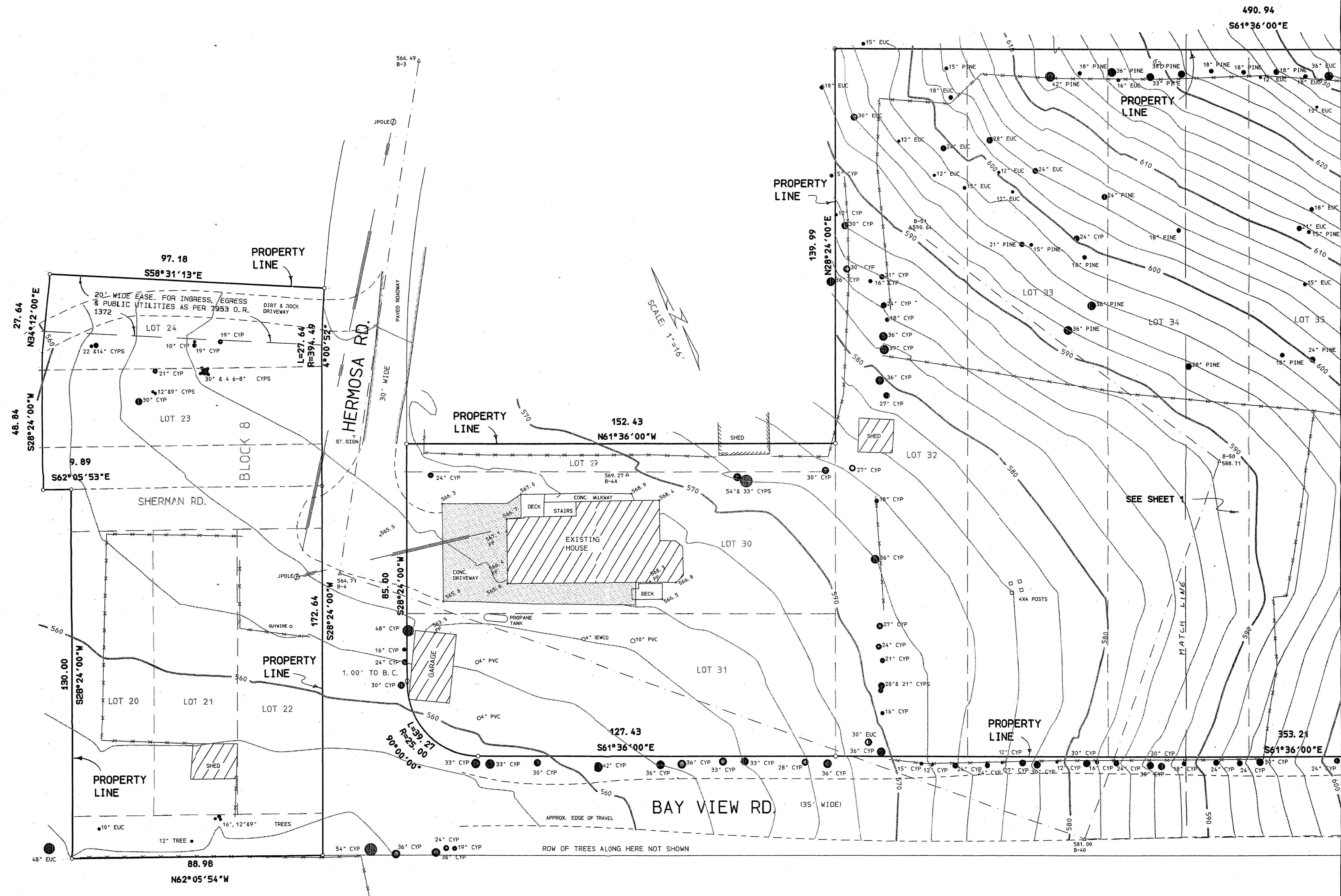
--FOR--  
 NED BRASHER  
 P.O. BOX 370438  
 MONTARA, CA. 94037  
 (650) 728-5199

SAN MATEO COUNTY CALIFORNIA  
 SCALE: 1" = 16' NOV. 2002

**TURNROSE LAND SURVEYING**  
 P.O. BOX 5648, REDWOOD CITY, CA. 94063  
 (650) 324-3316  
 FAX (209) 599-5119

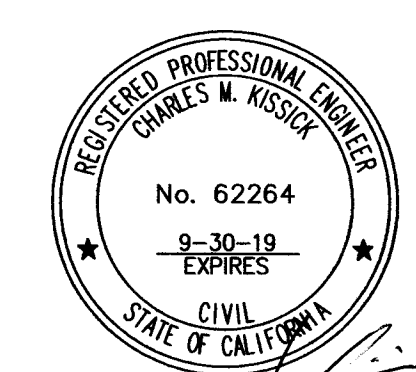
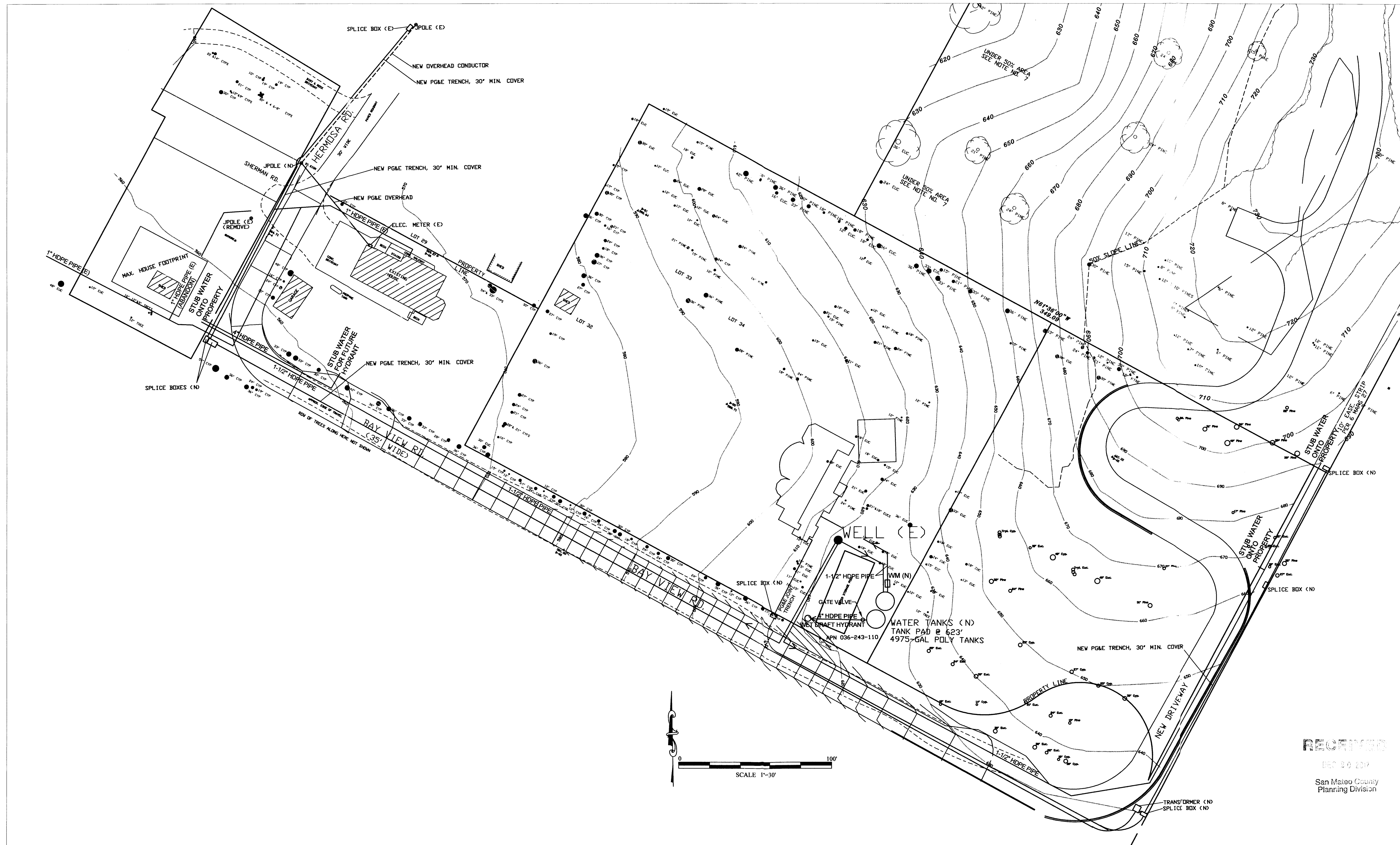
RECEIVED  
 MAR 30 2017  
 San Mateo County

0100-2102-21



SCALE: 1"=16'

SEE SHEET 1



**Sigma Prime Geosciences, Inc.**  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 FAX: 728-3593

DATE: 12-20-17  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE:

**UTILITY PLAN**  
 BRASHER PROPERTIES  
 MONTARA, CA

SHEET  
 C-4

**GENERAL NOTES**

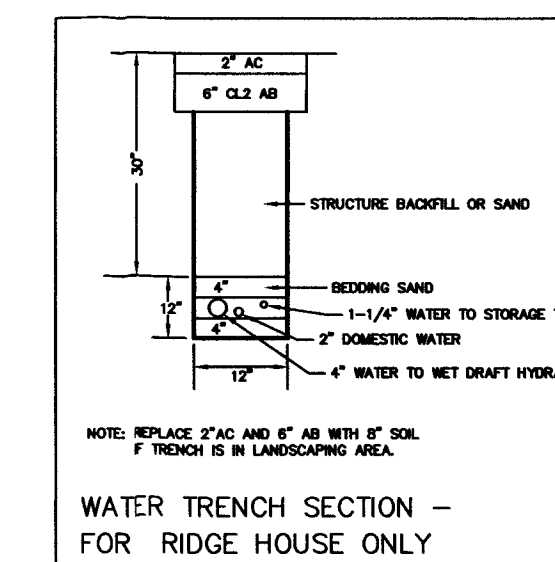
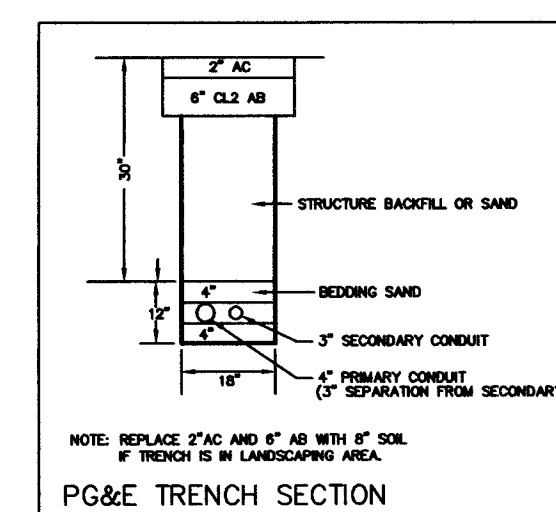
1. PLANS PREPARED AT THE REQUEST OF: MR. NED BRASHER, P.O. BOX 438, MONTARA, CA 94037
2. SURVEY BY OTHERS: ELEVATIONS BASED ON ASSUMED DATUM.
3. THIS IS NOT A BOUNDARY SURVEY.

**LEGEND**

- EXISTING CONTOURS
- PROPOSED HDPE WATER SUPPLY LINE, DIAMETERS AS MARKED
- PROPOSED ELECTRICAL PG&E CONDUIT TRENCH

**UTILITY NOTES**

1. WATER WELL SHALL SUPPLY FOUR PROPERTIES VIA 1-1/2" HDPE PIPELINES TO WATER METER AT EACH PROPERTY LINE.
2. HYDRANTS AND WATER STORAGE TANKS WILL BE PLACED AT PROPERTIES AS THEY ARE DEVELOPED.
3. REFER TO PG&E SHEET (PM 31298108, DATED 11-8-17) FOR ALL DESCRIPTIONS AND DETAILS ON CONDUITS, SPLICE BOXES, TRANSFORMER, ETC.
4. PG&E LINES IN ROAD AND UTILITY EASEMENT (APN 036-243-140) TO BE INSTALLED UNDERGROUND VIA DIRECTIONAL BORING. UTILITIES ON PARCEL APN 036-243-110 MAY BE INSTALLED IN CONVENTIONAL TRENCHES.
5. A SUBMERSIBLE PUMP IN WELL WILL SUPPLY WATER TANKS.
6. A PRESSURE TANK WILL PROVIDE WATER PRESSURE FOR DOMESTIC AND FIRE SPRINKLER USE.
7. WATER METER SHALL BE INSTALLED AT EACH HOUSE SITE.
8. NO SEWER LINES OR GAS LINES. PROPERTIES TO USE SEPTIC SYSTEMS AND PROPANE TANKS.



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 San Mateo County  
 Planning Division

# A NEW RESIDENCE

## BRASHER. MEADOW PROPERTY

A.P.N. 036-243-110

### BAY VIEW ROAD

### MONTARA, CA.

OWNER  
MR. & MRS. N. BRASHER  
(650) 728-2199

PLANS BY  
PETER SANO (650) 494-6811  
3112 SOUTH COURT  
PALO ALTO, CA 94306

ENGINEER  
BUILDING TECHNOLOGIES  
WINFRED TAI (650) 591-0817  
655 SKYWAY SUITE H-5  
SAN CARLOS, CA 94070

ALT. 30, 2006  
NOV. 16, 2006  
COUNTY PLANNING (FRONT SETBACK REVISED)  
JULY 17, 2007  
BUILDING

5' offset

#### GENERAL STRUCTURAL NOTES

##### Construction

- All works shall be in conformance with the Uniform Building Code, latest edition adopted by the local governing agency, and any applicable local ordinances.
- The general contractor shall furnish all labor, materials, utensils, utilities, temporary facilities, etc. for the full performance of work herein specified. He shall at all times maintain facilities for the inspection of all parts of work. He shall properly protect all structures, facilities, grounds, plants, trees, paving, etc. from damage by natural causes or acts of carelessness or vandalism.
- Whenever a trade name appears in the drawings, it is considered as setting a standard, and suitable equivalent substitutions may be offered for approval. The term "or equal" shall mean similar or superior in all respects and the burden of proof is on the substitute.
- All dimensions and conditions shall be checked and verified on the job site. Any errors, omissions, or discrepancies shall be brought to the attention of the designer and/or engineer.
- Written dimensions on plans shall take precedence over scale.

##### Foundations/ Site Work

- All foundations shall bear on firm, undisturbed, native soils or engineered fills at depth shown on the drawings.
- All footing excavations shall be neat. Over excavations in width shall be filled with concrete. All loose soils shall be removed from excavations prior to placement of concrete.

##### Concrete and Reinforcement

- All concrete shall be normal weight and shall have a 28 days compressive strength of 2500 psi. No special inspection is required for concrete.
  - Concrete shall be placed as rapidly as possible by a method which would prevent the separation or loss of ingredients. Concrete shall be placed as neatly as practical in its final position, to avoid rehandling or flowing.
  - Schedule of pouring concrete shall be such that no concrete shall take initial set before the next layer is poured.
  - All concrete shall be thoroughly consolidated and compacted by suitable means during the operations of placing and depositing and shall be worked around reinforcement, embedded items and into corners of forms. All concrete against forms shall be thoroughly spaded. Internal vibrators shall be used under experienced supervision and shall be kept out of contact with reinforcement and wood forms.
  - Reinforcing steel shall conform to ASTM A-615, grade 60 for #5 bars and larger and grade 40 for #4 bars and smaller. Steel shall be kept clean and free of rust scales.
  - Reinforcements, anchor bolts and inserts shall be rigidly held in place prior to placing concrete.
- Reinforcing bars shall be in lengths as long as practical. Splices shall be lapped a minimum of 40 bar diameter.
  - Minimum reinforcing steel cover requirements:
    - Cast against and exposed to earth.....3"
    - Formed surfaces.....2"
    - Slabs on grade.....1 1/2"
  - All reinforcement bends shall be "cold bent". All reinforcing bars shall end in a standard hook unless detailed otherwise. At corners and intersections, bars shall return a minimum of 18".

##### Carpentry

- All framing lumber shall be S4S Douglas Fir Larch conforming to the requirements of the "Standard Grading and Dressing Rule No. 16." All framing lumber shall meet or exceed the following commercial grades:
  - Studs, plates, blocking, joists, rafters, ledgers and 4x beams and posts.....No. 2
  - Beams and posts 6x or larger.....No. 1
- Wood shall have an average moisture content of 19% at time of erection with no single member having a moisture exceeding 22%.
- Sills and members in contact with concrete shall be pressure treated Douglas Fir Larch grade No. 2 or Redwood grade No. 2.
- Sills shall be installed in long pieces. Double top plates shall be in long runs and shall lap a minimum of 4 feet at splices.
- Microlam and Parallam beams shall be manufactured by Trus Joist MacMillan (ICBO Report No. ER-4979).
- Plywood sheathing nails shall be driven flush but not fracture the surface of the sheathing.
- Nails shall be common wire except that nails used in exterior applications shall be hot dip galvanized box.
- All nailing not specifically called out on plans shall be per UBC Table 23-I-Q.
- Machine bolts and anchor bolts shall conform to ASTM A-307. Provide plate or malleable iron washers under head and nut where bearing is against wood. Bolts holes in wood shall be 1/16" larger than bolt sizes, unless otherwise noted. Nuts shall be tightened when placed and retightened before closing in.
- Joist hangers, metal connectors and other miscellaneous timber connectors shall be by Simpson Co. unless otherwise noted. Nail or bolt at all pre-drilled holes per manufacturer's instructions.
- Do not notch beams, rafters, and studs unless otherwise noted or approved by the engineer.
- Anchor bolt, washer, nail, and any other connector materials that are in contact with pressure treated lumber must be hot-dipped zinc galvanized, stainless steel, silicon bronze or copper. If galvanized, a minimum galvanization level of G185 is required.

TABLE 23-I-B-1 NAILING SCHEDULE

DESCRIPTION	QUANTITY	REMARKS
1. Nails to sill or girder, toenail	3-8d	
2. Bridging to joist, toenail each end	2-8d	
3. 1" x 6" (25 mm x 152 mm) subfloor or less to each joist, face nail	2-8d	
4. Wider than 1" x 6" (25 mm x 152 mm) subfloor to each joist, face nail	2-8d	
5. 2" (51 mm) subfloor to joist or girder, blind nail face nail	3-8d	
6. Sole plate to joist or blocking, typical face nail	2-16d	
7. Top plate to stud, end nail	16d at 16" (406 mm) o.c.; 2-16d per 16" (406 mm)	
8. Stud to sole plate	2-16d	
9. Double studs, face nail	4-8d, toenail or 2-16d, end nail	
10. Double top plate, typical face nail	16d at 24" (610 mm) o.c.	
Double top plates, top splice	16d at 16" (406 mm) o.c.	
11. Blocking between joists or rafters to top plate, toenail	8-16d	
12. Run joist to top plate, toenail	2-8d	
13. Top plate, top and intersections, face nail	16d at 6" (152 mm) o.c.	
14. Continuous header, two pieces	2-16d	
15. Ceiling joist to plate, toenail	16d at 16" (406 mm) o.c. along each edge	
16. Continuous header to stud, toenail	2-8d	
17. Ceiling joist, top over partition, face nail	4-8d	
18. Ceiling joist to parallel rafter, face nail	3-16d	
19. Rafter to plate, toenail	3-16d	
20. 1" (25 mm) brace to each stud and plate, face nail	3-8d	
21. 1" x 8" (25 mm x 203 mm) sheathing or less to each bearing, face nail	2-8d	
22. Wider than 1" x 8" (25 mm x 203 mm) sheathing to each bearing, face nail	2-8d	
23. Built-up corner studs	16d at 24" (610 mm) o.c.	
24. Built-up girder and beams	20d at 32" (813 mm) o.c. at top and bottom and staggered 2-20d at ends and at each splice	
25. 2" (51 mm) plate	2-16d at each bearing	
26. Wood structural panels and particulateboard: <sup>1</sup> Subfloor and wall sheathing (to framing): 1/2" (12.7 mm) and less 1/2" x 3/4" (12.7 mm x 19 mm) 3/4" (19 mm) and less 3/8" x 1/4" (9.5 mm x 6.4 mm) 3/8" (9.5 mm) and less 3/8" x 1/4" (9.5 mm x 6.4 mm) 3/8" (9.5 mm) and less 3/8" (9.5 mm) and less	6d 8d 8d 8d 8d 8d 8d	
27. Panel siding (to framing): <sup>2</sup> 1/2" (12.7 mm) or less 3/8" (9.5 mm)	6d 8d	
28. Fiberglass sheathing: <sup>3</sup> 1/2" (12.7 mm) 3/8" (9.5 mm)	No. 11 ga. No. 14 ga. No. 11 ga. No. 16 ga.	
29. Interior sheathing: 1/2" (12.7 mm) 3/8" (9.5 mm)	4d 6d	

<sup>1</sup>Common or box nails may be used except where otherwise stated.  
<sup>2</sup>Nails spaced at 6 inches (152 mm) on exterior edges, 12 inches (305 mm) at intermediate supports except 6 inches (152 mm) at all supports where spans are 48 inches (1219 mm) or more. For nailing of wood structural panels and particulateboard diaphragms and shear walls, refer to Sections 2315.3.3 and 2316.4. Nails common or deformed shank.  
<sup>3</sup>Common or deformed shank.  
<sup>4</sup>Deformed shank.  
<sup>5</sup>Common requires sliding or ceiling nails conforming to the requirements of Section 2304.3.  
<sup>6</sup>Fasteners spaced 3 inches (76 mm) on center at exterior edges and 6 inches (152 mm) on center at intermediate supports.  
<sup>7</sup>Common requires ceiling nails with 1/2-inch diameter (12 mm) head and 1 1/2-inch (38 mm) length for 1/2-inch (12.7 mm) sheathing and 1 3/4-inch (44 mm) length for 3/4-inch (19 mm) sheathing conforming to the requirements of Section 2304.3.  
<sup>8</sup>Common requires ceiling nails with 1/2-inch diameter (12 mm) head and 1 1/2-inch (38 mm) length for 1/2-inch (12.7 mm) sheathing and 1 3/4-inch (44 mm) length for 3/4-inch (19 mm) sheathing conforming to the requirements of Section 2304.3.  
<sup>9</sup>Panel supports at 16 inches (406 mm) (20 inches (508 mm) at strength ends in the long direction of the panel, unless otherwise marked). Ceiling or finish nails spaced 6 inches (152 mm) on panel edges, 12 inches (305 mm) at intermediate supports.  
<sup>10</sup>Panel supports at 24 inches (610 mm). Ceiling or finish nails spaced 6 inches (152 mm) on panel edges, 12 inches (305 mm) at intermediate supports.

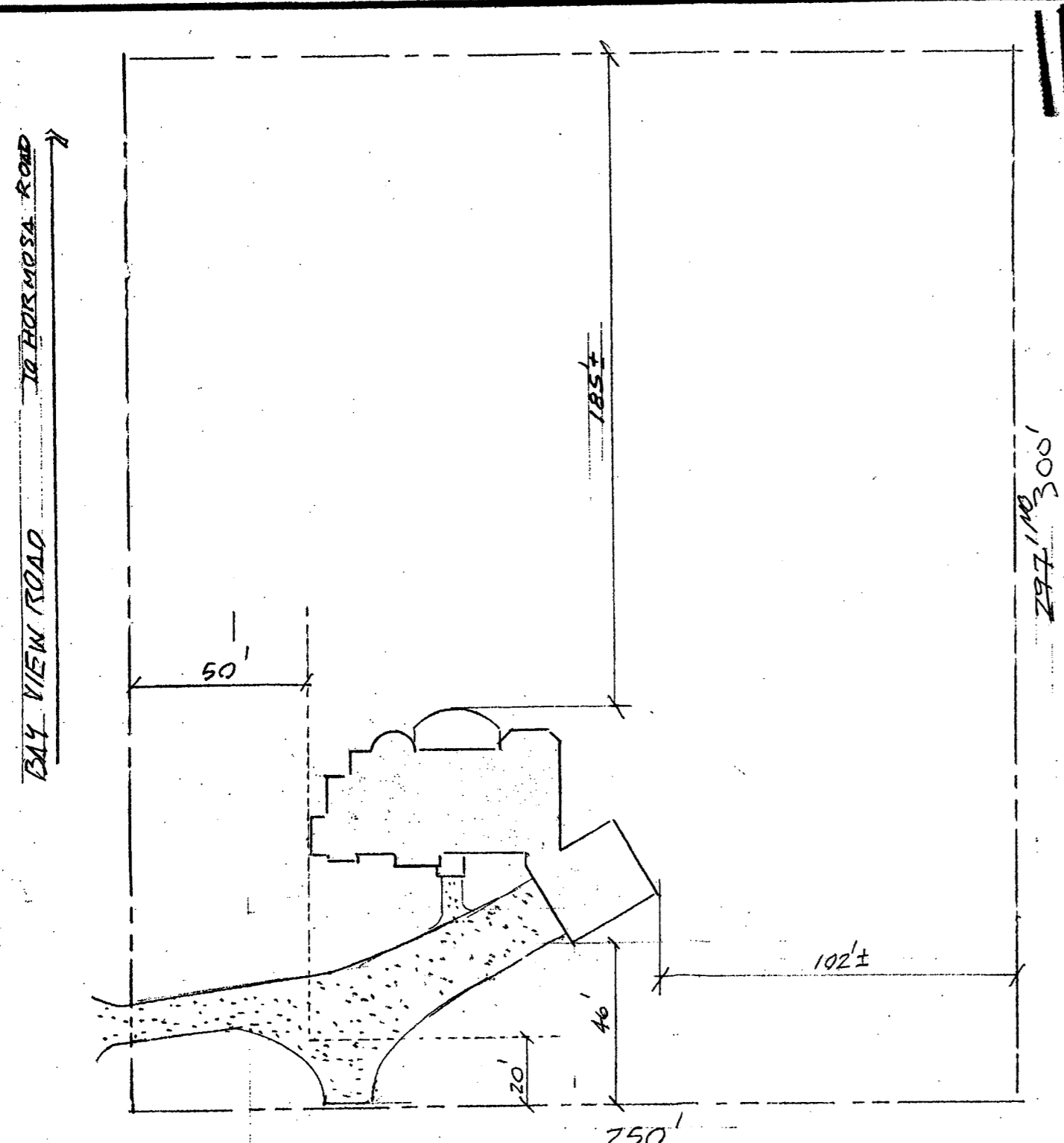
#### INDEX SHEET

- COVER GENERAL NOTES
- SITE PLAN
- MAIN LEVEL FLOOR PLAN
- MAIN LEVEL WALL LAY-OUT PLAN
- LOWER LEVEL FLOOR PLAN
- LOWER LEVEL WALL LAY-OUT PLAN
- EXTERIOR ELEVATION
- EXTERIOR ELEVATION
- FOUNDATION PLAN
- LOWER LEVEL SHEAR WALL PLAN
- UPPER LEVEL FLOOR FRAMING PLAN
- UPPER LEVEL SHEAR WALL PLAN
- CEILING JOIST PLAN
- ROOF FRAMING PLAN
- BUILDING SECTION
- BUILDING SECTION
- SHEAR WALL NAILING SCHEDULE
- RETAINING WALL & FINISH LAY-OUT
- DETAIL
- TITLE 24, 25, 26, 27, 28, 29

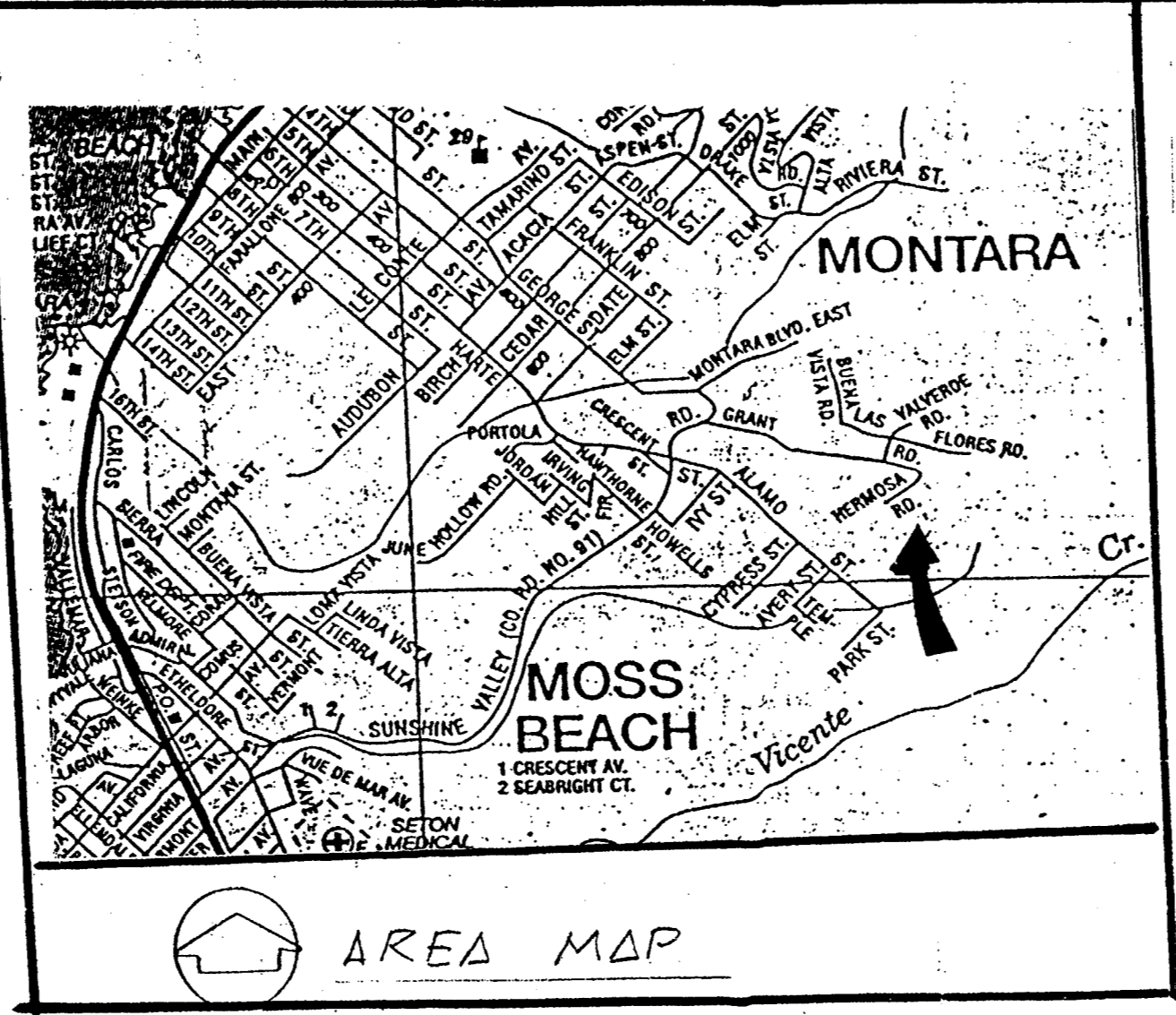
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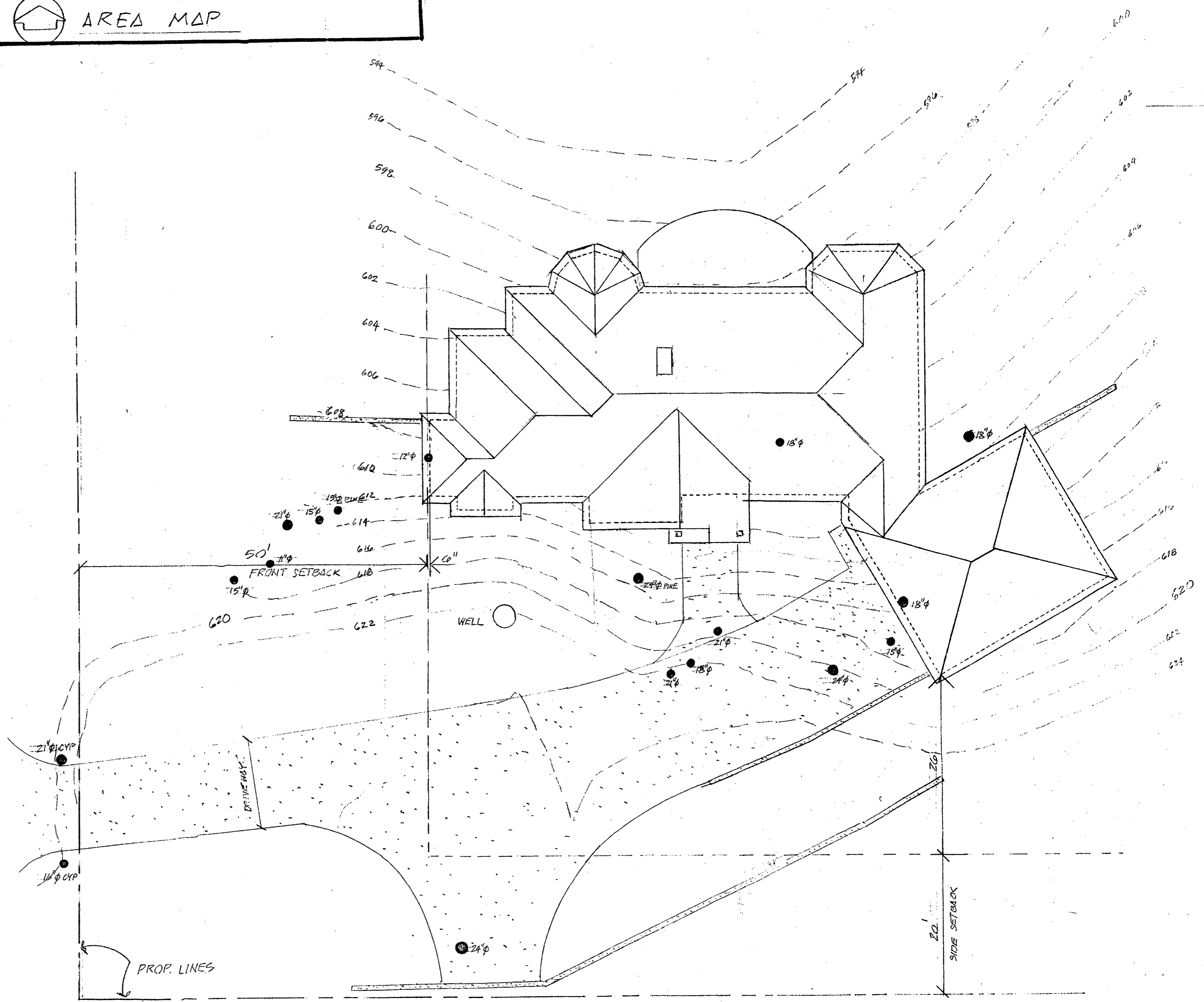
San Mateo County  
Planning Division



SITE PLAN SCALE 1"=40'  
 FOR DRIVEWAY LAYOUT & PROFILE SEE:  
 GRADING PLAN SHEET C-1 BY:  
 SIGMA PRIME GEOSCIENCES, INC.



GRADING, DRAINAGE & EROSION CONTROL  
 SEE PLAN BY SIGMA GEOSCIENCES, INC.



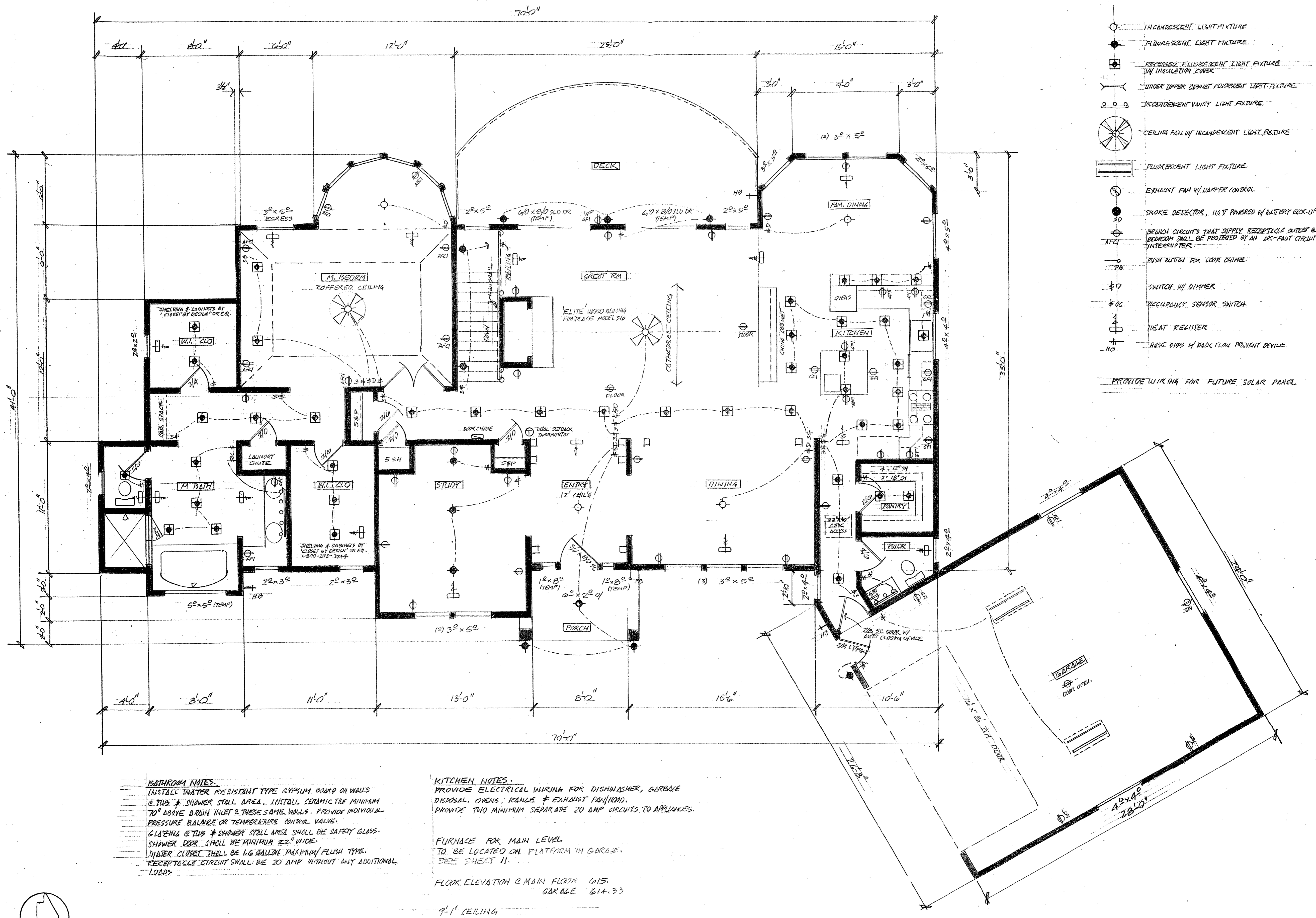
● TO TREES TO BE REMOVED  
 ALL EUCALYPTUS U.O.N.  
 SMALLER TREES/SAPLINGS WITH 30'  
 OF PROPOSED RESIDENCE NOT SHOWN

FOR GRADING, DRAINAGE & EROSION CONTROL PLAN  
 SEE SHEET C-1 BY:  
 SIGMA PRIME GEOSCIENCES, INC.

MAIN LEVEL 615.0  
 LOWER LEVEL 605.0  
 GARAGE 614.33

SITE PLAN SCALE 1"=10'





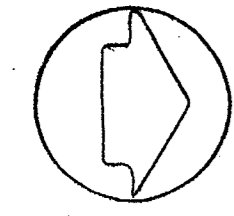
- INCANDESCENT LIGHT FIXTURE
  - FLUORESCENT LIGHT FIXTURE
  - ⊕ RECESSED FLUORESCENT LIGHT FIXTURE W/ INSULATION COVER
  - ⊖ UNDER UPPER CABINET FLUORESCENT LIGHT FIXTURE
  - INCANDESCENT VANITY LIGHT FIXTURE
  - ⊙ CEILING FAN W/ INCANDESCENT LIGHT FIXTURE
  - ▭ FLUORESCENT LIGHT FIXTURE
  - ⊖ EXHAUST FAN W/ DAMPER CONTROL
  - SD SMOKE DETECTOR, 110V POWERED W/ BATTERY BACK-UP
  - ⊕ BRANCH CIRCUITS THAT SUPPLY RECEPTACLE OUTLET & BEDROOM SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER
  - PB PUSH BUTTON FOR DOOR CHIME
  - ⊖ SD SWITCH W/ DIMMER
  - ⊖ OC OCCUPANCY SENSOR SWITCH
  - ⊖ HR HEAT REGISTER
  - ⊖ HD HOSE BIBS W/ BACK FLAM PREVENT DEVICE
- PROVIDE WIRING FOR FUTURE SOLAR PANEL

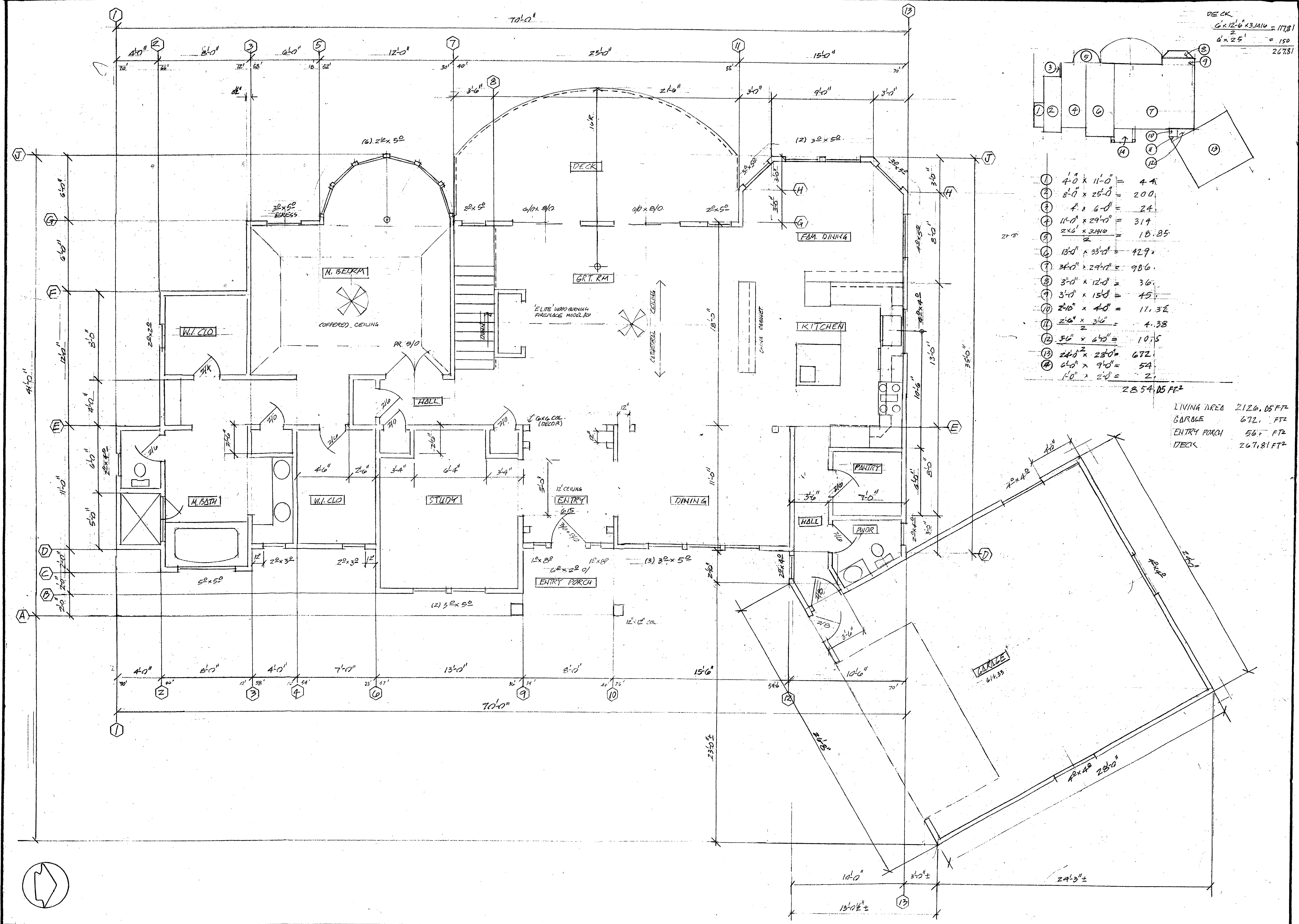
**BATHROOM NOTES:**  
 INSTALL WATER RESISTANT TYPE GYPSUM BOARD ON WALLS @ TUB & SHOWER STALL AREA. INSTALL CERAMIC TILE MINIMUM 70" ABOVE DRAIN INLET @ THESE SAME WALLS. PROVIDE INDIVIDUAL PRESSURE BALANCE OR TEMPERATURE CONTROL VALVE.  
 GLAZING @ TUB & SHOWER STALL AREA SHALL BE SAFETY GLASS. SHOWER DOOR SHALL BE MINIMUM 22" WIDE.  
 WATER CLOSET SHALL BE 1/2 GALLON MAXIMUM FLUSH TYPE.  
 RECEPTACLE CIRCUIT SHALL BE 20 AMP WITHOUT ANY ADDITIONAL LOADS.

**KITCHEN NOTES:**  
 PROVIDE ELECTRICAL WIRING FOR DISHWASHER, GARBAGE DISPOSAL, OVENS, RANGE & EXHAUST FAN/HOOD.  
 PROVIDE TWO MINIMUM SEPARATE 20 AMP CIRCUITS TO APPLIANCES.

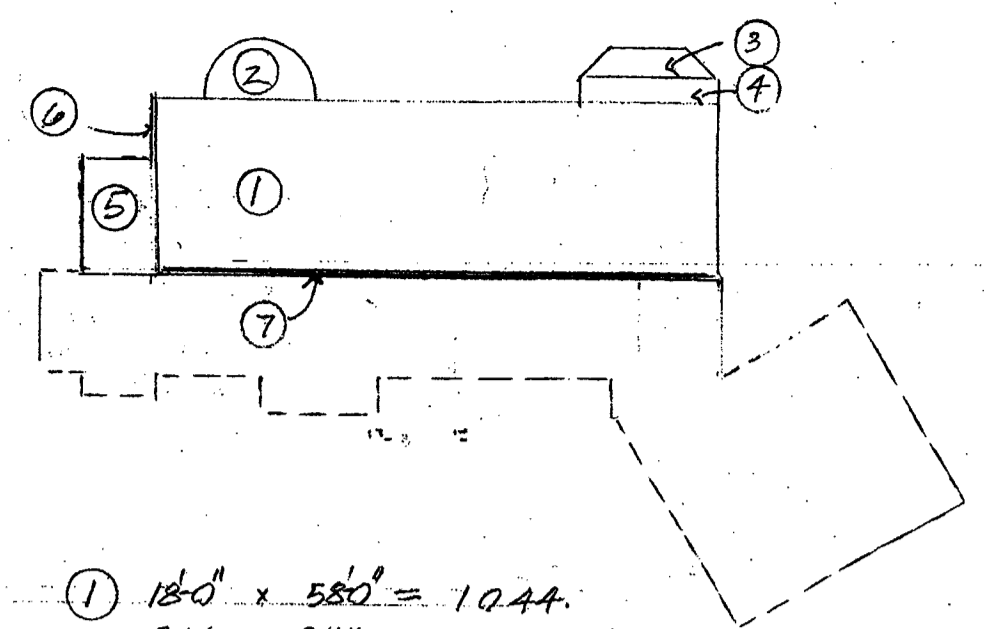
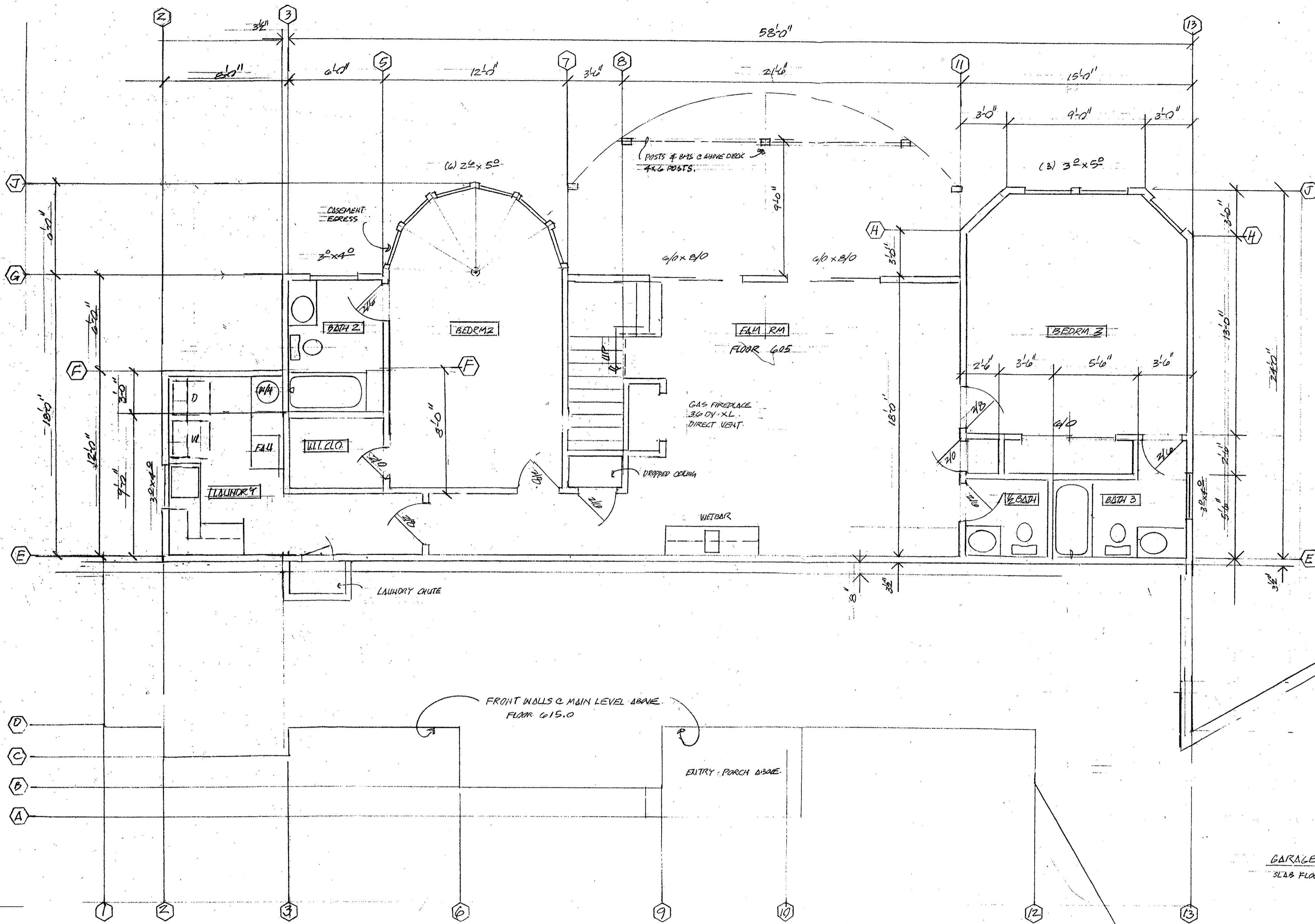
FURNACE FOR MAIN LEVEL  
 TO BE LOCATED ON PLATFORM IN GARAGE.  
 SEE SHEET 11.  
 FLOOR ELEVATION @ MAIN FLOOR 615.  
 GARAGE 614.33

9'-1" CEILING

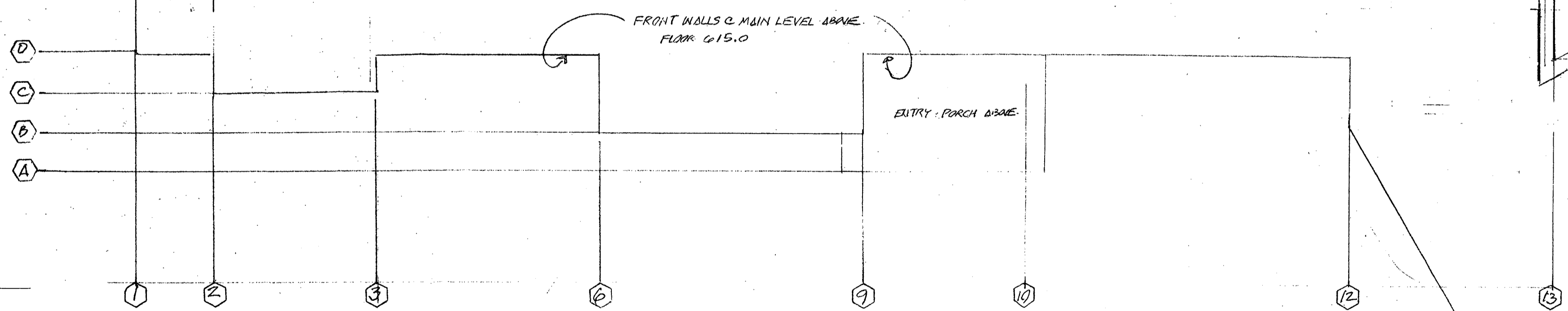




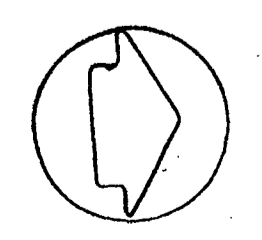




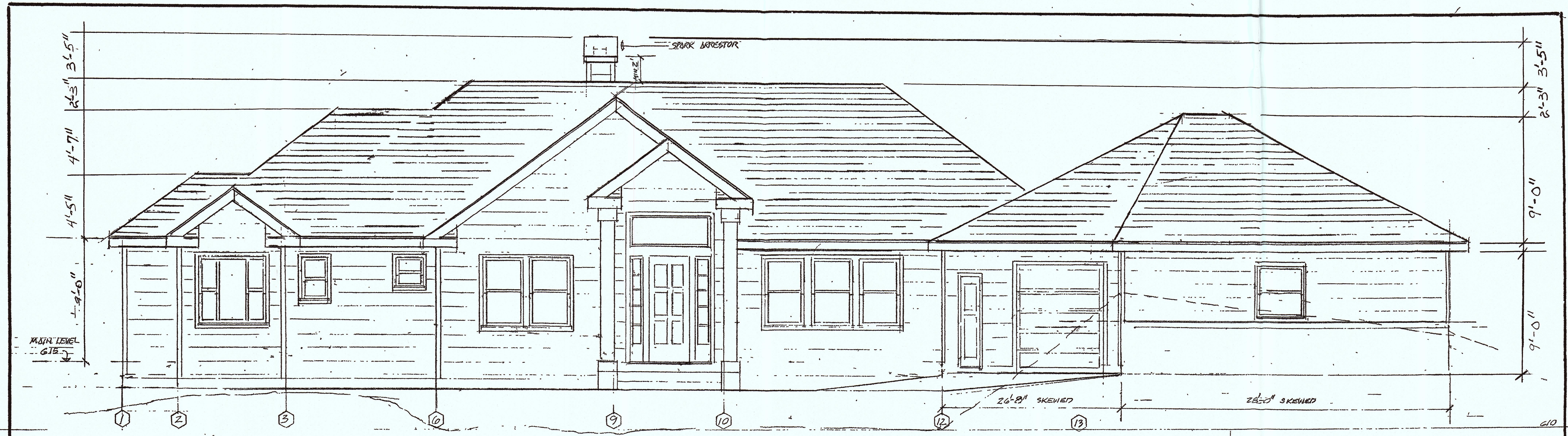
- ① 12'-0" x 58'-0" = 10.44
  - ② 2'-0" x 3.1416 = 18.85
  - ③ 3'-0" x 12'-0" = 36
  - ④ 3'-0" x 15'-0" = 45
  - ⑤ 8'-0" x 12'-4" = 98.64
  - ⑥ 4' x 8'-0" = 1.98
  - ⑦ 4' x 58'-0" = 19.14
- 1263.61 FT<sup>2</sup>



GARAGE ABOVE  
3L28 FLOOR. G14.33

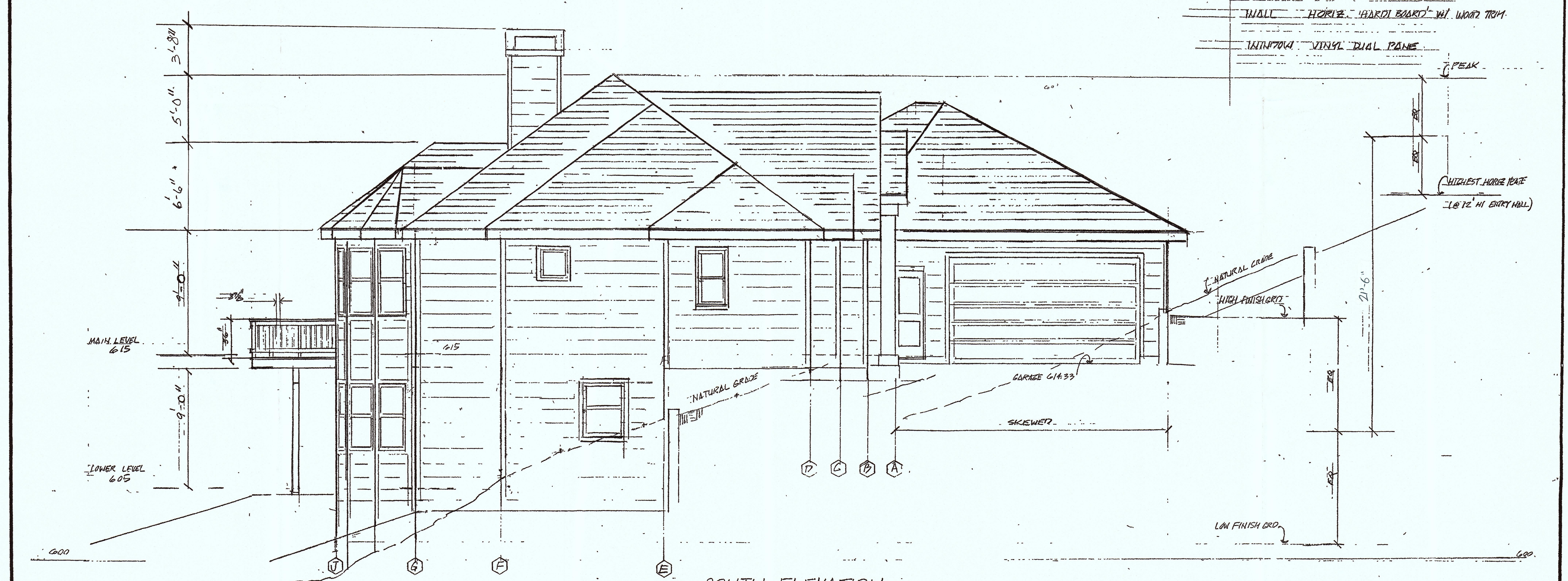


PLN 2017-00017



EAST ELEVATION (FRONT)

- EXTERIOR FINISH:
- ROOF: COMPOSITION SHINGLE
  - WALL: HORIZ. HARD BOARD W/ WOOD TRIM
  - WINDOW: VINYL DUAL PANE



SOUTH ELEVATION

PLANS BY: PETER SANDO

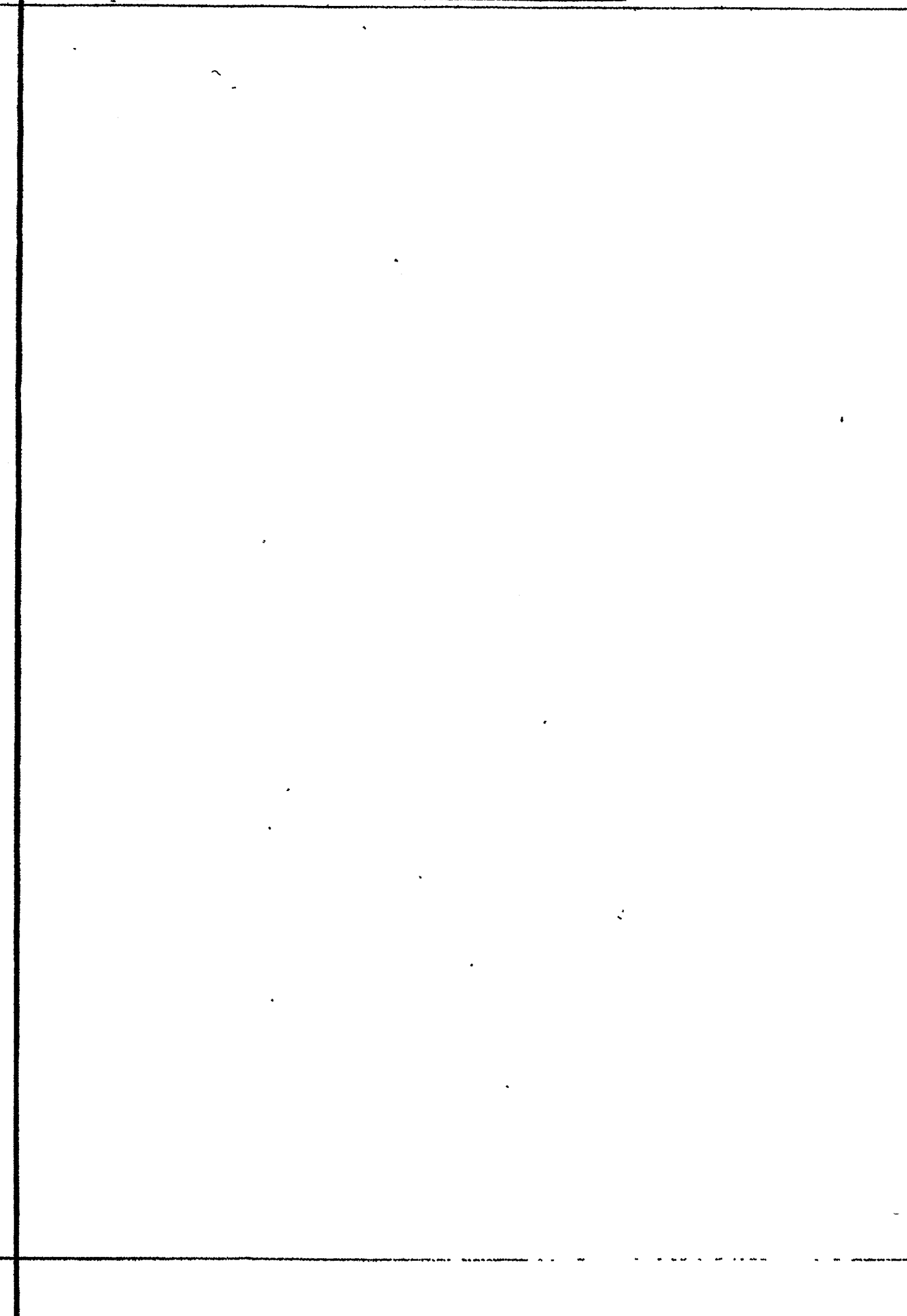
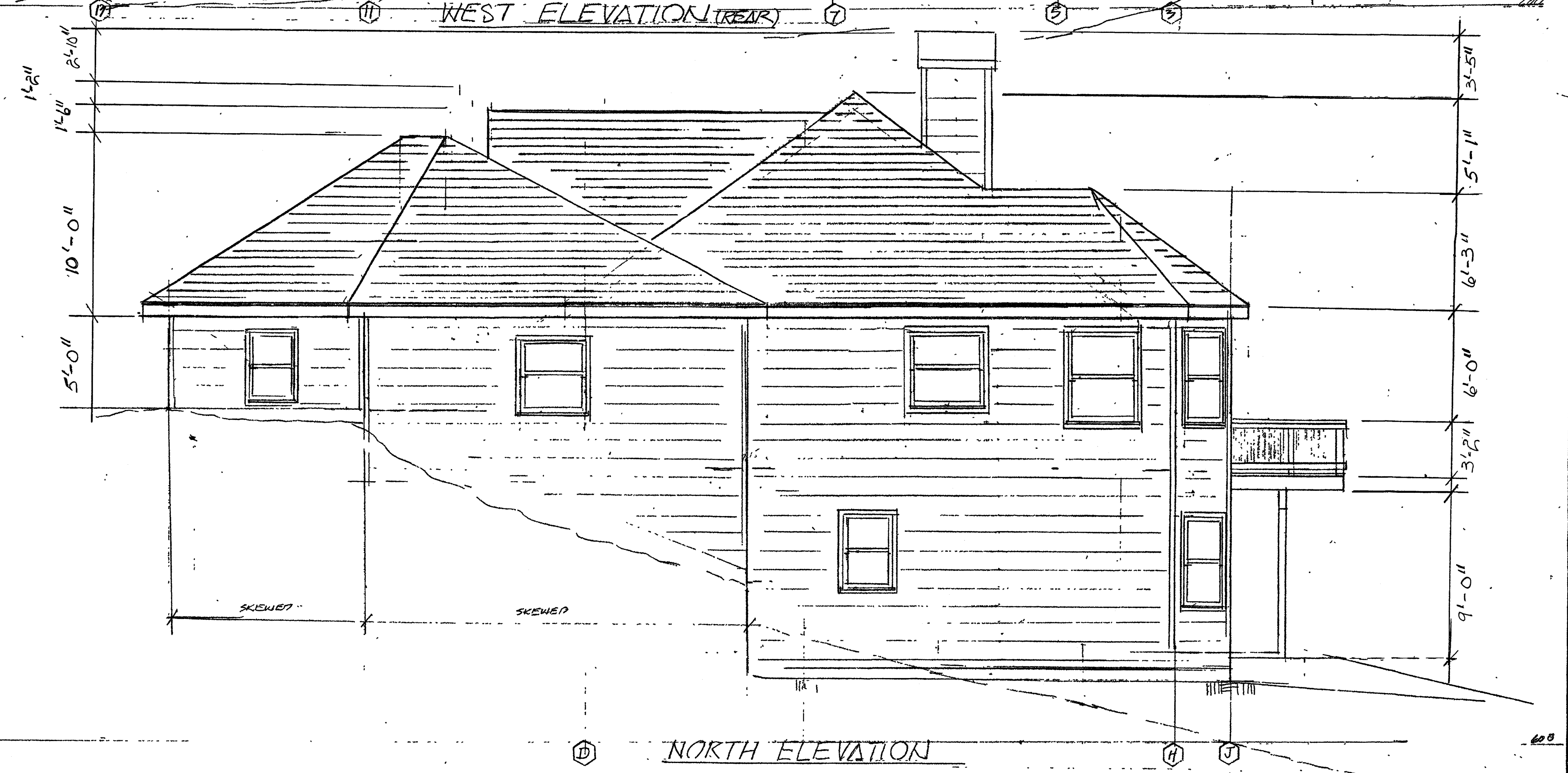
OWNER: MR & MRS N. BRASHER

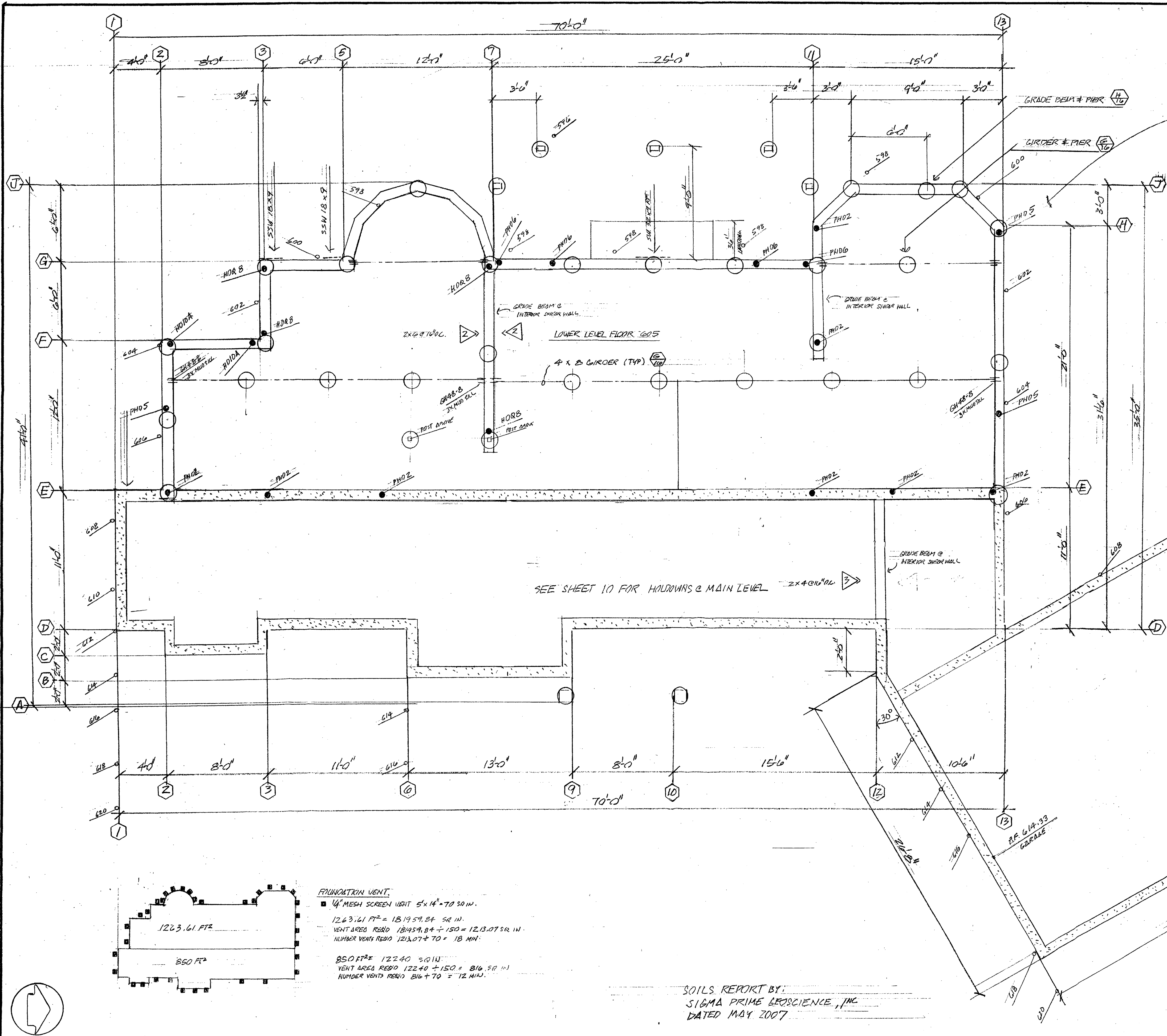
MEADOW #3 LOTS 32-37 APN 036-243-110  
BAY VIEW ROAD, MONTARA, CA.

EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

SHEET 7





**SELECTION GUIDE (Per Anchor Bolt Diameter)**

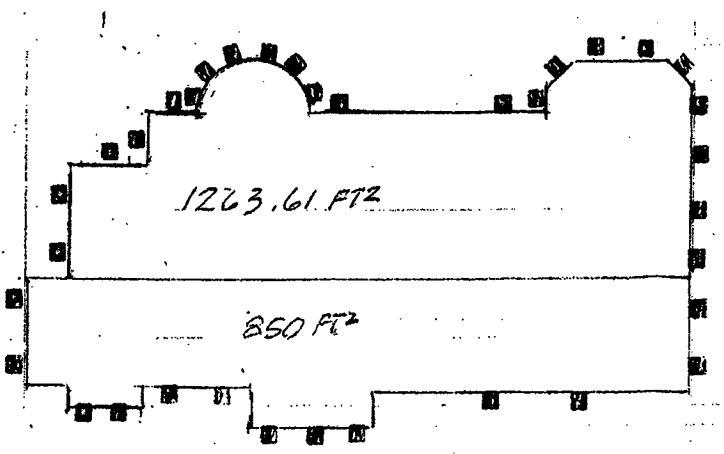
Model No.	2x, 3x, 2-2x Sill Plates	Two Pour	One Pour
PH02			
PH04			
PH06			
PH08			
PH10			
PH12			
PH14			
PH16	SSTB16	SSTB20	
PH18			
PH20	SSTB20	SSTB24	
PH22			
PH24	SSTB24		
PH26			
PH28	SSTB28	SSTB34	
PH30			
PH32			
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PH78			
PH80			
PH82			
PH84			
PH86			
PH88			
PH90			
PH92			
PH94			
PH96			
PH98			
PH100			

1. SSTB models are recommended for PH0 and H08 holdowns on 2x4 and 3x sill plates.  
 2. No cold joint within unless provisions are made to transfer the load.  
 3. The design engineer may specify an alternate anchorage system, provided the anchor diameter is the same.  
 4. Increase the embedment depth 2x to accommodate the HDC standoff block.

Pressure-treated barrier may be required.

Typical SSTB installation with mudsill and holdown.

- ANCHOR BOLTS & HOLDOWNS
- PROVIDE RAT PROOFING
- PROVIDE STEPPED GRADE BEAM WHERE SLOPE GREATER THAN 2:1
- 10" Ø x 8'-0" DEEP (INTO GRANODIORITE) PIER W/ 4 #5 VERT #3 TIE & 12" Ø C
- 8" x 12" GRADE BEAM W/ 2 #5 @ 12" C
- RETAINING WALL - SEE RETAINING WALL SCHEDULE C SHEET 10



**FOUNDATION VENT:**

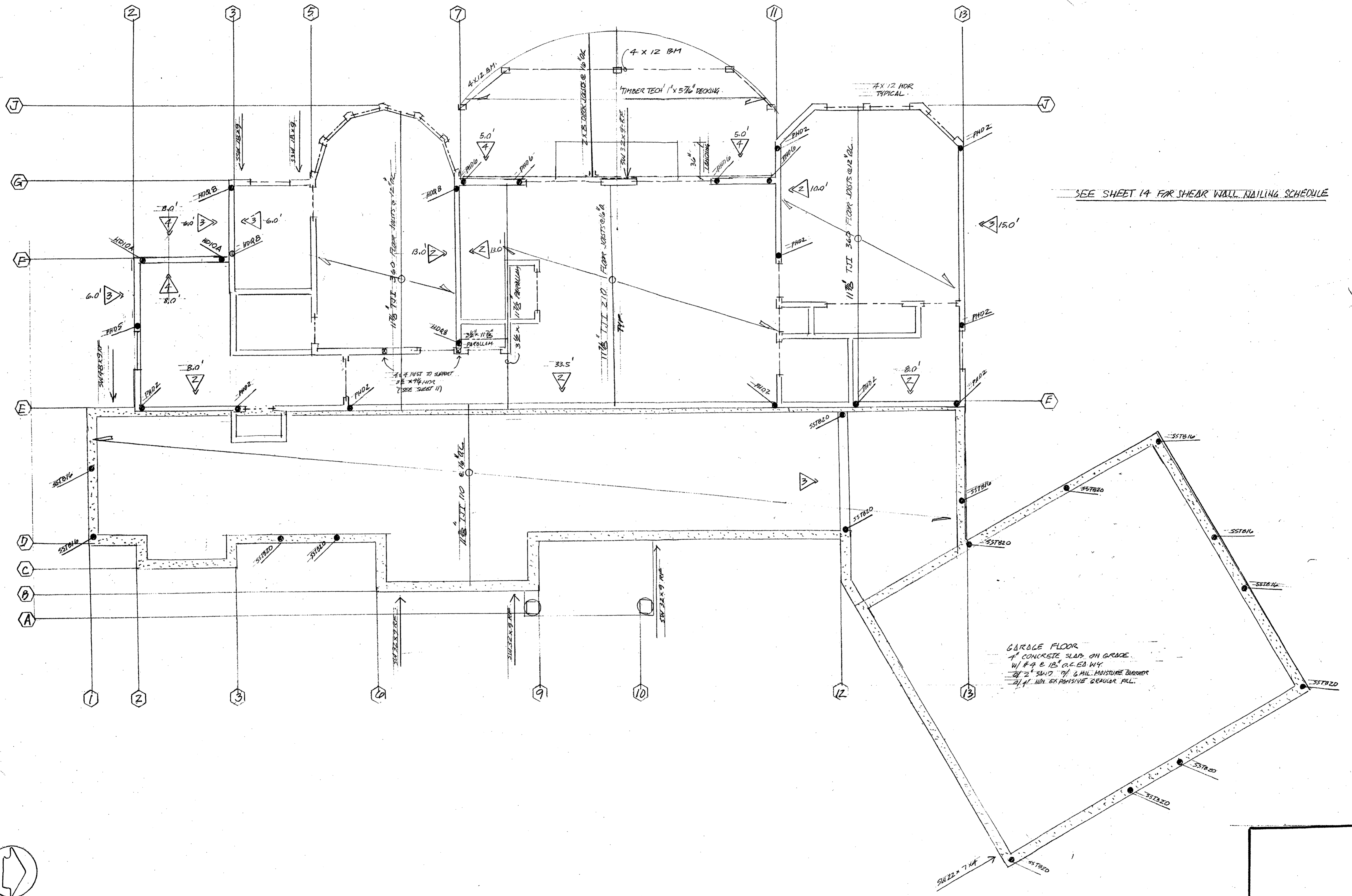
- 1/4" MESH SCREEN VENT 5' x 14' = 70 SQ IN.
- 1223.61 FT² = 181959.84 SQ IN.
- VENT AREA REQ'D 181959.84 + 150 = 1213.07 SQ IN.
- NUMBER VENTS REQ'D 1213.07 ÷ 70 = 18 MIN.

850 FT² = 12240 SQ IN.

- VENT AREA REQ'D 12240 + 150 = 816 SQ IN.
- NUMBER VENTS REQ'D 816 ÷ 70 = 12 MIN.

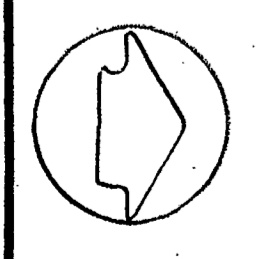
SOILS REPORT BY:  
 SIGMA PRIME GEOSCIENCE, INC.  
 DATED MAY 2007

SEE E/10 FOR STEP & REAR PATIO  
 SEE F/10 FOR REAR PATIO

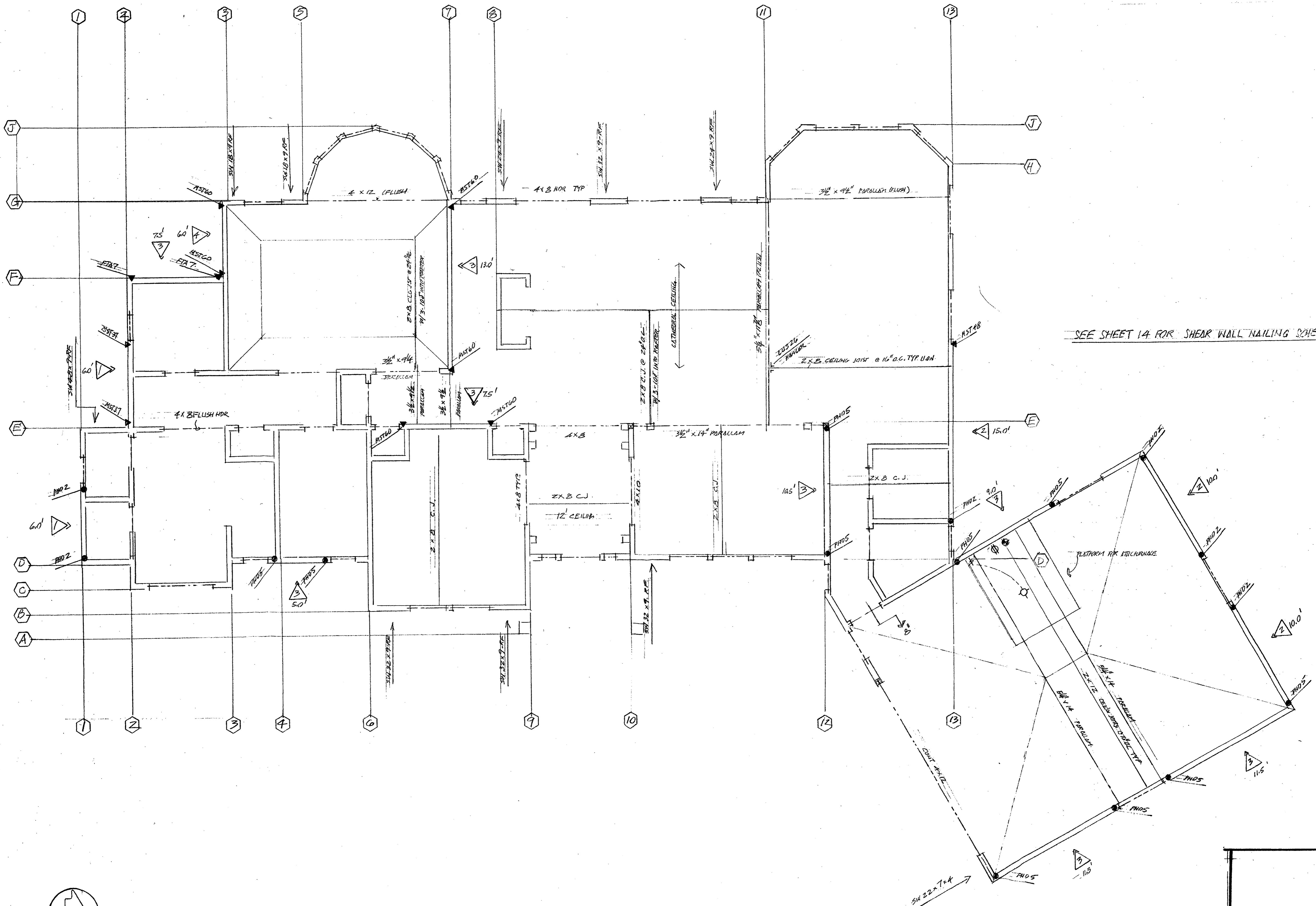


SEE SHEET 14 FOR SHEAR WALL NAILING SCHEDULE

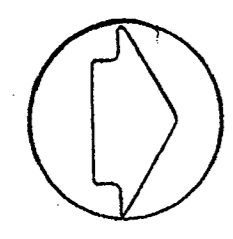
GARAGE FLOOR  
 4" CONCRETE SLAB ON GRADE  
 W/ #4 @ 18" O.C. ED. WY.  
 2" SAND W/ 6 MIL. MOISTURE BARRIER  
 2" 1/4" NON-EXPANSIVE GRAVEL FILL

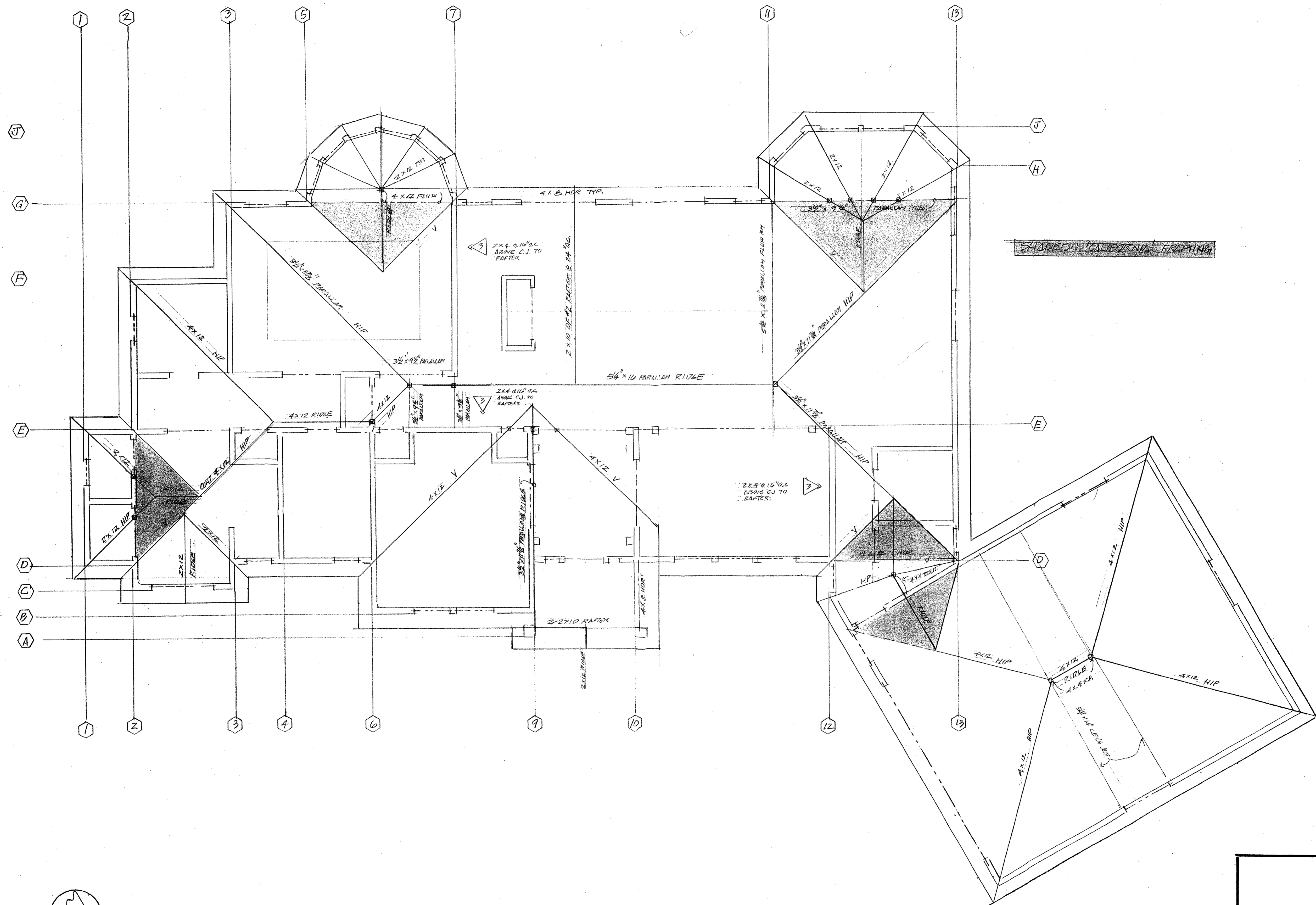




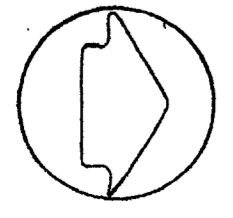


SEE SHEET 14 FOR SHEAR WALL NAILING SCHEDULE



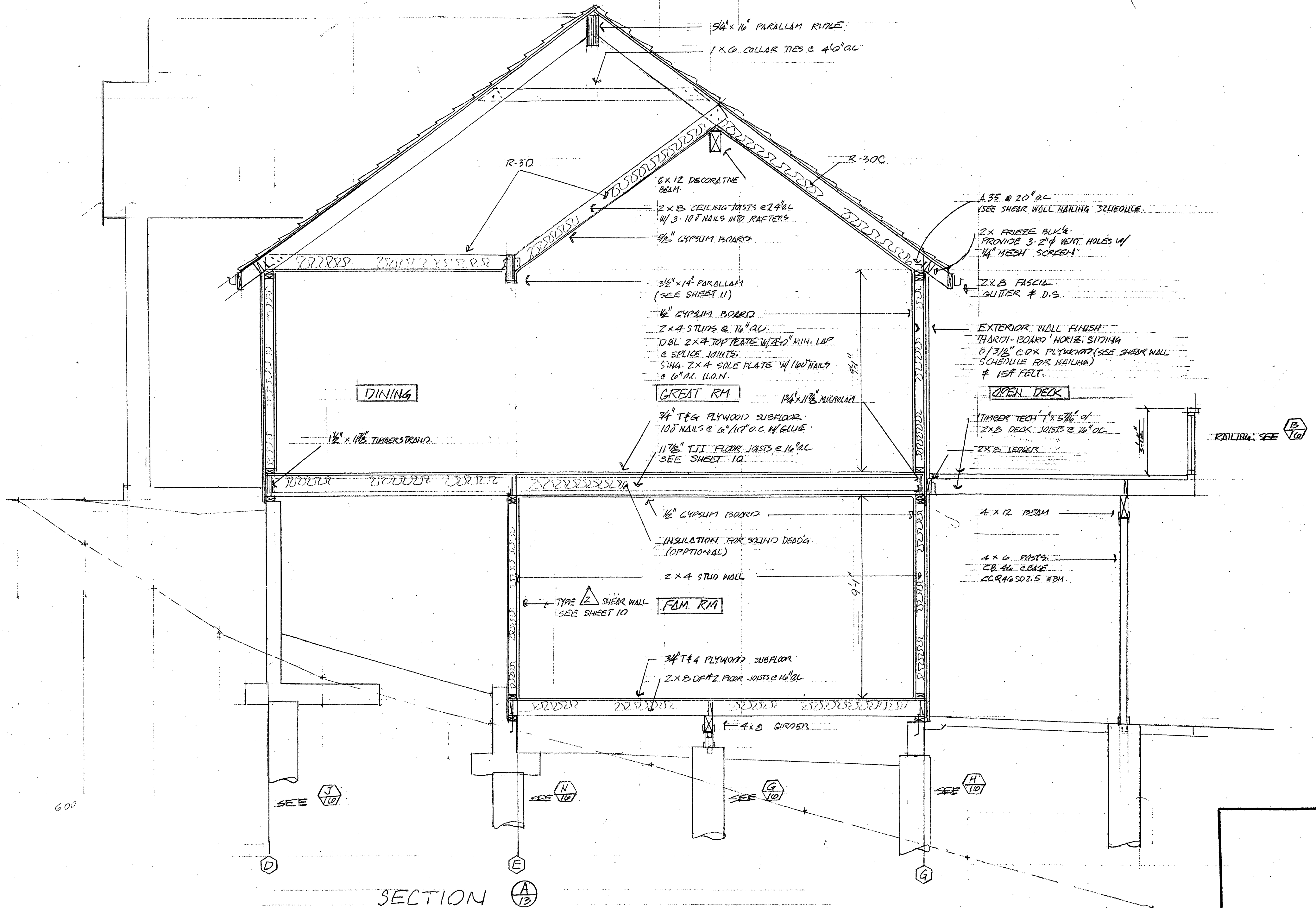


SHARDED CALIFORNIA FRAMING

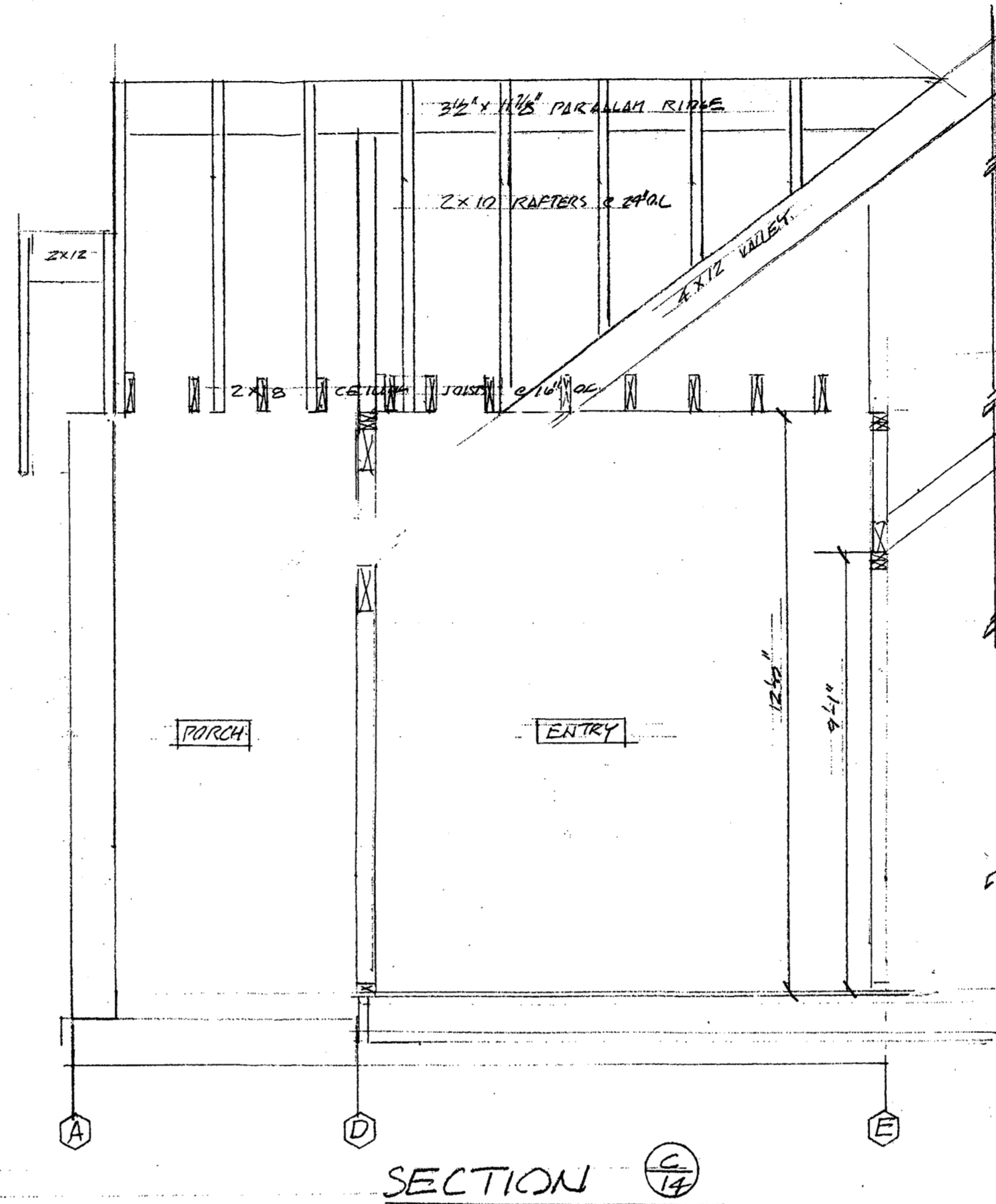
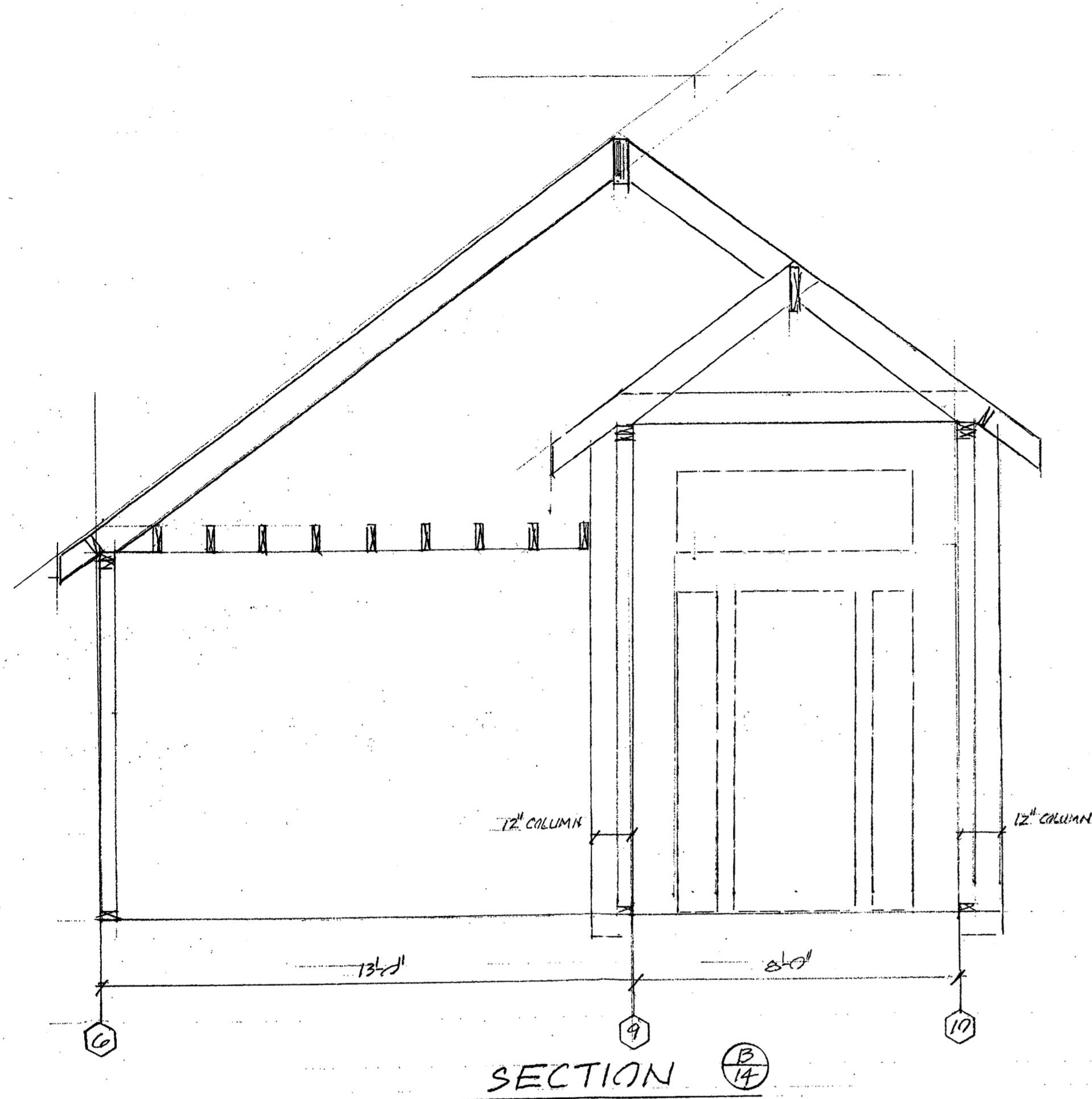


ROOF  
 PITCH 9 IN 12  
 RAFTER 2x10 DF #2 @ 24" O.C.  
 SHEATHING 1/2" CDX PLYWOOD ACC. @ OVERHANGS  
 BT NAILS @ 6" O.C.  
 FINISH COMPOSITION SHINGLE MINIMUM CLASS "B" RATED  
 INSTALL 30# FELT

INSULATION	
ATTIC	R-30
RAISED FLOOR	R-19
EXTERIOR WALL	R-13
CATHEDRAL & COFFERED CEILING	
INSTALL R-30 @ 2x10 RAFTERS	



SECTION A-B

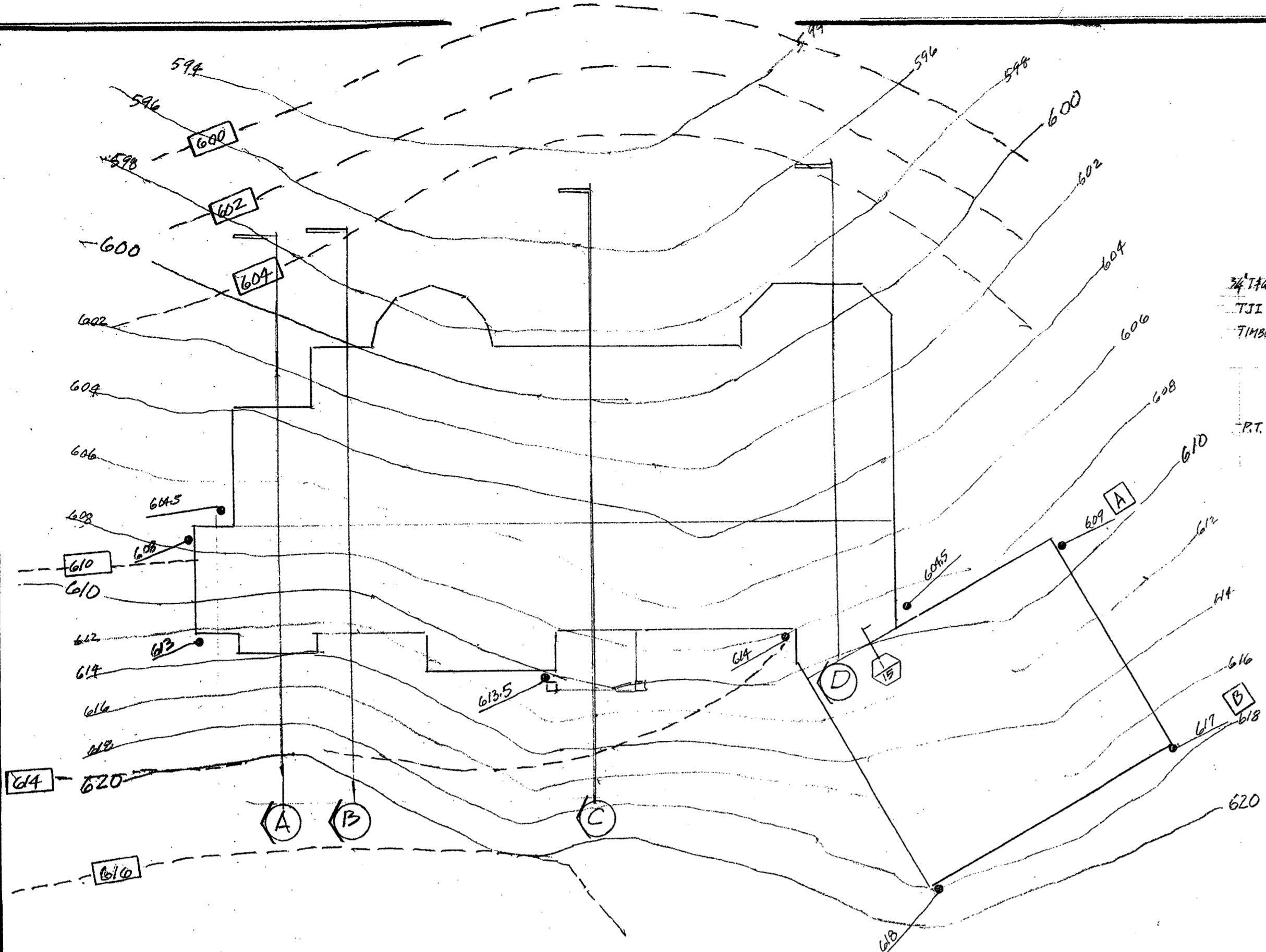


### SHEAR WALL NAILING SCHEDULE

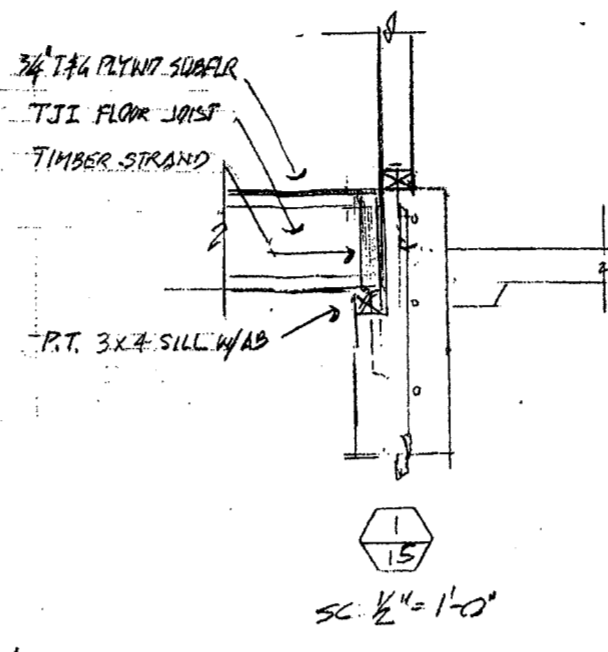
Type	Vertical	Sole Plate Nailing	Sill Bolting
1	3/8" CDX plywood with 8d nails @ 6" o.c. edges & 12" o.c. field Use A35 @ 20" o.c. at top of wall	16d @ 6" o.c.	2x mudsill w/ 5/8" Φ @ 4'-0" o.c.
2	3/8" CDX plywood with 8d nails @ 4" o.c. edges & 12" o.c. field Use A35 @ 14" o.c. at top of wall	16d @ 4" o.c.	2x mudsill w/ 5/8" Φ @ 2'-8" o.c.
3	3/8" CDX plywood with 8d nails @ 3" o.c. edges & 12" o.c. field Use A35 @ 10" o.c. at top of wall	20d @ 3" o.c.	3x mudsill w/ 5/8" Φ @ 2'-0" o.c. or 2x mudsill w/ 5/8" Φ @ 1'-0" p.c.
4*	1/2" CDX plywood with 10d nails @ 3" o.c. edges & 12" o.c. field Use A35 @ 8" o.c. at top of wall	1/4" Φ wood screws @ 4" o.c.	3x mudsill w/ 5/8" Φ @ 2'-0" o.c. or 2x mudsill w/ 5/8" Φ @ 0'-10" o.c.
2-3*	3/8" CDX plywood both sides with 8d nails @ 4" o.c. edges & 12" o.c. field Use A35 @ 7" o.c. at top of wall	1/4" Φ wood screws @ 4" o.c.	3x mudsill w/ 5/8" Φ @ 1'-4" o.c.
3-3*	3/8" CDX plywood both sides with 8d nails @ 3" o.c. edges & 12" o.c. field Use L70 @ 8" o.c. at top of wall	1/4" Φ wood screws @ 3" o.c.	3x mudsill w/ 5/8" Φ @ 1'-0" o.c.
3-4*	1/2" CDX plywood both sides with 10d nails @ 3" o.c. edges & 12" o.c. field Use A70 @ 8" o.c. at top of wall	1/4" Φ wood screws @ 3" o.c. staggered	3x mudsill w/ 5/8" Φ @ 1'-0" o.c.

Note: Use 2" x 2" x 3/16" plate washer at each anchor bolt.

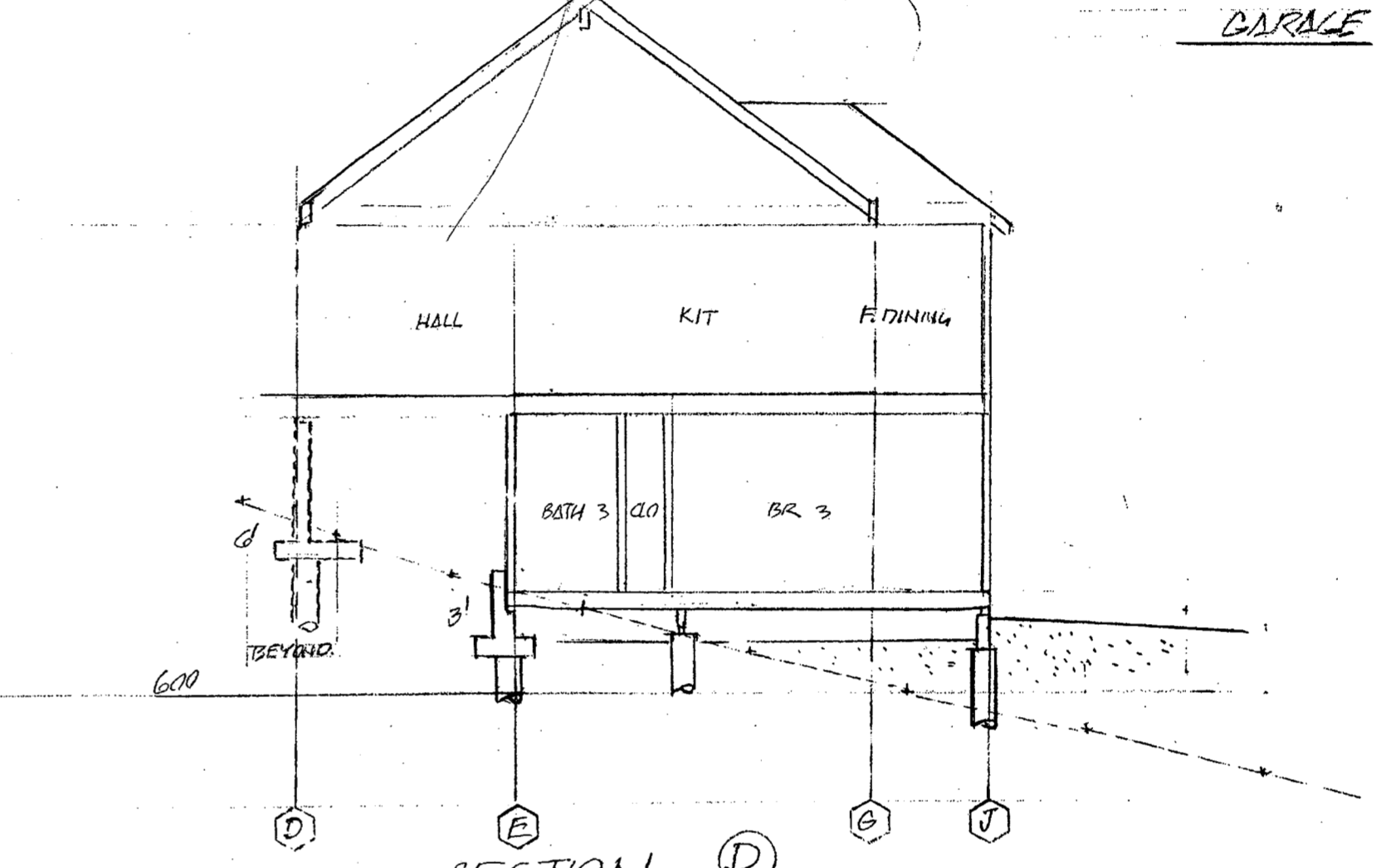
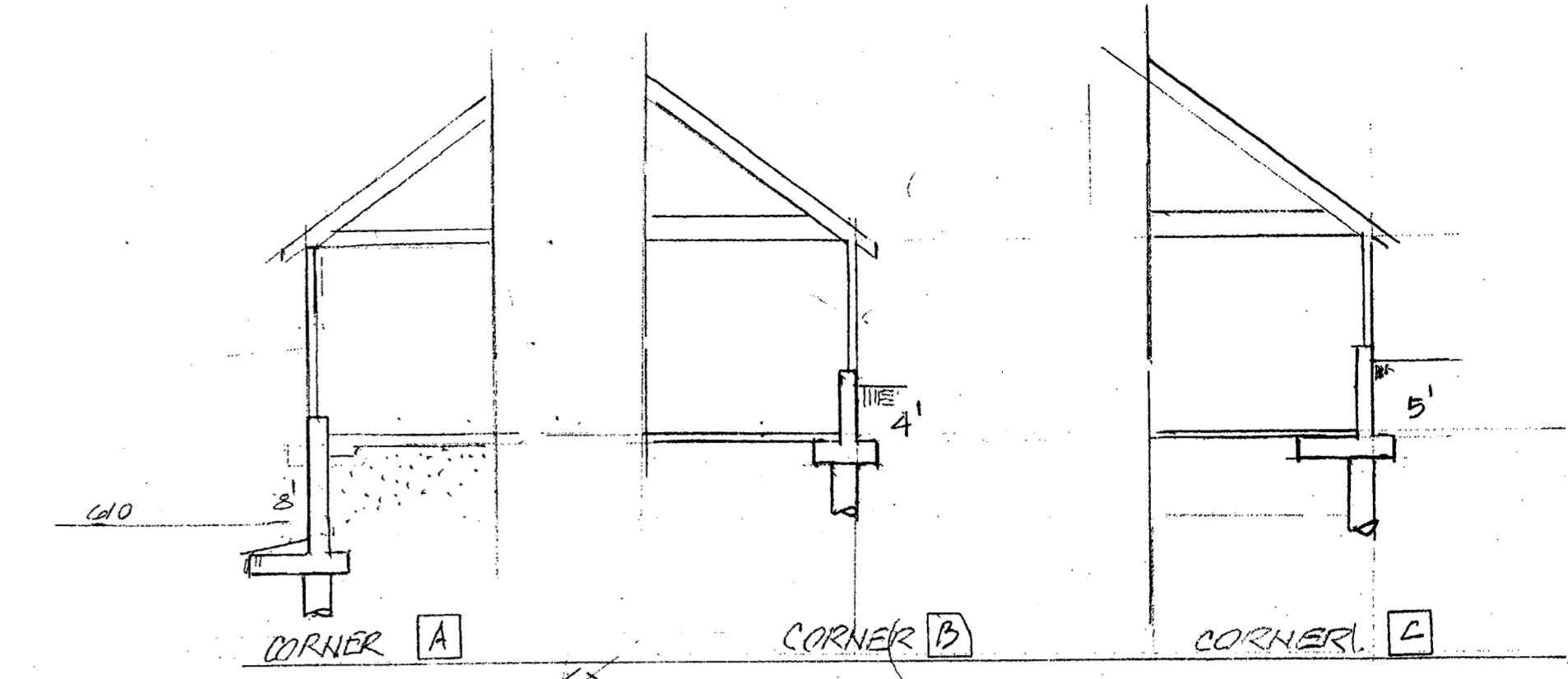
\* Use minimum 3x nominal framing for member receiving plywood edges.  
\* Nailing must be staggered.



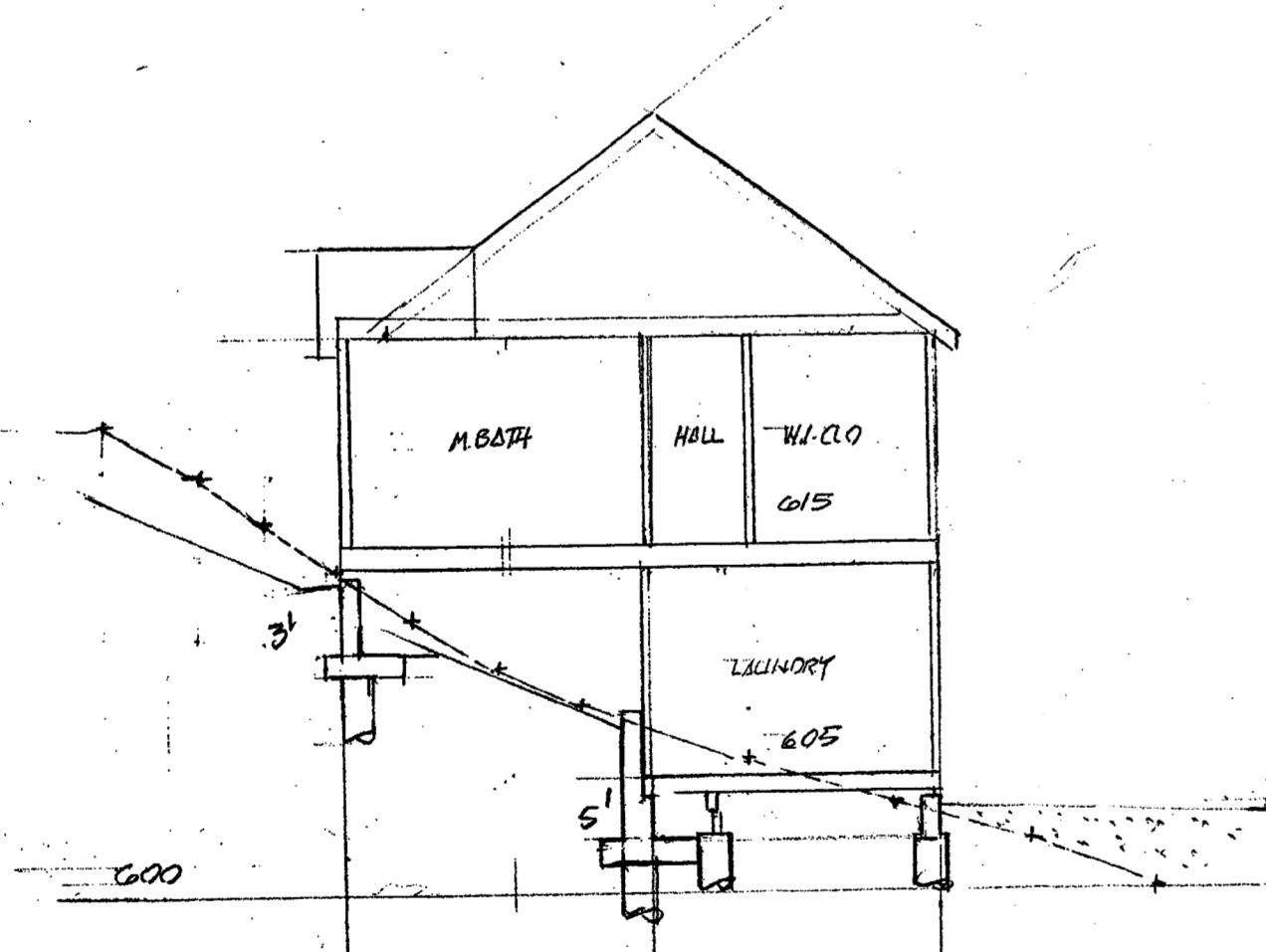
PLAN SC 1"=10'



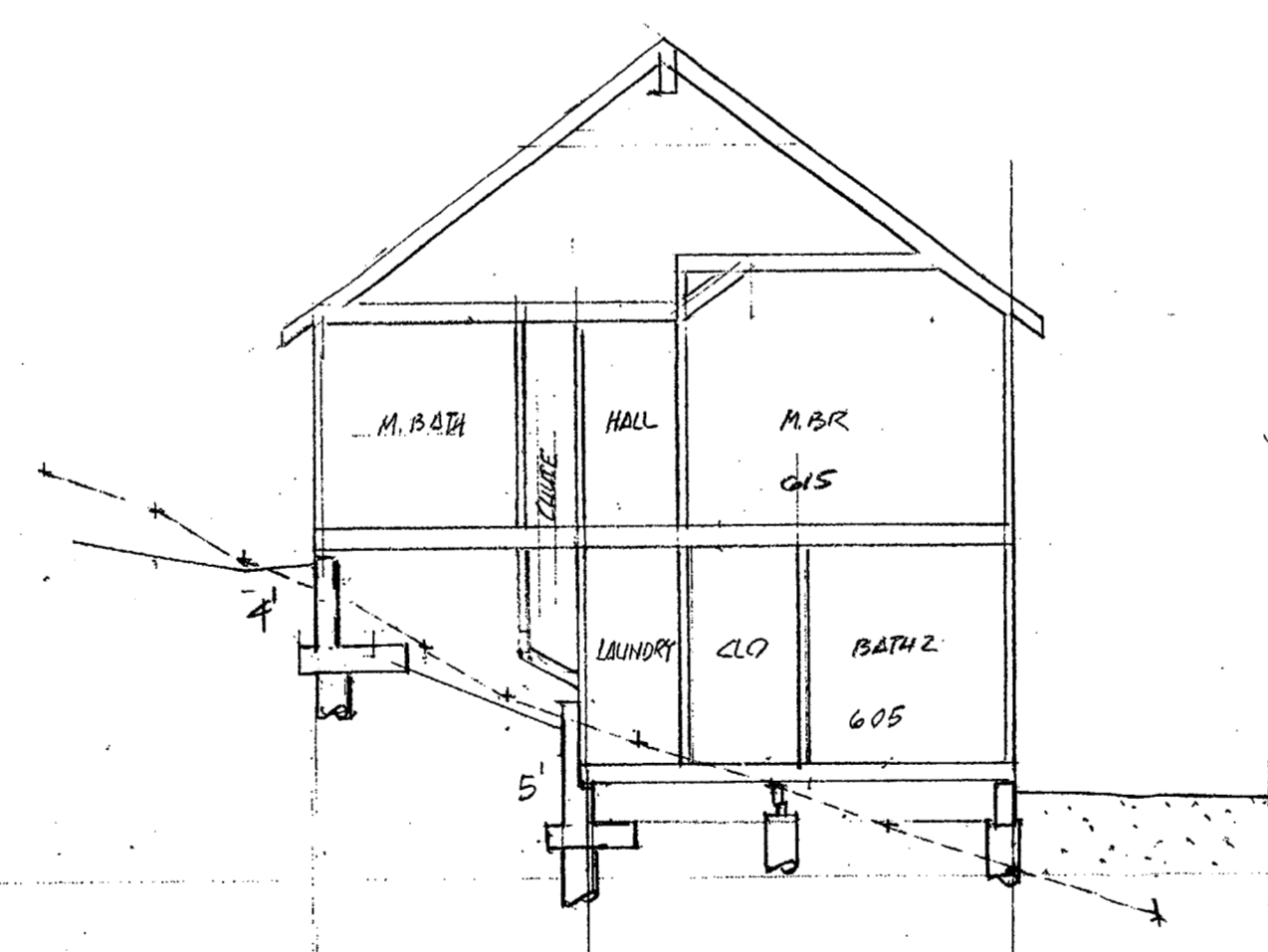
SC 1/2"=1'-0"



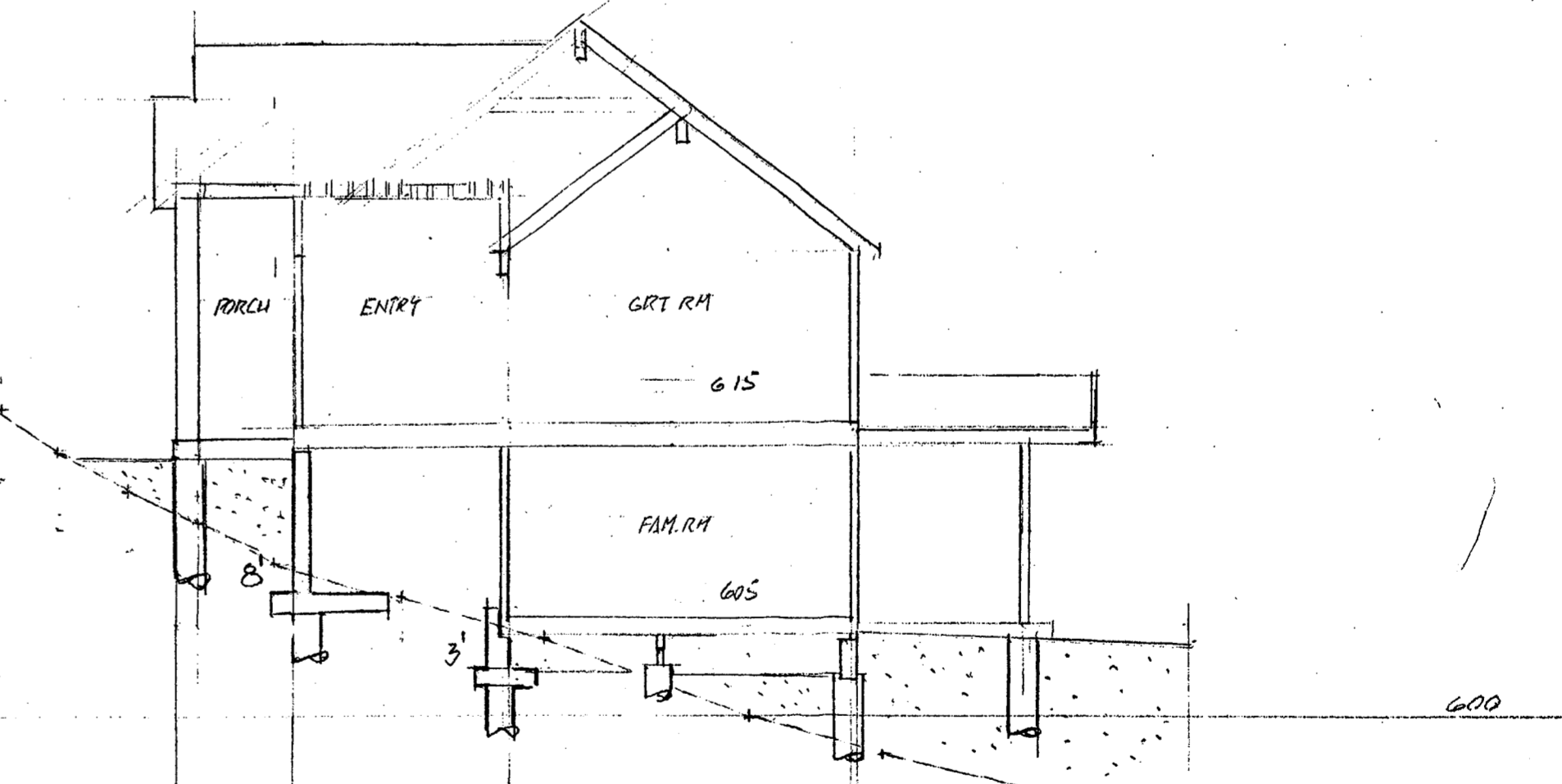
SECTION D



SECTION A

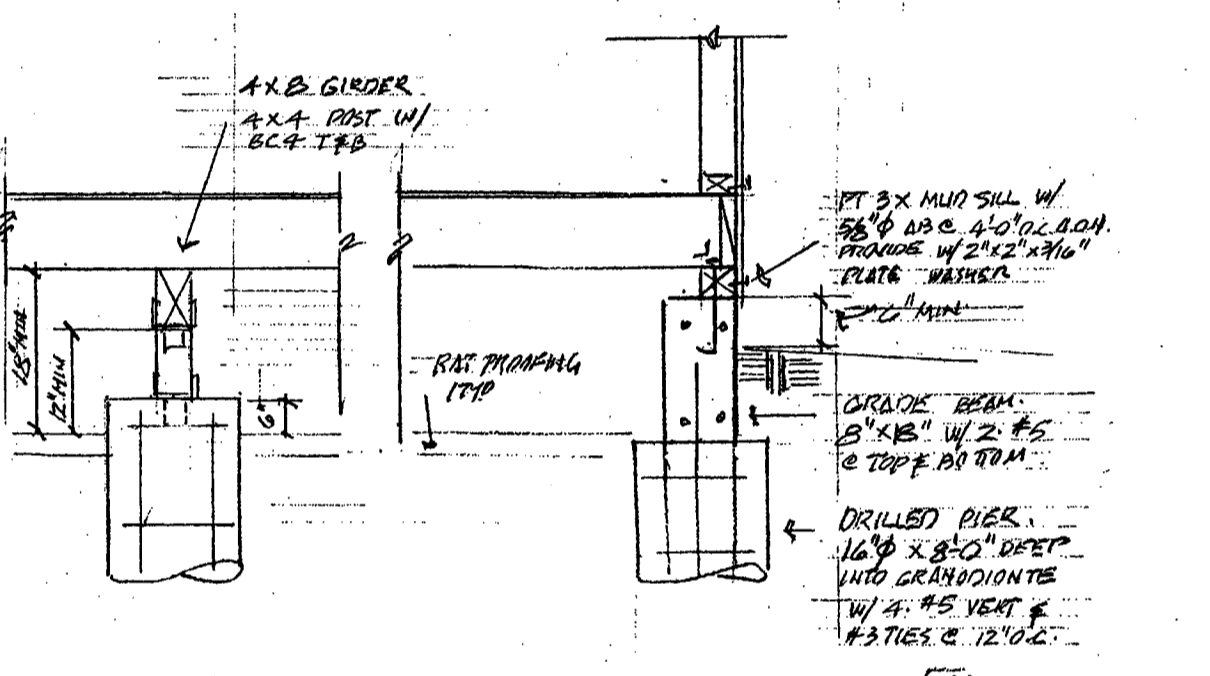
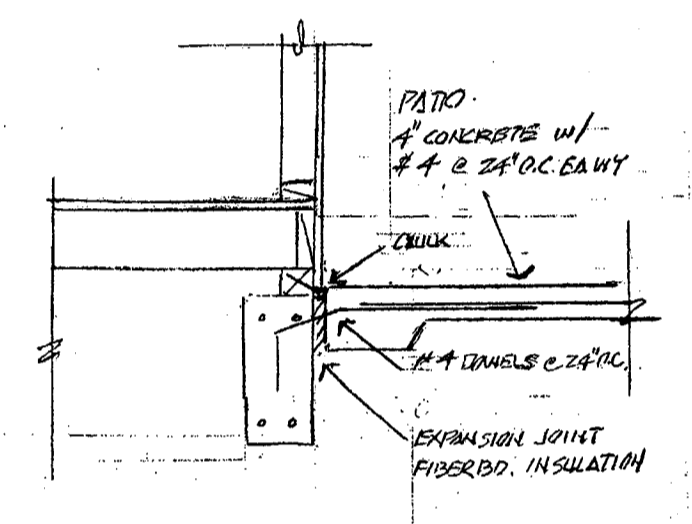
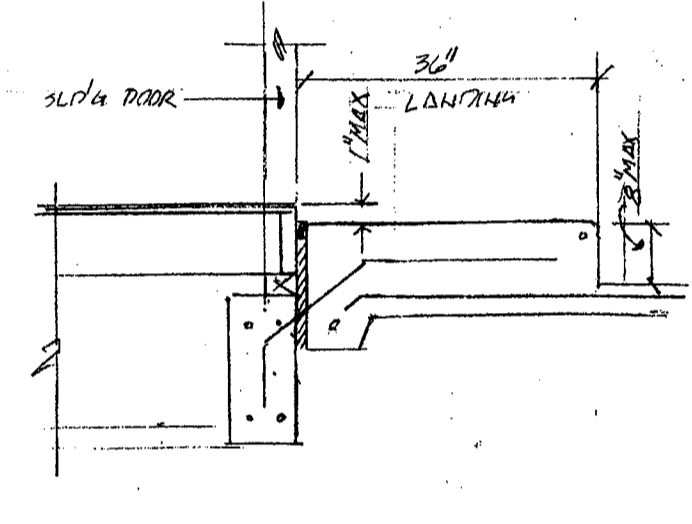
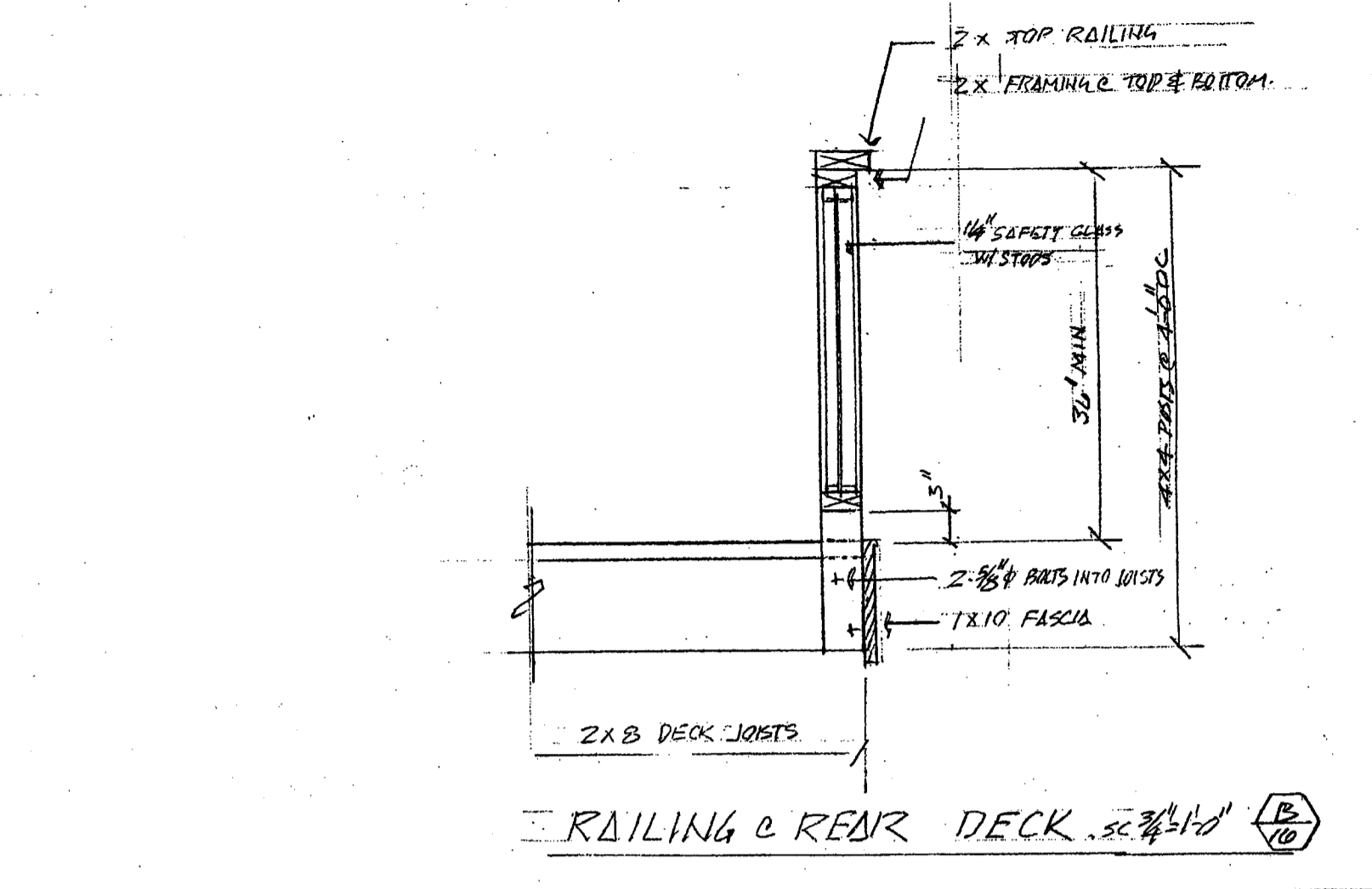
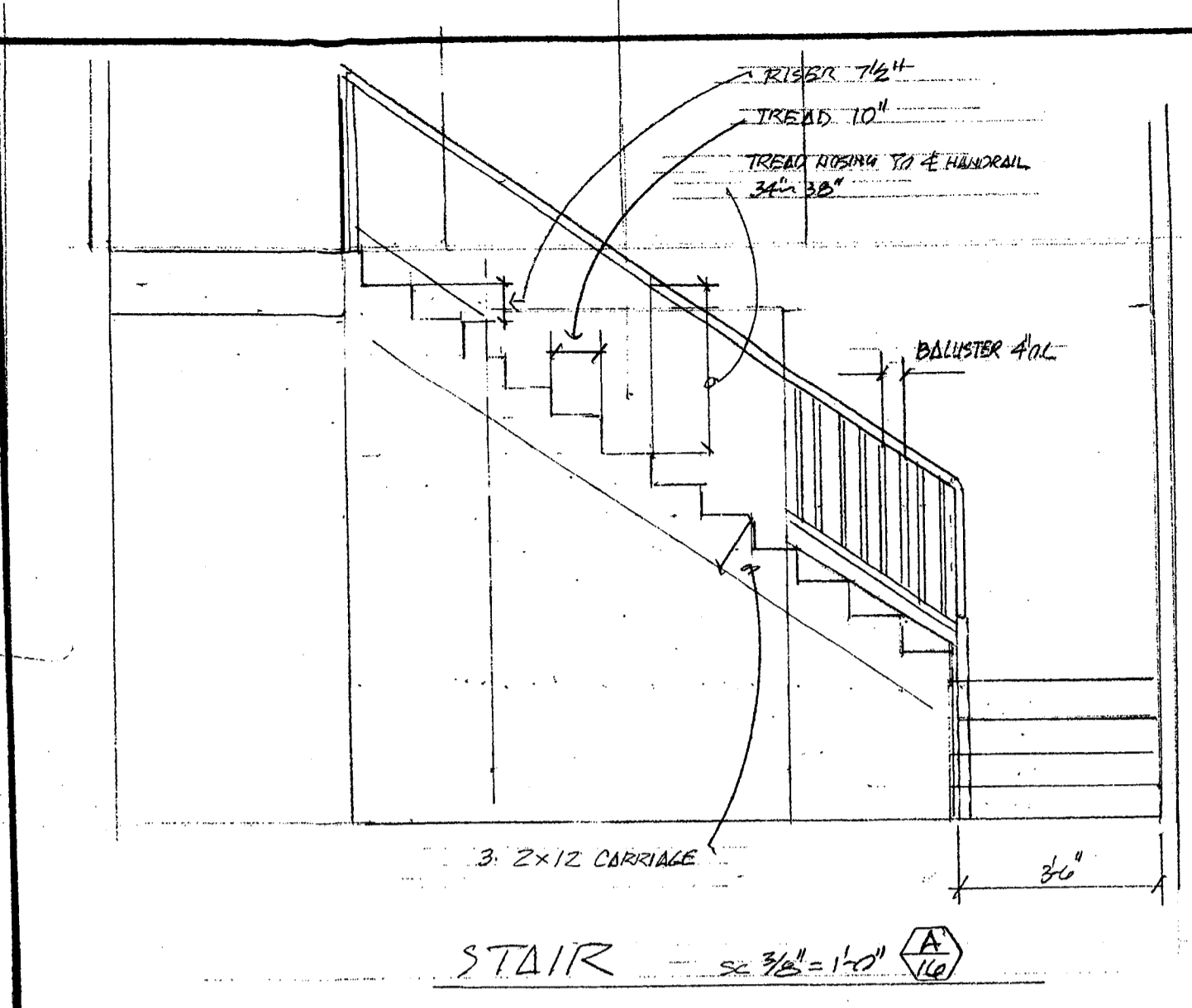
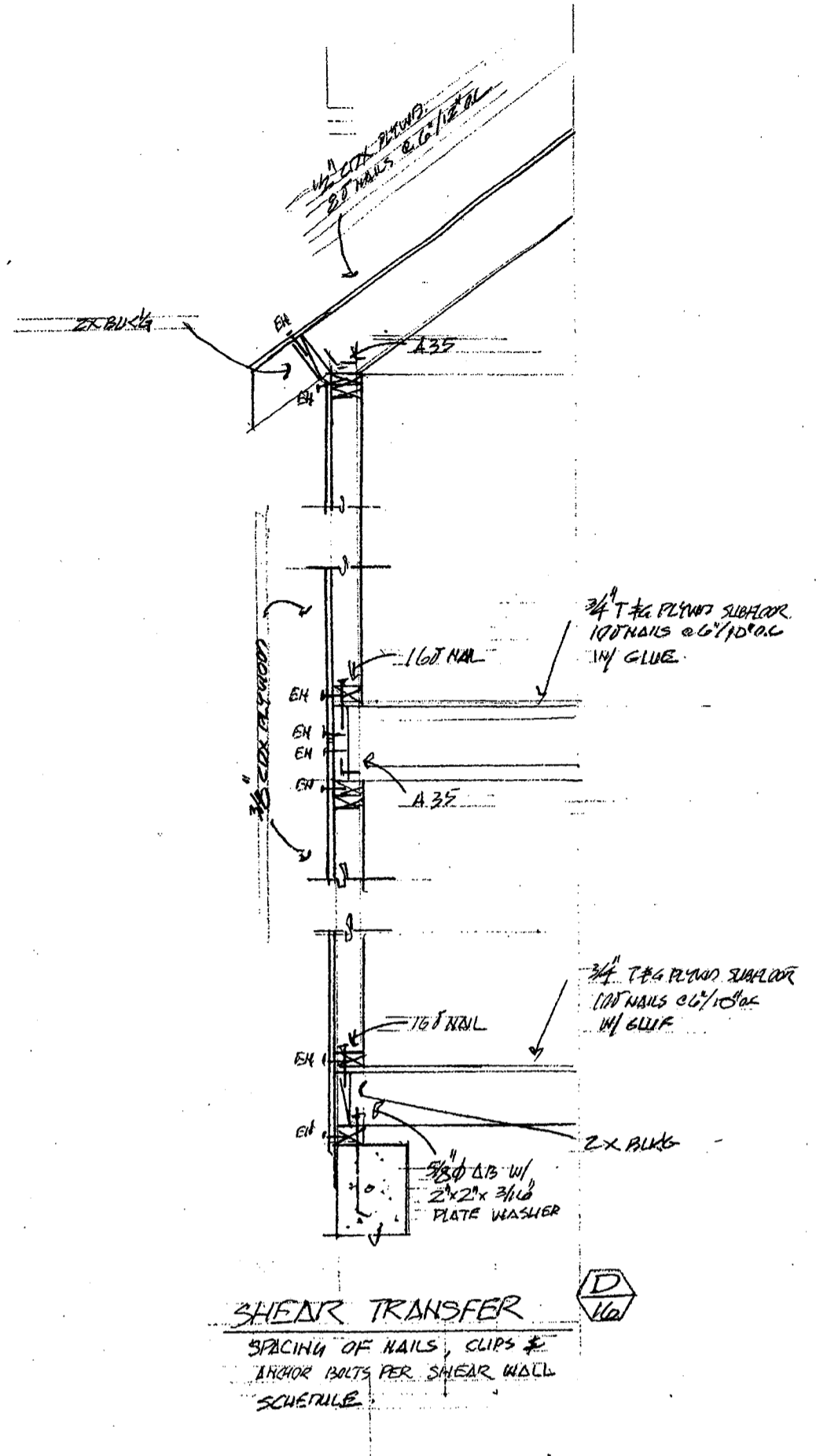
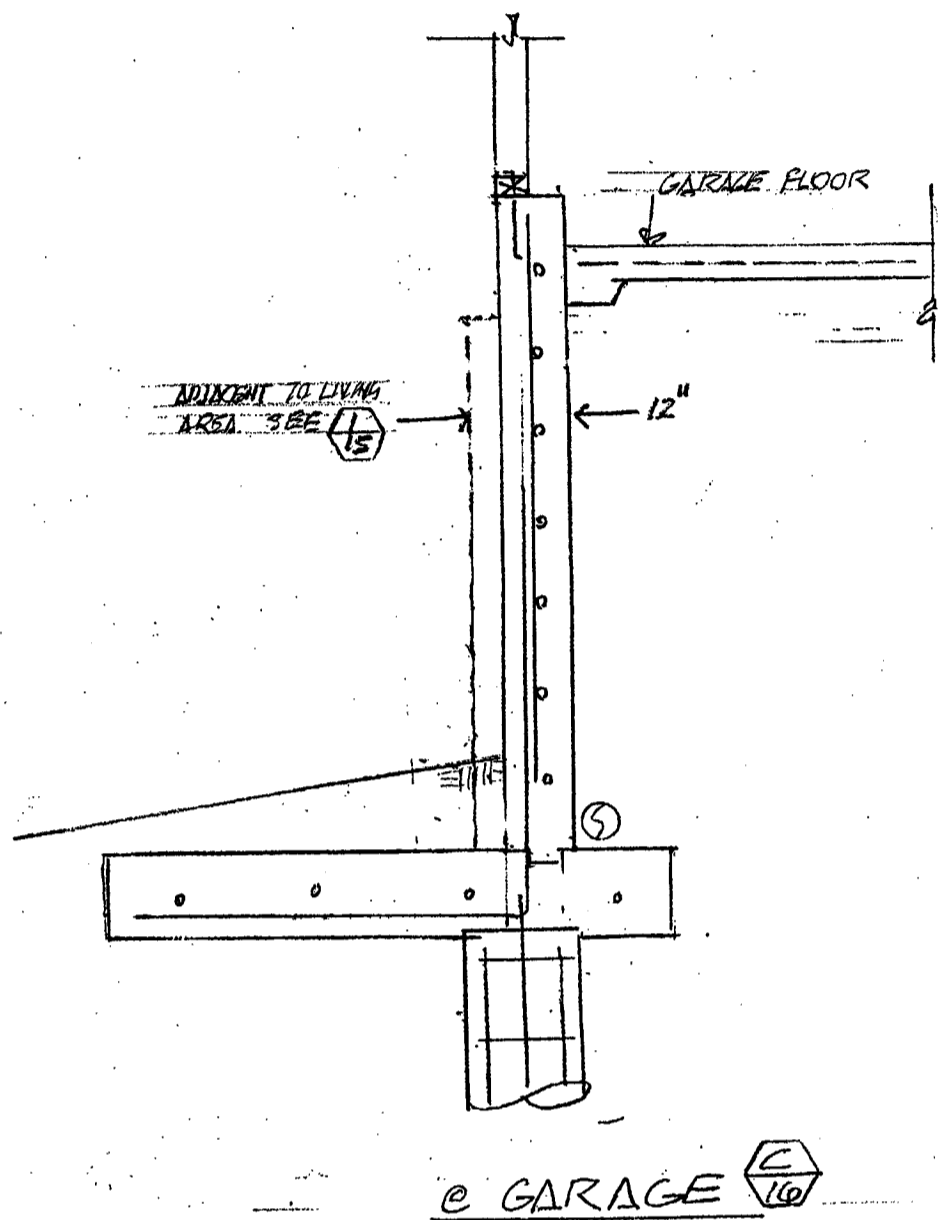


SECTION B



SECTION C

SECTIONS SC 1/8"=1'-0"



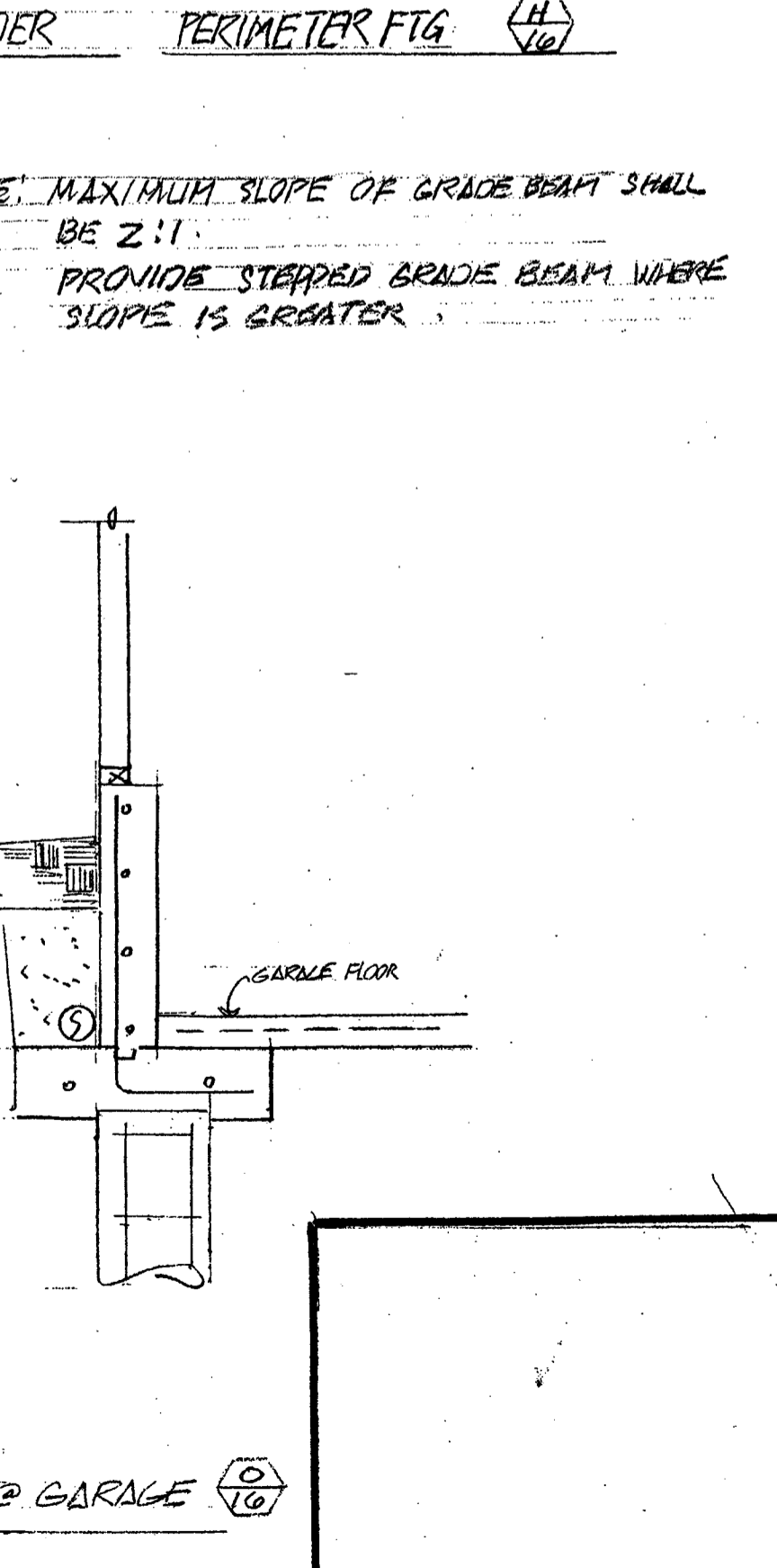
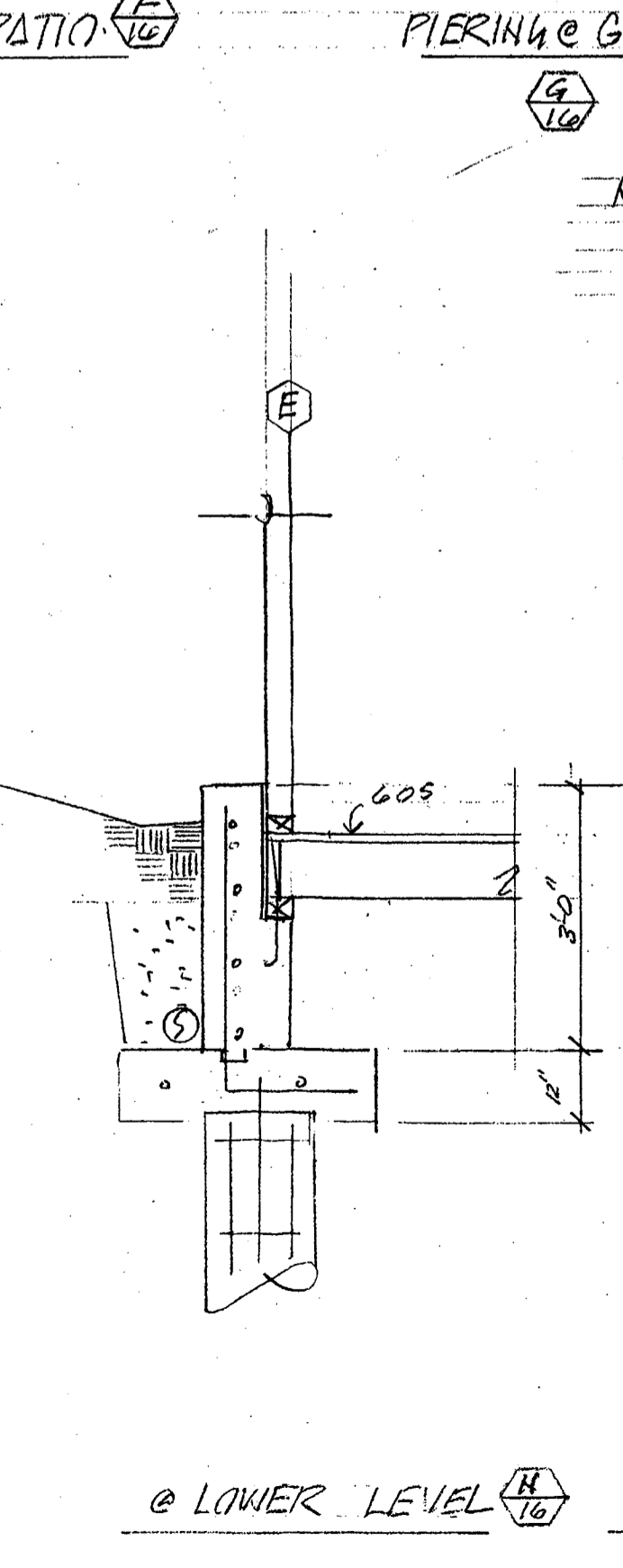
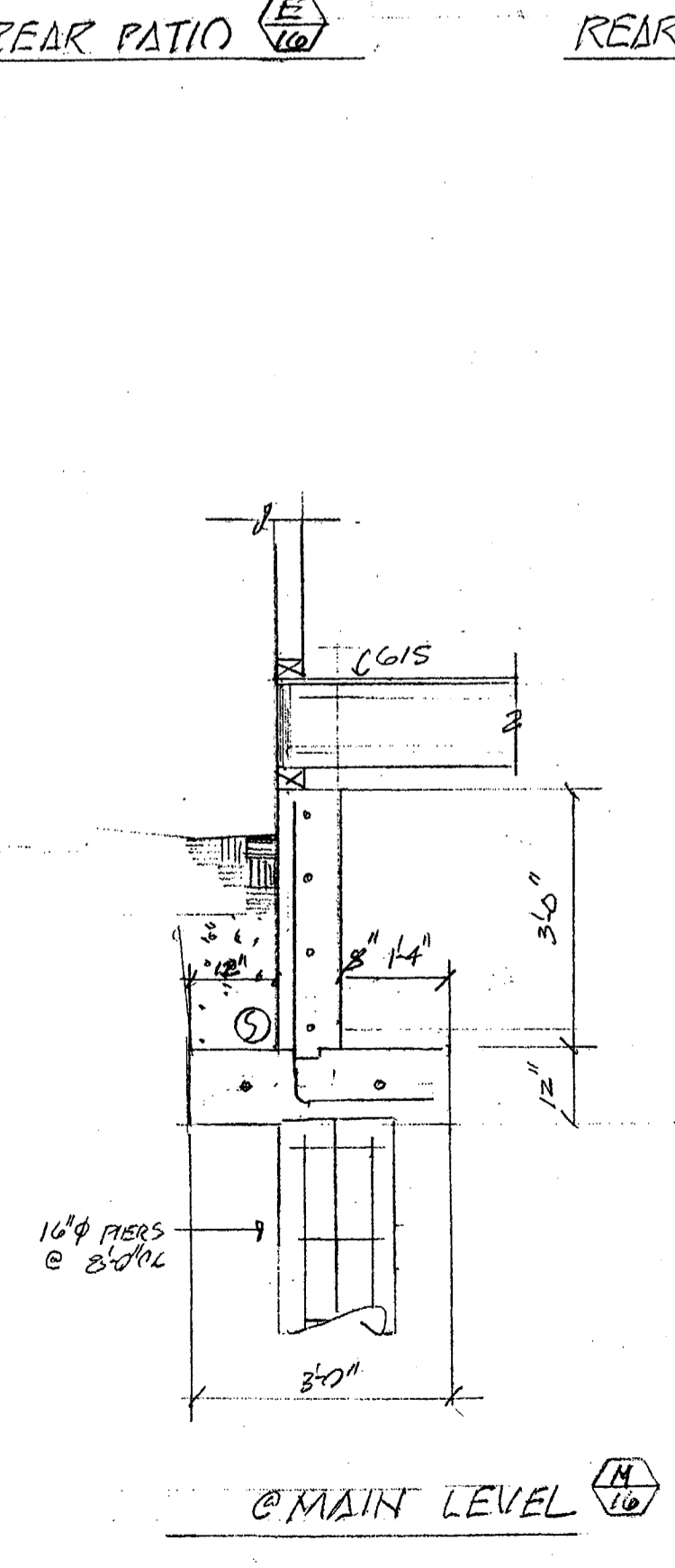
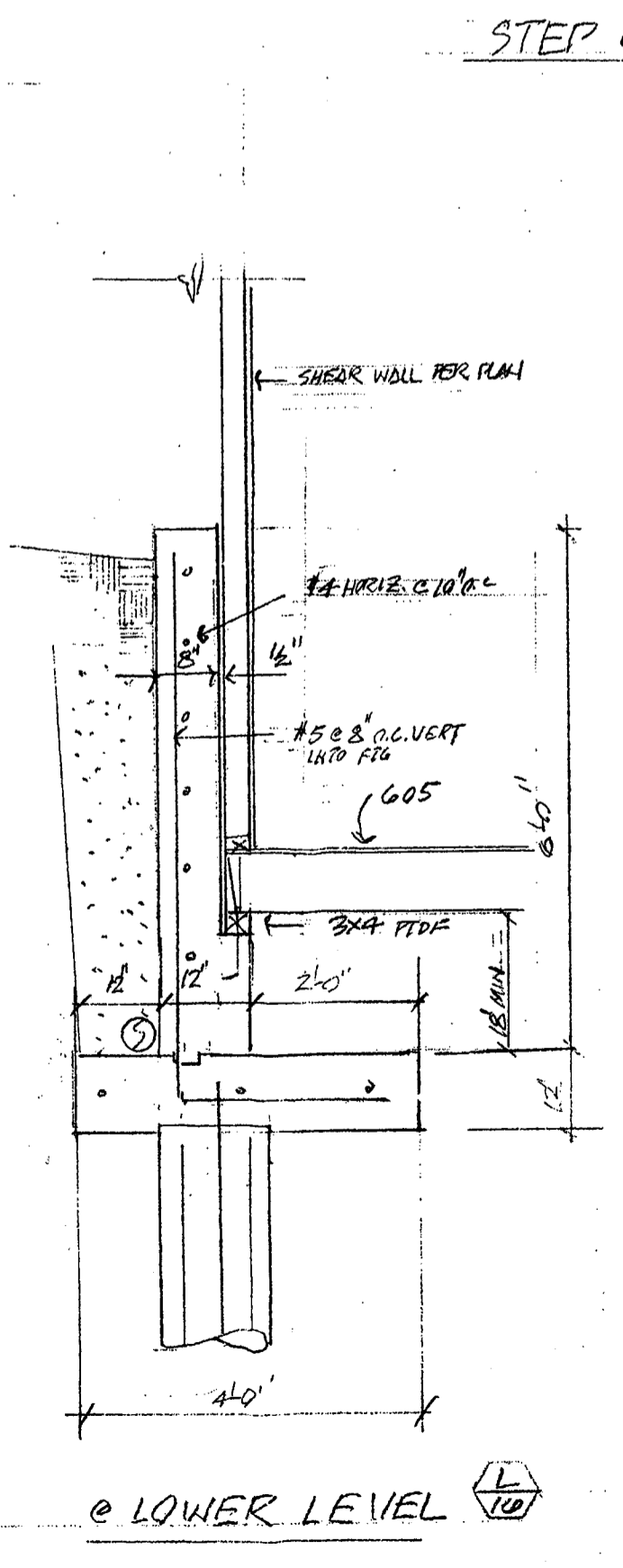
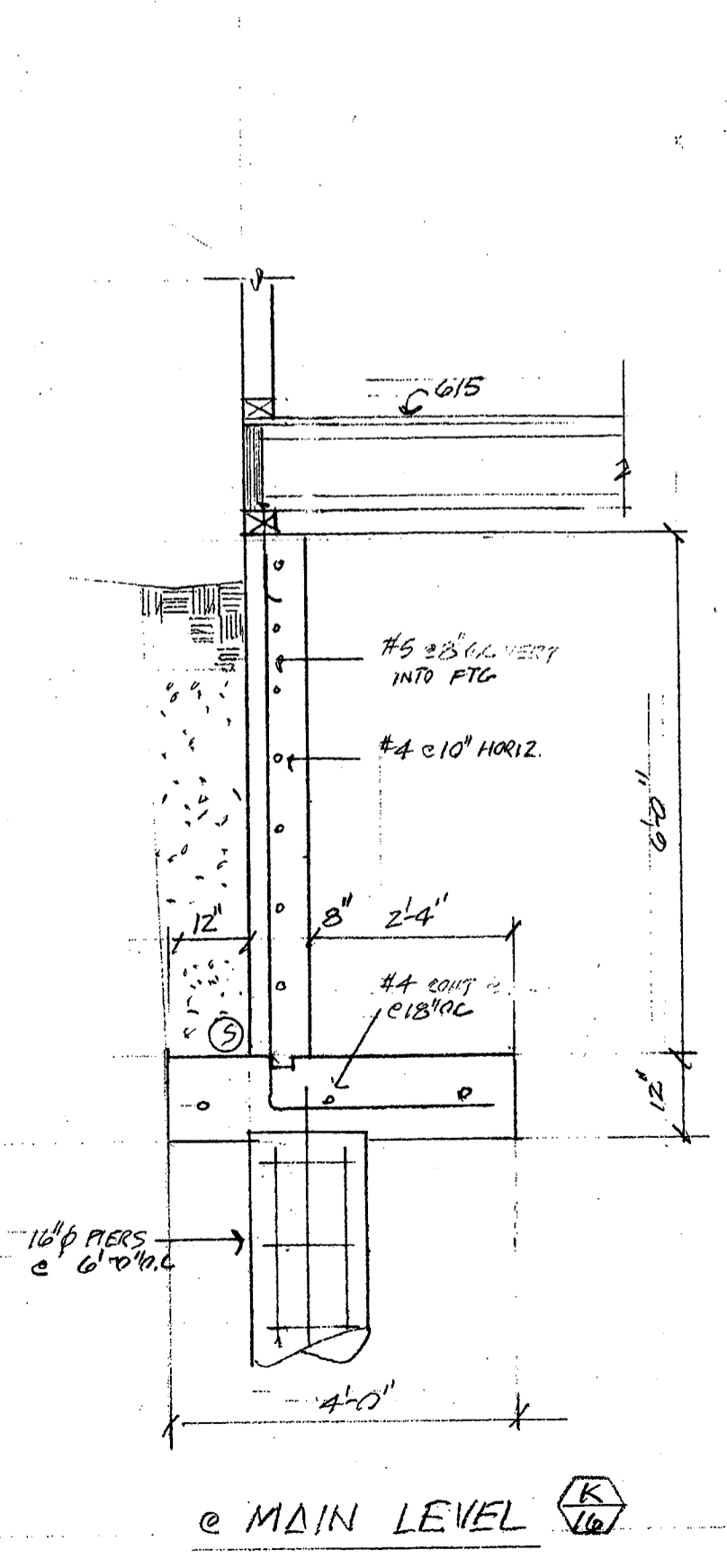
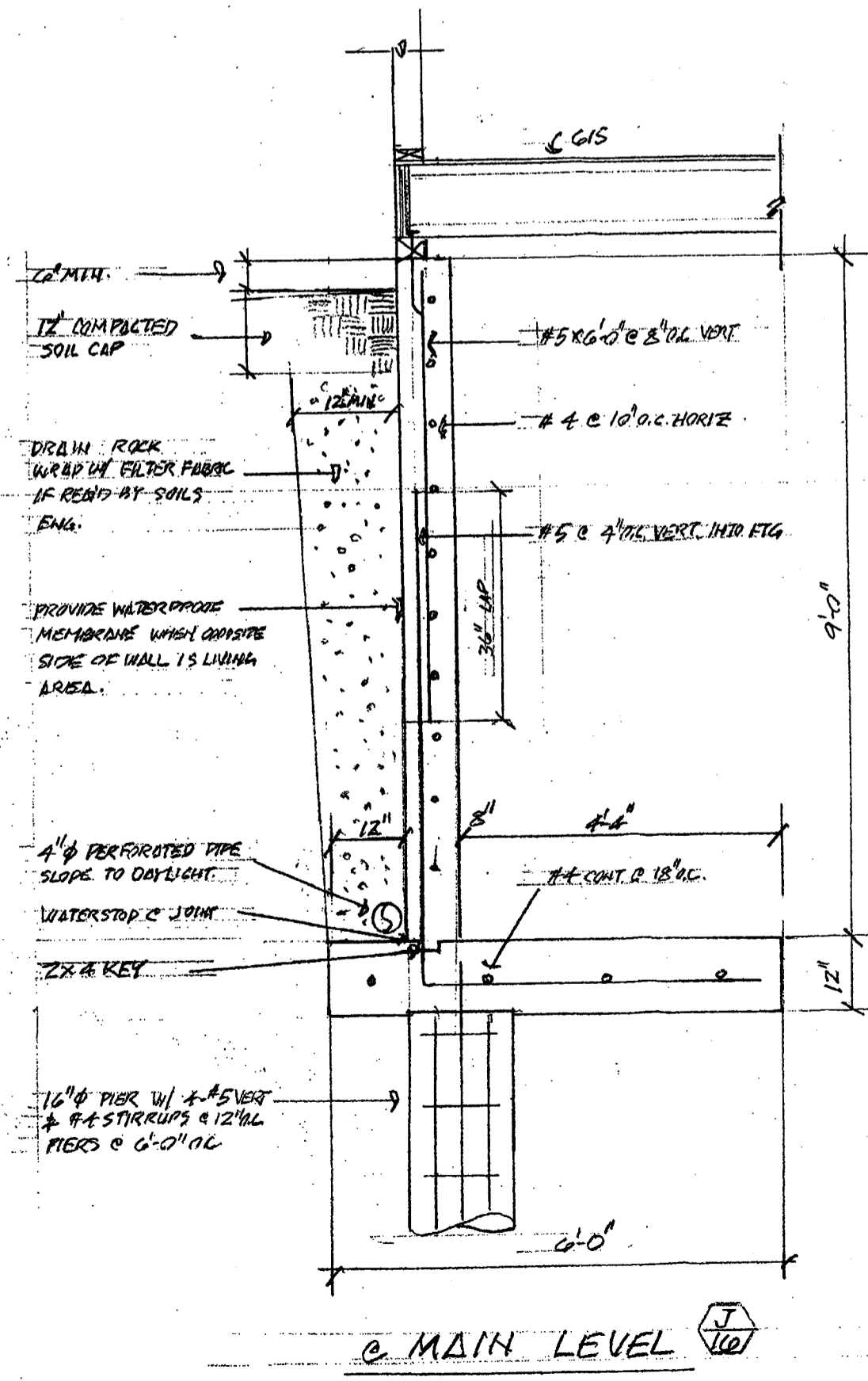
STEP & REAR PATIO (E/10)

REAR PATIO (E/10)

PIERING @ GIRDER (G/10)

PERIMETER FTG (H/10)

NOTE: MAXIMUM SLOPE OF GRADE BEAM SHALL BE 2:1  
PROVIDE STEPPED GRADE BEAM WHERE SLOPE IS GREATER



e MAIN LEVEL (I/10)

e MAIN LEVEL (K/10)

e LOWER LEVEL (L/10)

@ MAIN LEVEL (M/10)

@ LOWER LEVEL (N/10)

@ GARAGE (O/10)



Certificate of Compliance : Residential (Part 1 of 3) CF-1R

Project Title: Meadow #3, APN 036-243-110, Bay View Road, Montara. Date: 6/6/2007. Energy Design Group (850) 424-1189.

Table with columns: Standard Design, Proposed Design, Compliance Margin. Rows: Space Heating, Space Cooling, Fans, Domestic Hot Water, Pumps.

Table with columns: Building Type, Total Conditioned Floor Area, Slab on Grade Area, Average Ceiling Height, etc.

Run Initiation Time: 06/04/07 21:13:02. Run Code: 118100392. User Number: 8900.

Certificate of Compliance : Residential (Part 2 of 3) CF-1R

Table with columns: #, Type, Area, U-Factor, SHGC, Tint, Cond, Stat, Glazing Type, Location/Comments.

Table with columns: #, Exterior Shade Type, SHGC, Vt, Tint, Len, TSG, LEET, HEAT, Del, Len, Hgt, etc.

Table with columns: Type, Length, R-Val, Location, JA / V Reference, Condition Status, Location/Comments.

Run Initiation Time: 06/04/07 21:13:02. Run Code: 118100392. User Number: 8900.

Certificate of Compliance : Residential (Part 3 of 3) CF-1R

Table with columns: Location, Heating Type, Minimum EUI, Cooling Type, Minimum EUI, Condition Status, Thermostat Type.

Table with columns: Water Heating System Name, Water Heater Type, Distribution, # In, Input, Cap, Condition, Energy Factor, Standby Loss, Tank Insul, Tank R-Value, Energy Loss, Standby Loss, Tank R-Value, Energy Loss.

Run Initiation Time: 06/04/07 21:13:02. Run Code: 118100392. User Number: 8900. Compliance Statement section.

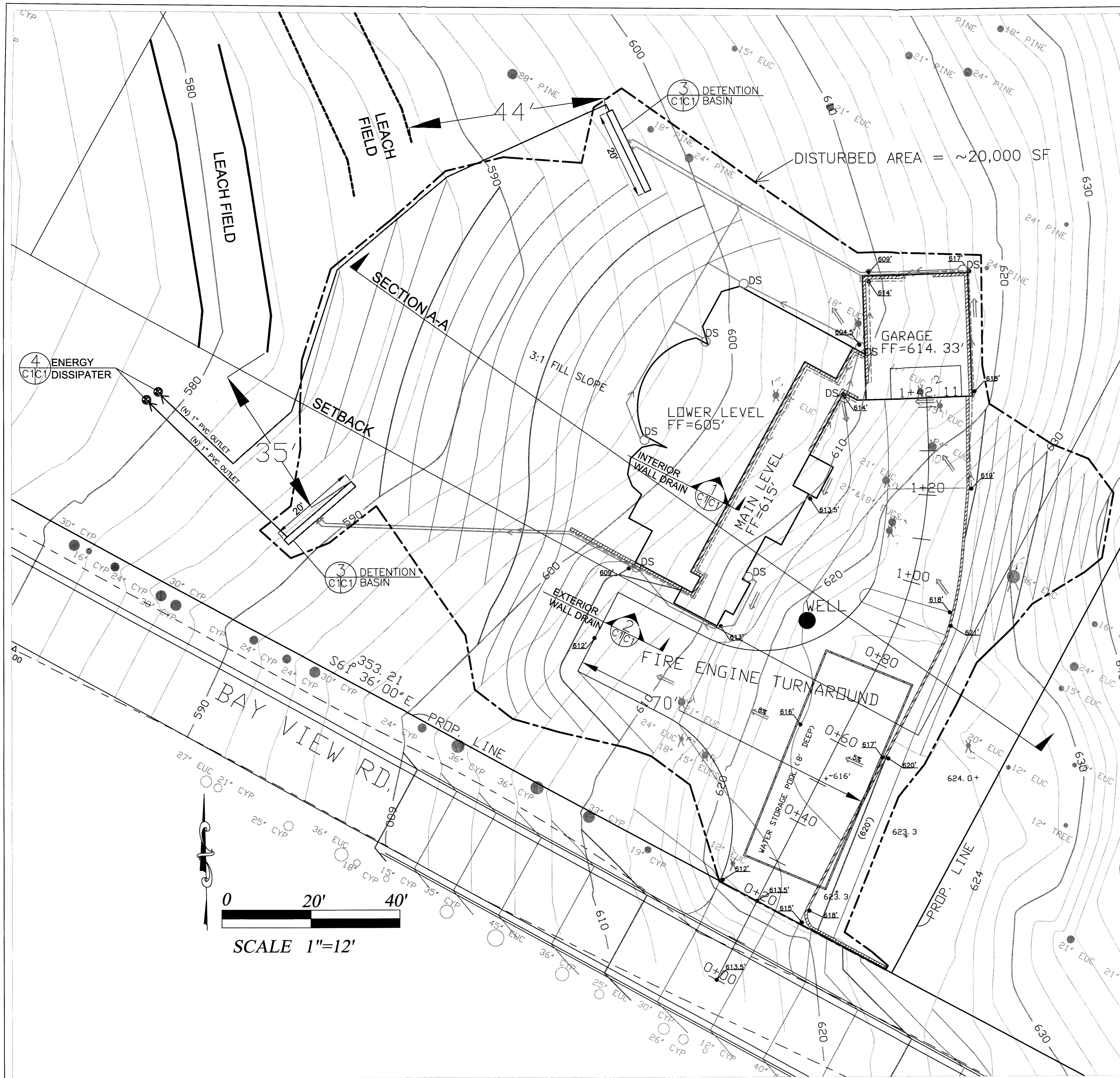
Mandatory Measures Summary: Residential (Page 1 of 2) MF-1R

Table with columns: DESCRIPTION, CHECK OR INITIAL APPLICABLE BOXES OR CHECK NA IF NOT APPLICABLE AND INCLUDED WITH THE PERMIT APPLICATION DOCUMENTATION, N/A, OBSERVER, MEAS.

Mandatory Measures Summary: Residential (Page 2 of 2) MF-1R

Table with columns: DESCRIPTION, CHECK OR INITIAL APPLICABLE BOXES OR CHECK NA IF NOT APPLICABLE AND INCLUDED WITH THE PERMIT APPLICATION DOCUMENTATION, N/A, OBSERVER, MEAS.





**LEGEND**

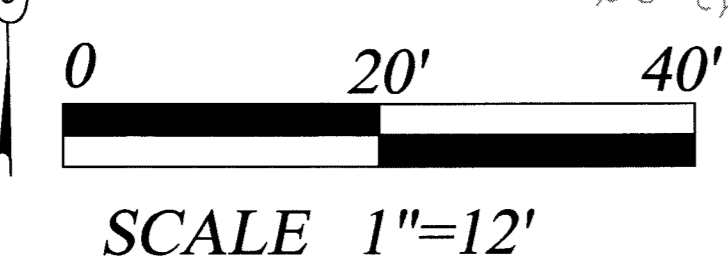
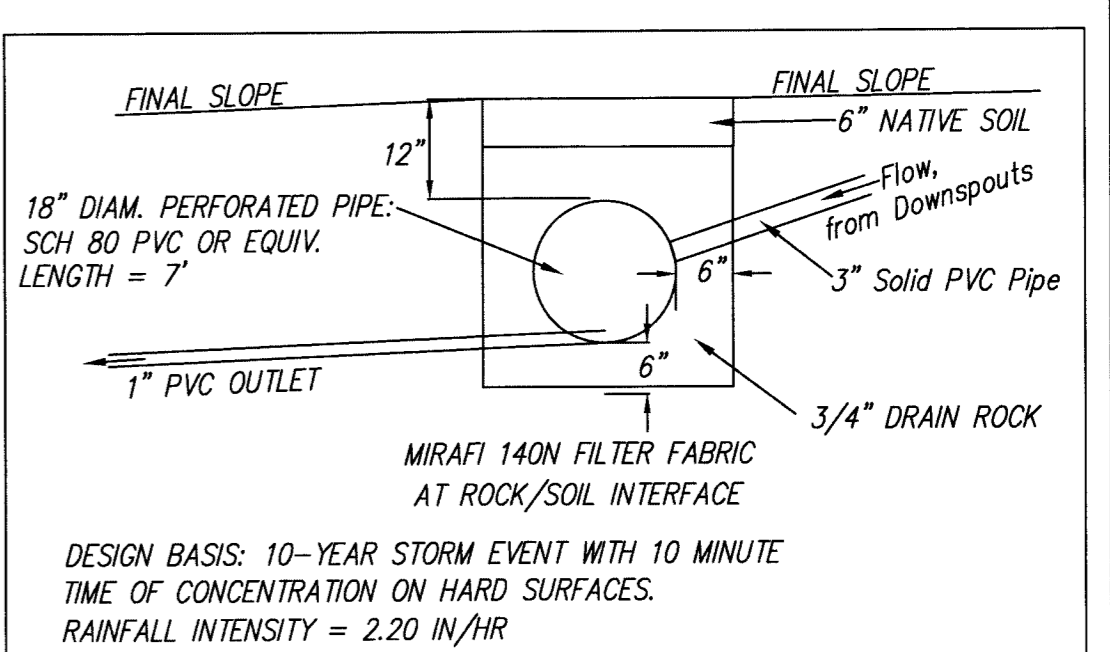
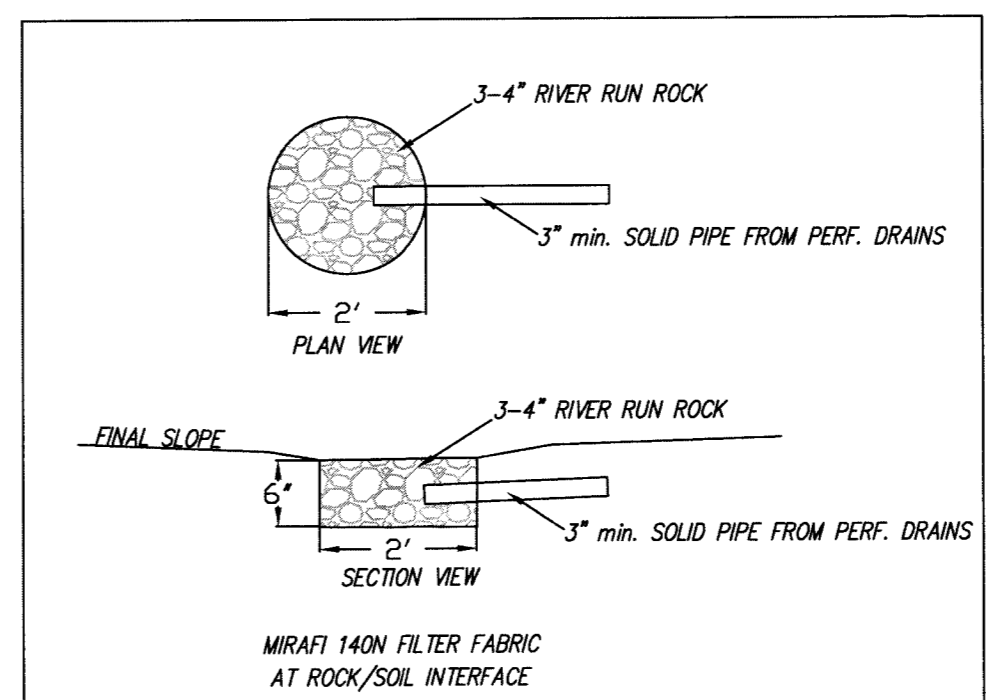
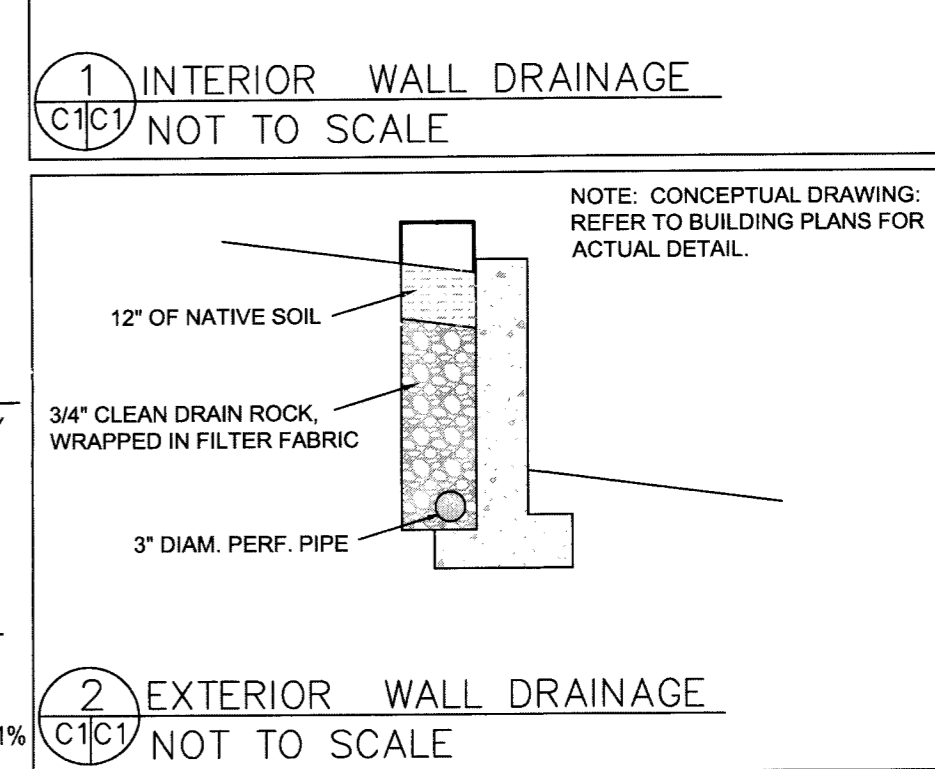
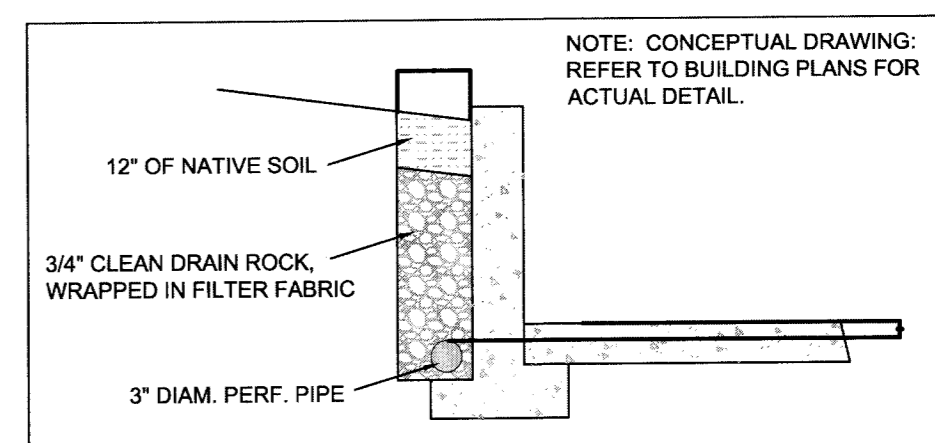
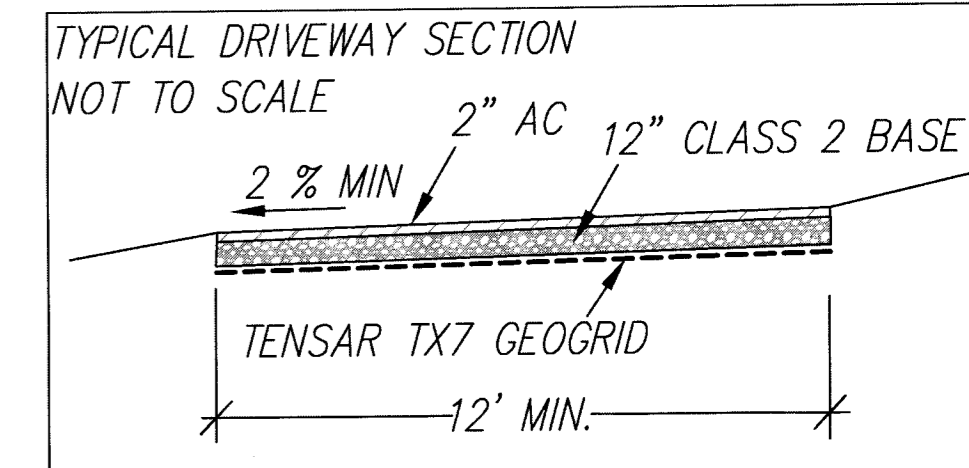
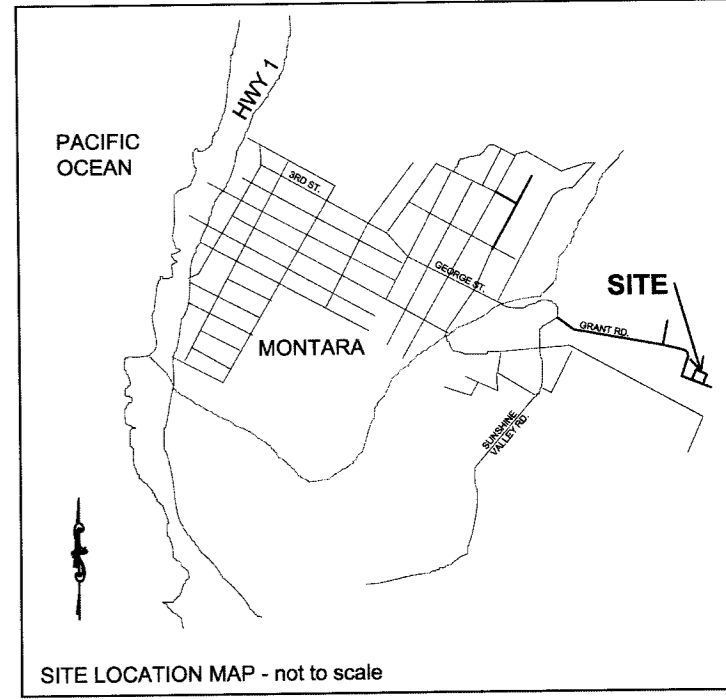
- 624.0+ SPOT ELEVATION (E)
- 620' SPOT ELEVATION (N)
- EXISTING CONTOURS
- PROPOSED CONTOURS
- DS DOWNSPOUT
- SOLID PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE. ALL SDR 35 DRAIN PIPES TO BE 4" DIA. UNLESS OTHERWISE NOTED.
- PERFORATED PIPE @ WALL FOOTING: 3" DIA. RIGID SDR 35, HOLES DOWN. 1% MIN. SLOPE.
- DIRECTION OF SURFACE DRAINAGE FLOW
- TREE TO BE REMOVED
- PROPOSED RETAINING WALL

**GRADING NOTES**

- CUT VOLUME : 1100 CY
- FILL VOLUME : 1100 CY
- NET VOLUME : 0 CY
- 1) THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
- 2) WELL SHALL BE CUT 5 FEET TO MATCH PROPOSED GRADE. A 25-FOOT SEAL WILL REMAIN.
- 3) ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- 4) EMBANKMENT FILLS SHALL BE PLACED ON KEYED AND BENCHED SURFACES, AS SHOWN IN SECTION A-A, AND COMPACTED IN 6" LOOSE LIFTS TO 92% OF MAXIMUM DRY DENSITY. ON-SITE SOILS MAY BE USED AS BACKFILL.
- 5) ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAPPED SOILS.
- 6) WATER STORAGE POOL SHALL BE FILLED IN TO BRING GRADE UP TO ROAD LEVEL. ON-SITE SOIL MAY BE USED, PLACED IN 12-INCH LOOSE LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY.

**DRAINAGE NOTES**

- 1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS, AND TO PROVIDE DRAINAGE FOR RETAINING WALLS.
- 2. ALL DRAIN LINES SHALL LEAD TO DETENTION BASINS SHOWN.
- 3. ALL PERFORATED PIPES SHALL DRAIN TO SOLID PIPES. A SOLID PIPE SHALL NOT DRAIN DRAIN TO A PERFORATED PIPE UNLESS PERFORATED PIPE IS PART OF AN ENERGY DISSIPATER.
- 4. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
- 5. IT IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE DRAINAGE SYSTEM. THE DETENTION BASINS SHALL BE CHECKED EVERY FALL AND CLEARED OF DEBRIS.



**FIRE PROTECTION NOTES**

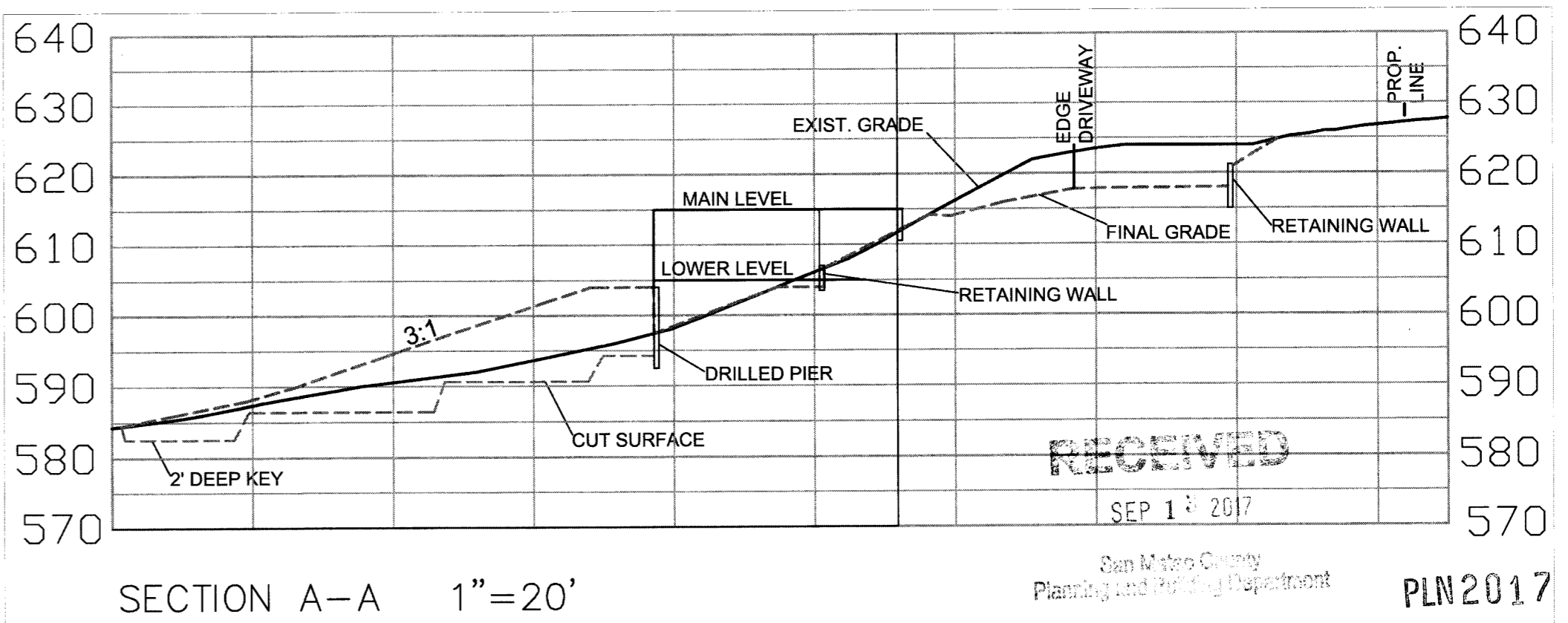
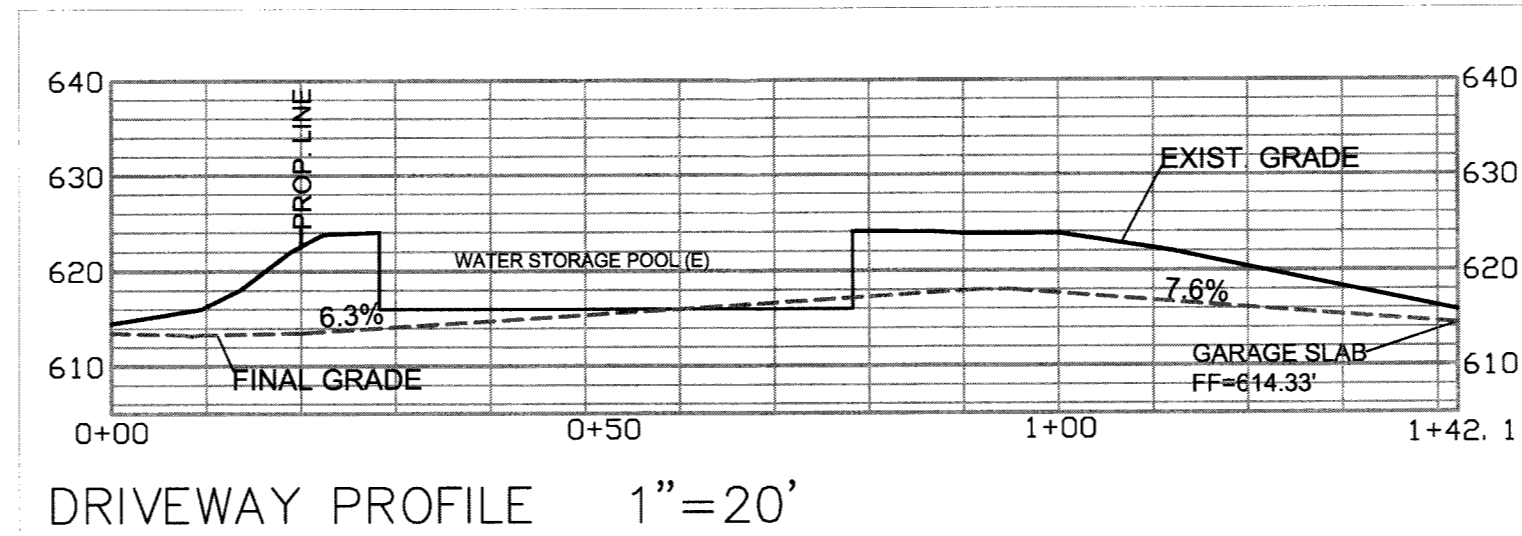
1. "T" FIRE ENGINE TURNAROUND PROPOSED NEXT TO HOUSE, AS SHOWN.
2. EXISTING FIRE HYDRANT IS LOCATED XXX.
3. NEW CLOW 960 FIRE HYDRANT SHALL BE INSTALLED AT LOCATION SHOWN. DISTANCE TO FRONT DOOR WILL BE XXX FEET.

**TRAFFIC CONTROL NOTES**

1. CONTRACTOR AND WORKERS SHALL PARK ON ALONG BAYVIEW ROAD.
2. WHEN TRUCKS DELIVER SUPPLIES AND CONCRETE, EVERY EFFORT SHALL BE MADE TO PREVENT BLOCKAGE OF BAYVIEW ROAD. WORKERS SHALL PROVIDE TRAFFIC CONTROL AT ALL TIMES IF ROAD IS PARTIALLY BLOCKED.

**GENERAL NOTES**

1. PLANS PREPARED AT THE REQUEST OF: MR. NED BRASHER, P.O. BOX 438, MONTARA, CA 94037
2. SURVEY BY OTHERS: ELEVATIONS BASED ON ASSUMED DATUM.
3. THIS IS NOT A BOUNDARY SURVEY.



DATE: 12-28-16  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE: 5-11-17  
 REV. DATE: 9-12-17  
 REV. DATE:

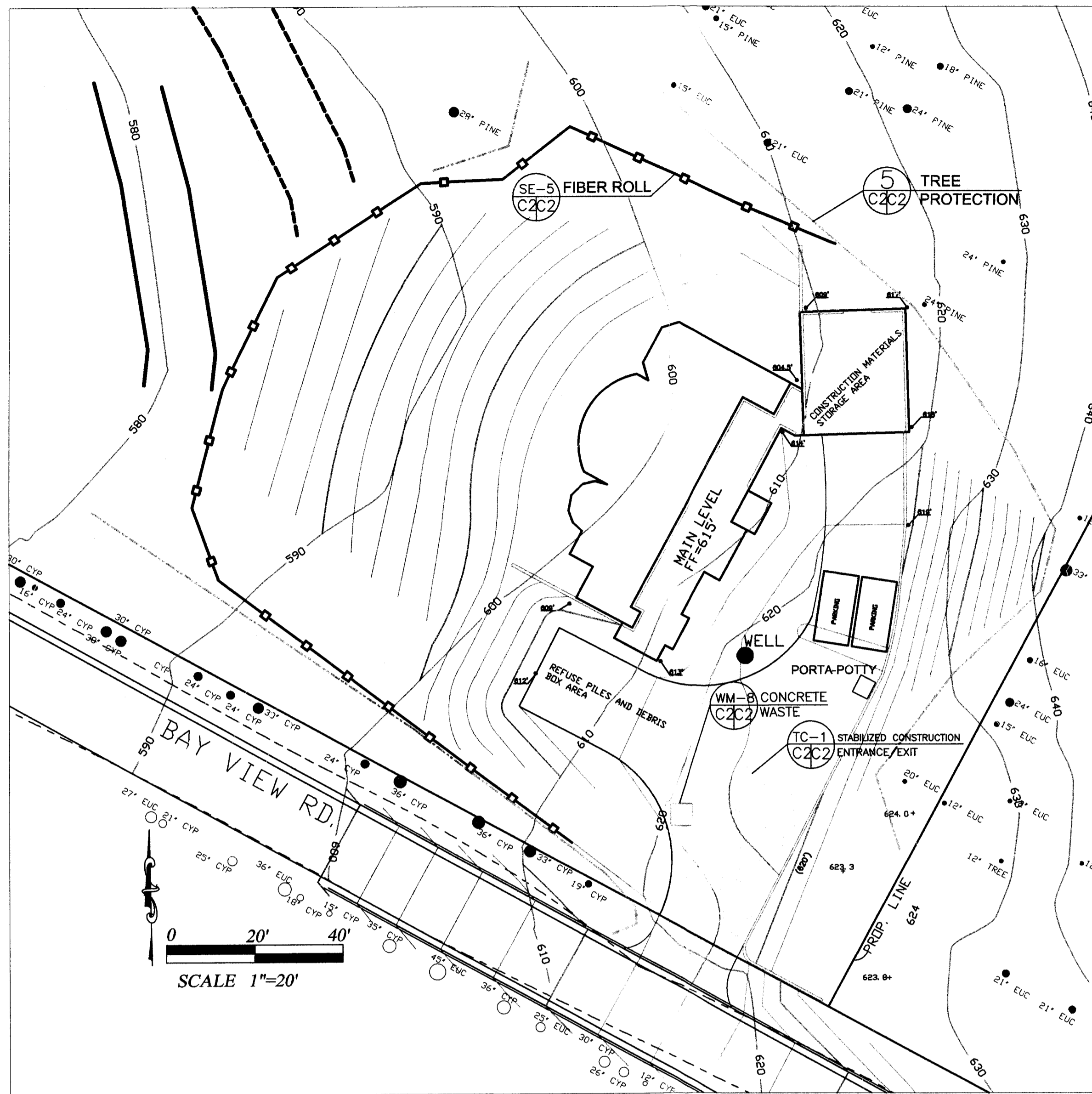
**GRADING AND DRAINAGE PLAN**

SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 FAX 728-3593

BRASHER PROPERTY  
 "MEADOW HOUSE"  
 BAY VIEW RD., MONTARA  
 APN 036-243-110

SHEET

PLN2017 000-1



**EROSION CONTROL POINT OF CONTACT**

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: NED BRASHER

TITLE/QUALIFICATION: OWNER/BUILDER

PHONE: 650-728-5199

PHONE:

E-MAIL: nbrasher@comcast.com

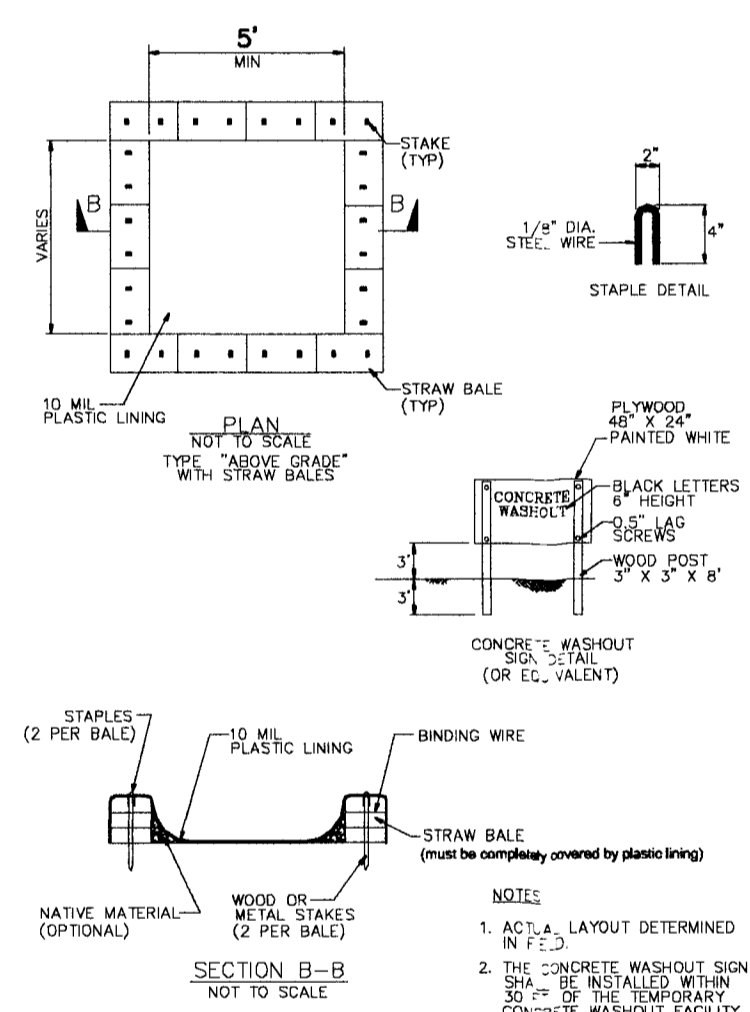
• USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st AND APRIL 30th IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.

• TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING, OR GRUBBING IS STARTED.

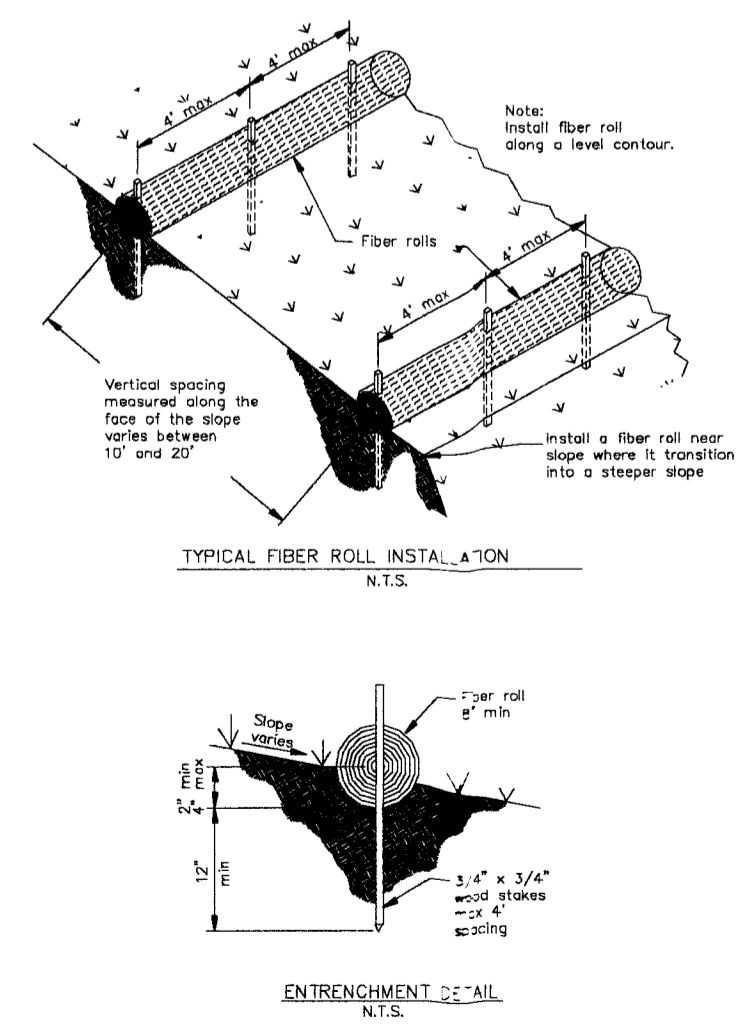
**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- Use of plastic sheeting between October 1st and April 30th is not acceptable.
- The tree protection shall be in place before any grading, excavating or grubbing is started.

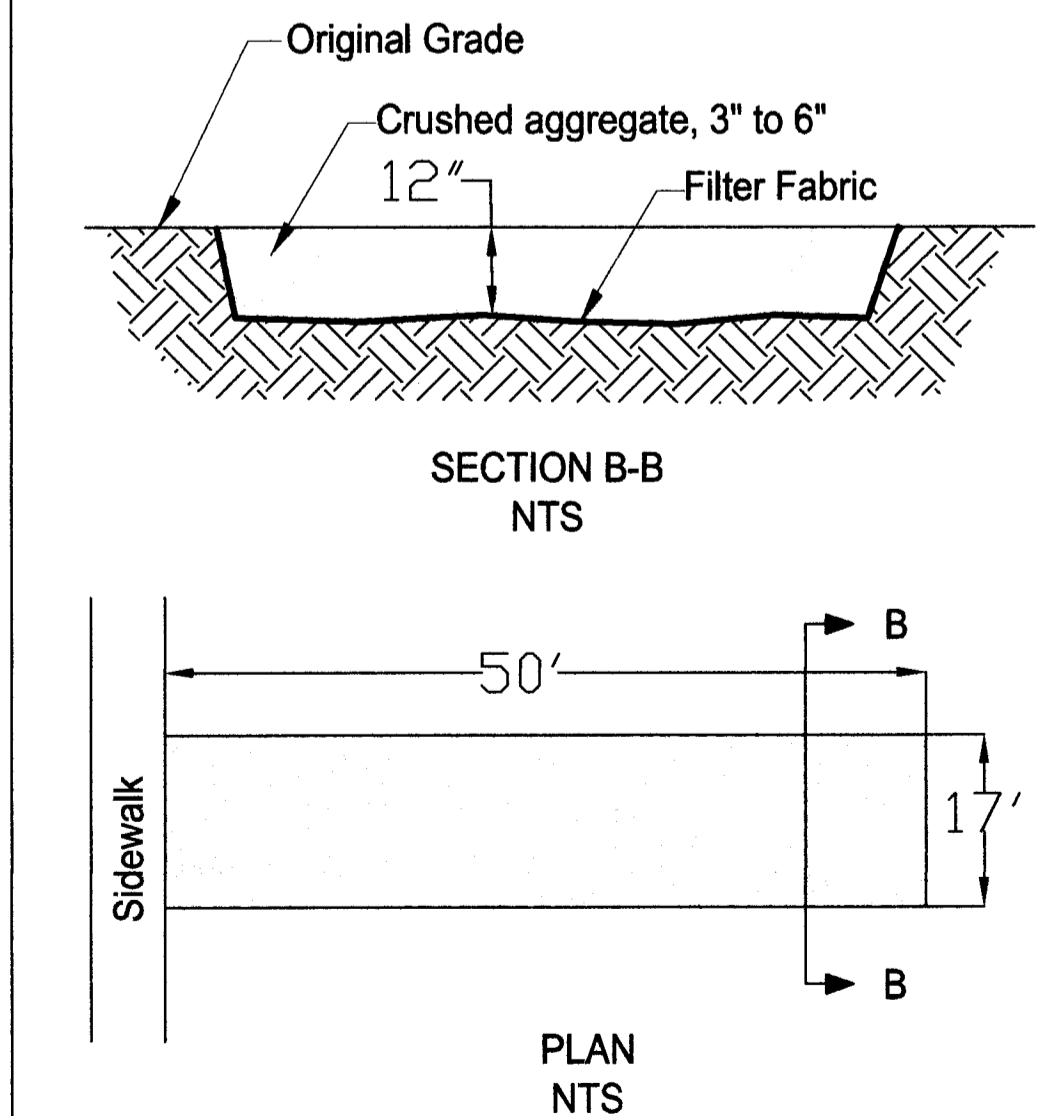
**CONCRETE WASTE MANAGEMENT WM-8**



**FIBER ROLLS SE-5**



**STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1**

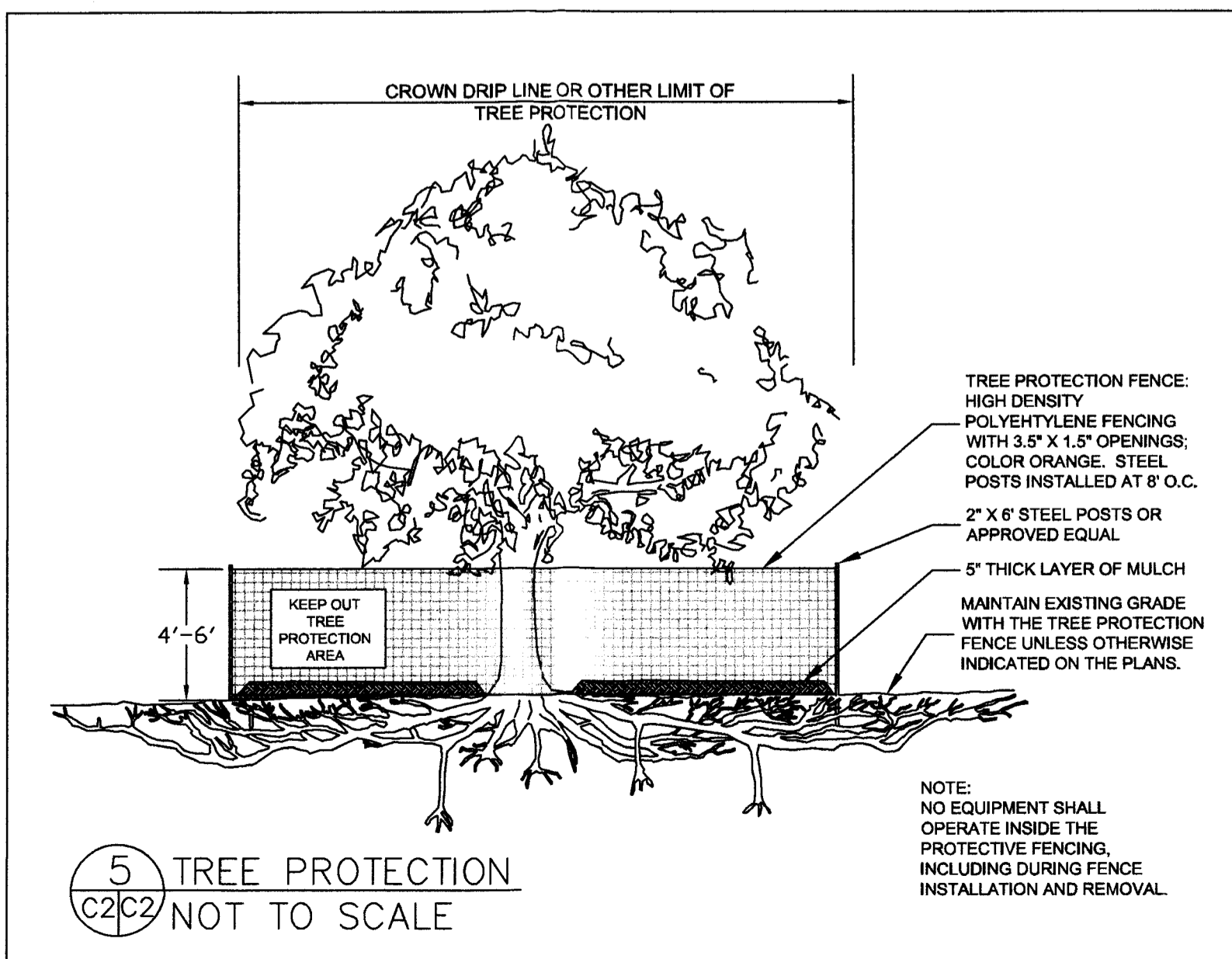


**EROSION CONTROL NOTES**

- FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFFIX AS SHOWN IN DETAIL SE-5
1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
  2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
  3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
  4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
  5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
  6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 50 FEET LONG BY 17 FEET WIDE AND CONFORM TO THE FOLLOWING:
    - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
    - B. PAD SHALL BE NOT LESS THAN 12\"/>
  7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
  8. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
  9. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)

**TREE PROTECTION NOTES**

1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



**5 TREE PROTECTION C2C2 NOT TO SCALE**

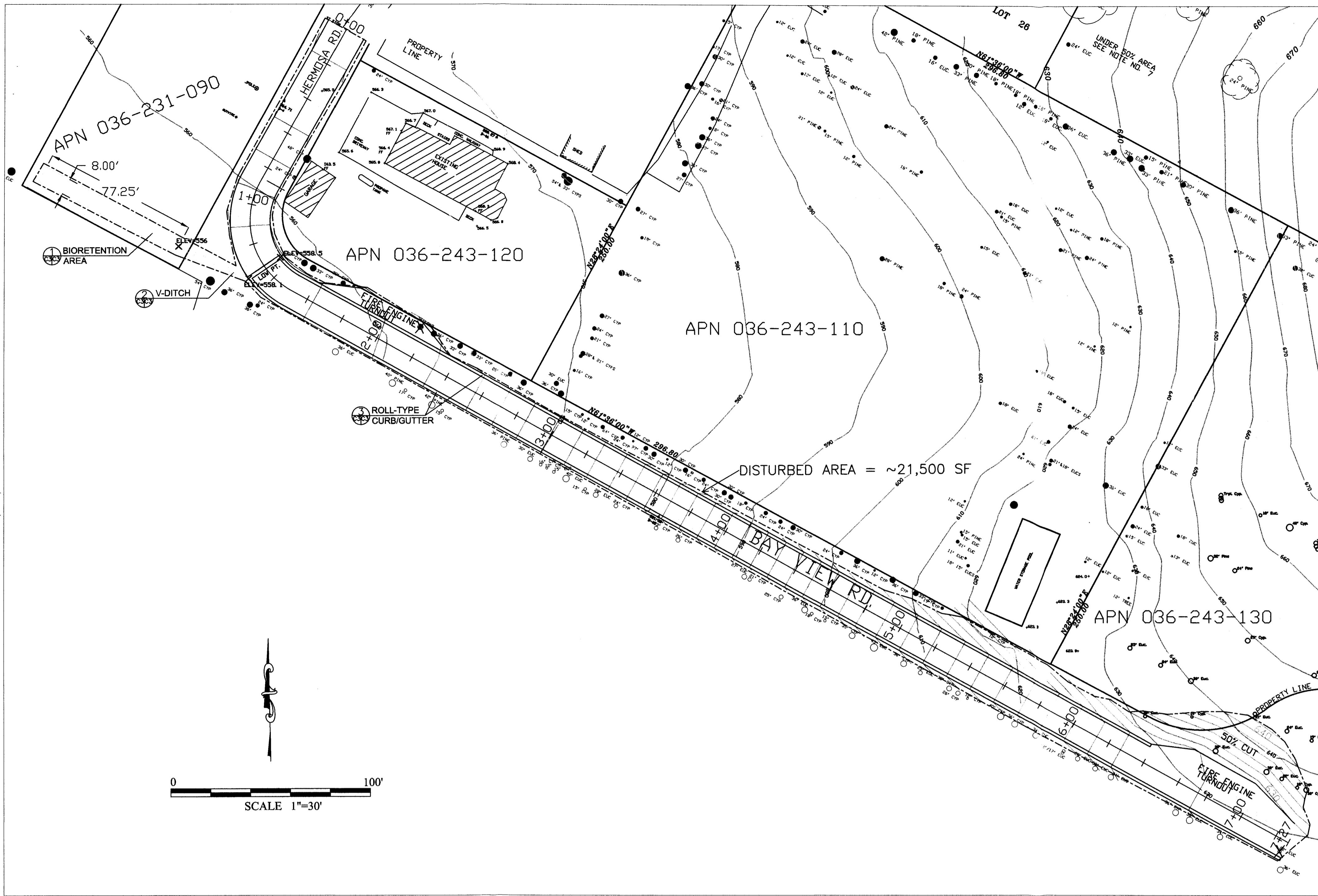


Sigma Prime Geosciences, Inc.  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590 FAX 728-3593

DATE: 5-11-17  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE  
 REV. DATE

**EROSION CONTROL PLAN**  
 BRASHER PROPERTY  
 "MEADOW HOUSE"  
 BAY VIEW RD., MONTARA  
 APN 036-243-110

**SHEET C-2**



**LEGEND**

- EXISTING CONTOURS
- PROPOSED CONTOURS
- TREE TO BE REMOVED
- DIRECTION OF SURFACE DRAINAGE FLOW

**EARTHWORK NOTES**

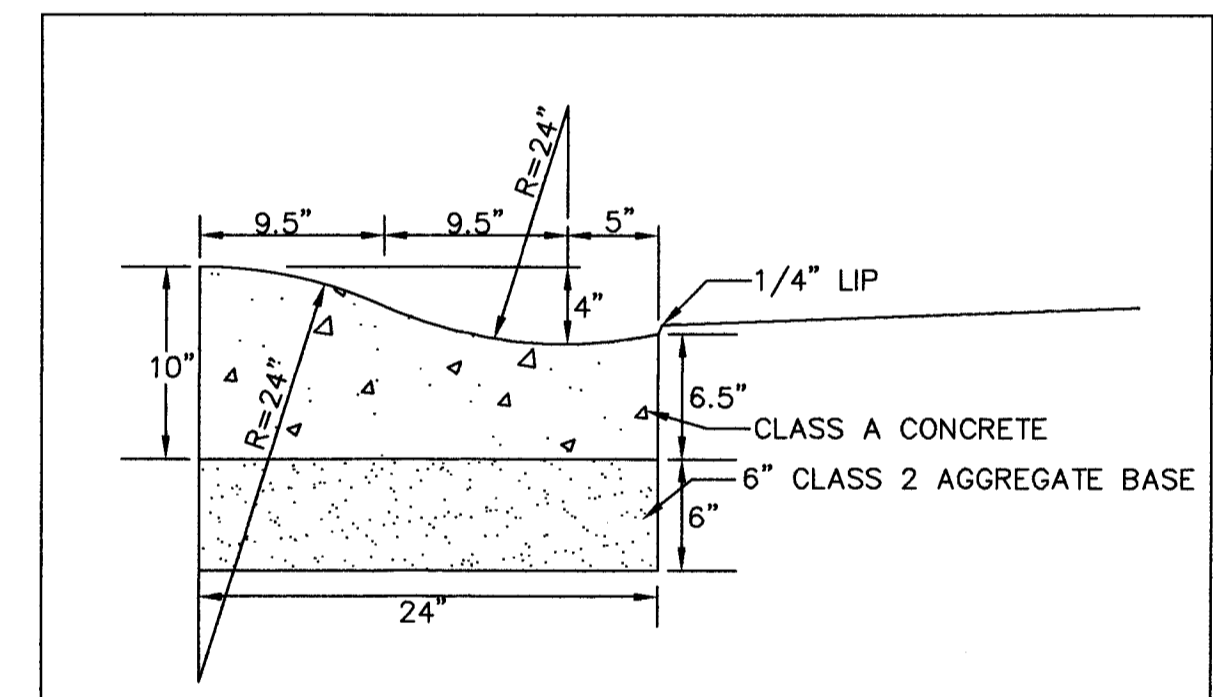
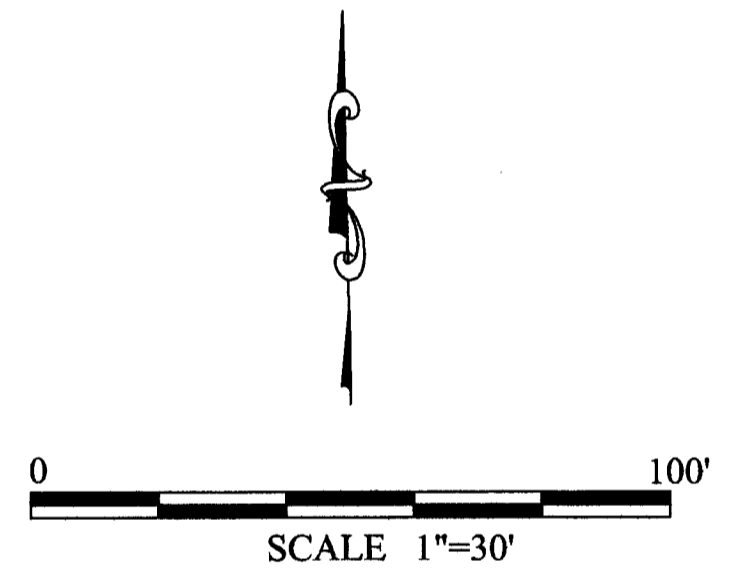
- BAY VIEW ROAD:  
 CUT VOLUME: 370 CY  
 FILL VOLUME: 170 CY  
 NET VOLUME: 200 CY EXPORT
- LENGTH OF PAVED ROAD = 727 FT  
 AREA OF PAVED SURFACE = 14,540 SF  
 VOLUME OF AGGREGATE ROAD BASE (AB) = 280 CY
- MAX. HEIGHT OF CUT: 6 FEET  
 MAX. HEIGHT OF FILL: 2 FEET
- FILL MATERIAL SHOULD BE PLACED IN 12" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 92 PERCENT RELATIVE COMPACTION.
  - ON-SITE SOILS MAY BE USED FOR FILL. REFER TO SOILS REPORT FOR RECOMMENDATIONS ON EARTHWORK.

**GENERAL NOTES**

- PLANS PREPARED AT THE REQUEST OF:  
 MR. NED BRASHER  
 P.O. BOX 438  
 MONTARA, CA 94037
- SURVEY BY OTHERS: ELEVATIONS BASED ON ASSUMED DATUM.
- THIS IS NOT A BOUNDARY SURVEY.

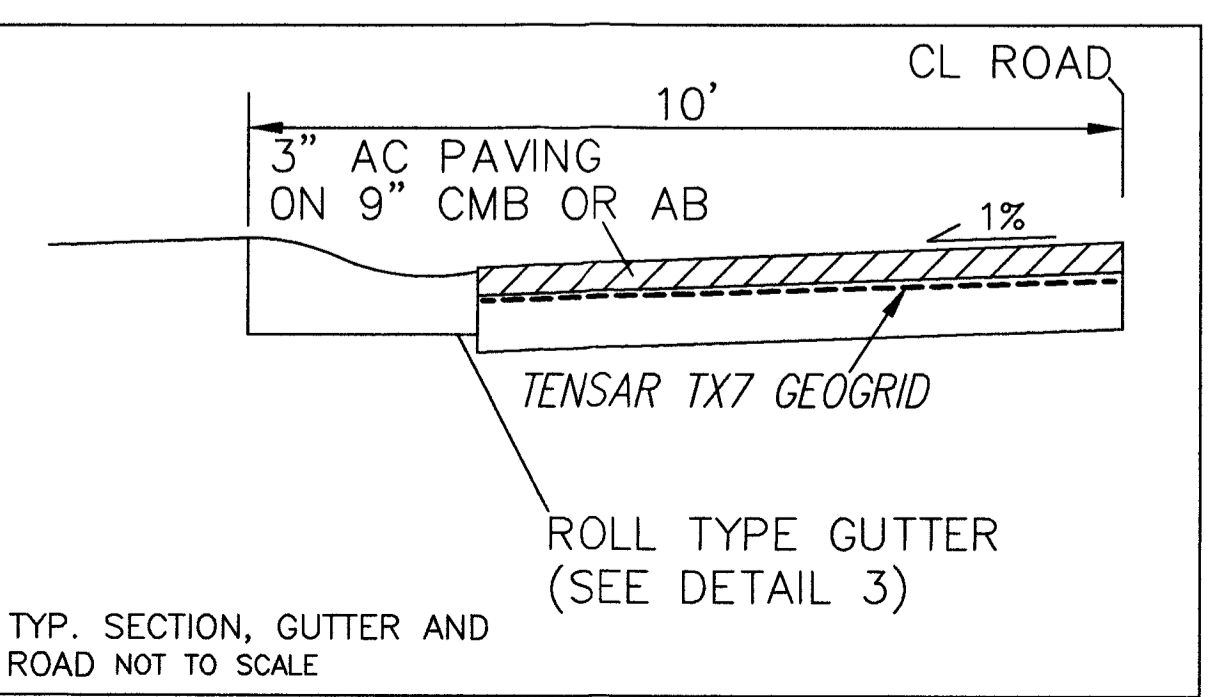
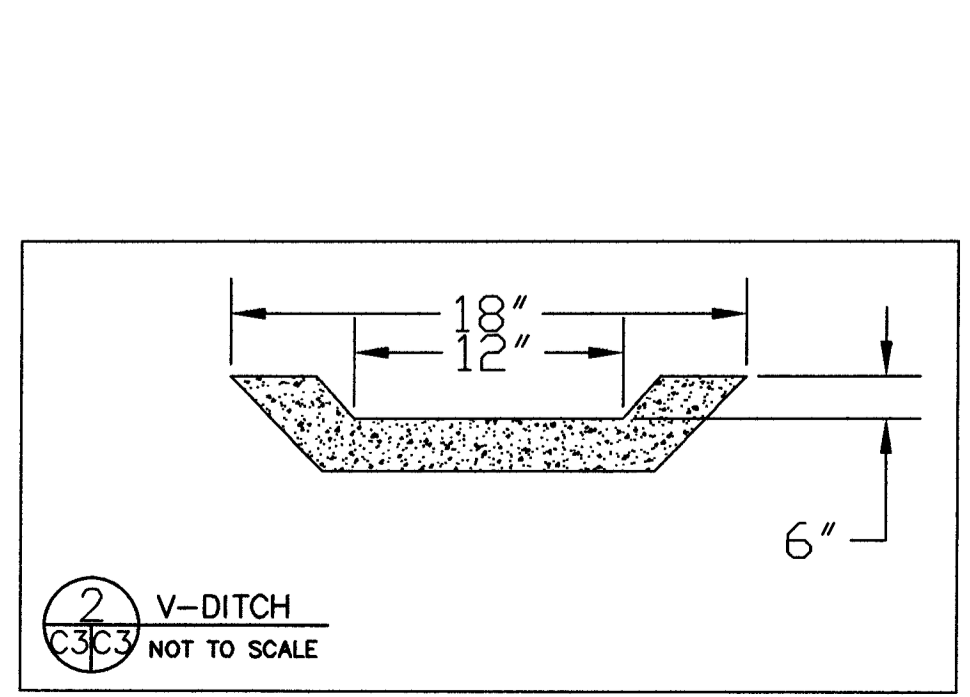
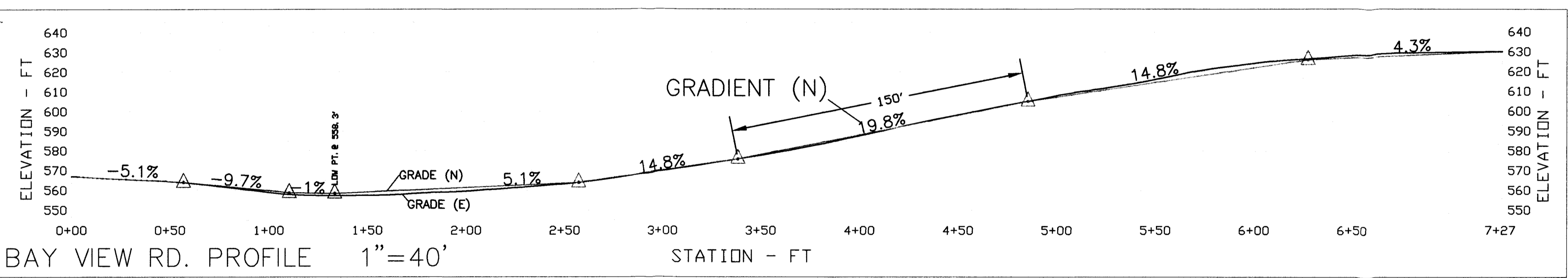
**DRAINAGE NOTES**

- DRAINAGE DIRECTION AS SHOWN BY DRAINAGE ARROWS ON PLAN. POSITIVE DRAINAGE SHALL BE MAINTAINED THROUGHOUT.
- RUNOFF IN ROAD SHALL BE DIRECTED TO GUTTERS ON BOTH SIDES OF ROAD, AS SHOWN.
- NO CONCENTRATED WATER IS TO FLOW ACROSS CUT SLOPES.
- SIZING OF DETENTION SYSTEM BASED ON 4% METHOD. 4% OF PAVED AREA OF 14,450 SF = 618 SF.
- IT IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE DRAINAGE SYSTEM. THE BIORETENTION AREA SHALL BE CHECKED EVERY FALL AND CLEARED OF DEBRIS.



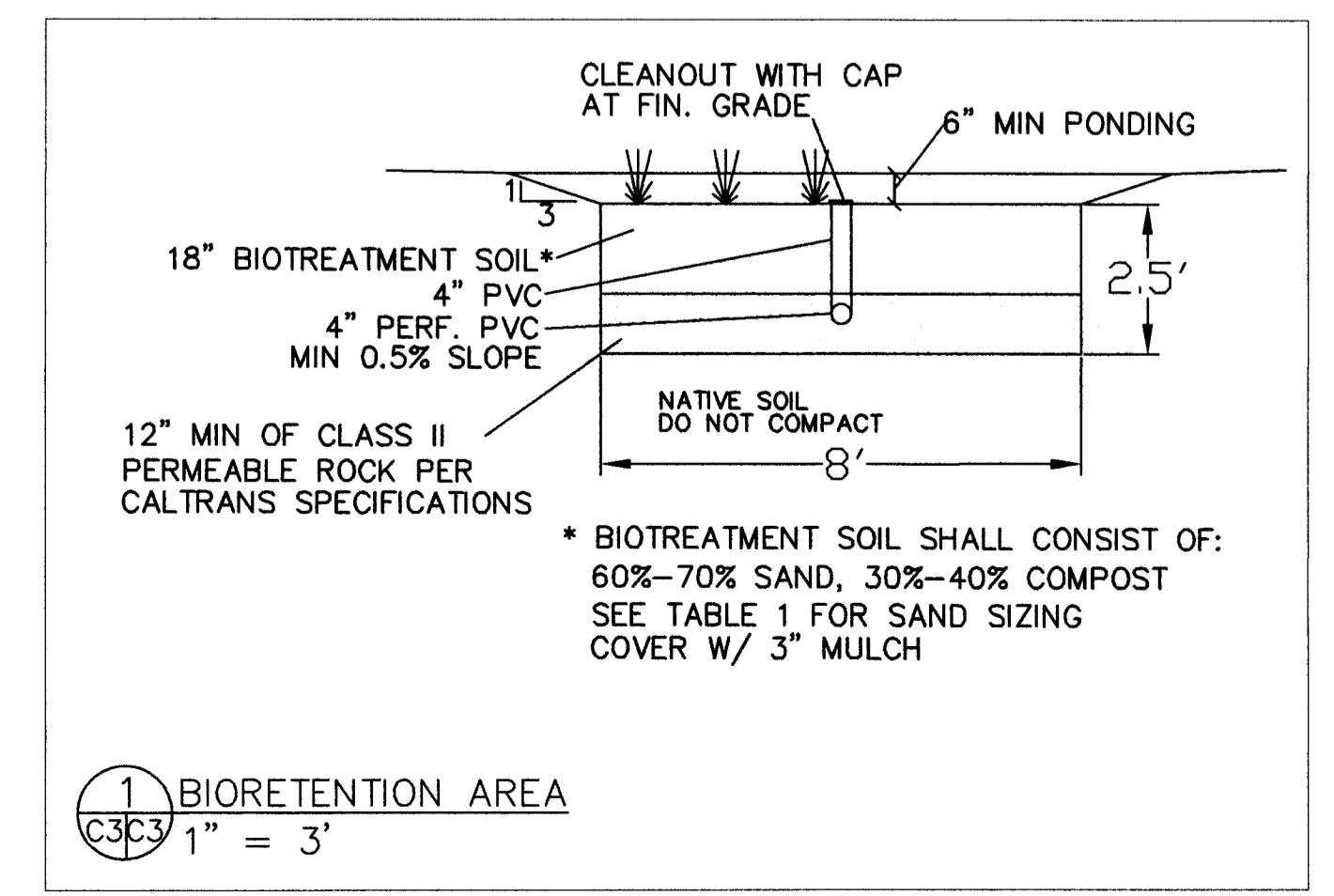
- CONCRETE GUTTER SHALL BE INSTALLED PRIOR TO PAVING.
- REINFORCEMENT SHALL CONSIST OF 6" X 6" - #10/#10 WELDED WIRE FABRIC.
- PLACE 1/2" DIAMETER X 18" LONG DOWELS, AT EXPANSION JOINTS
- PLACE 1/4" THICK EXPANSION JOINTS FULL WIDTH 20" ON CENTER. DEEP SCORE AT 10" INTERVALS BETWEEN EXPANSION JOINTS.

3 ROLL-TYPE GUTTER AND GUTTER  
 C3/C3 NOT TO SCALE



**FIRE PROTECTION NOTES**

- FIRE DEPARTMENT TURNAROUNDS AND TURNOUTS ARE TO BE UNOBSTRUCTED AT ALL TIMES.
- ACCESS ROAD SURFACE SHALL BE "ALL WEATHER", A MINIMUM 6" OF COMPACTED AGGREGATE BASE ROCK, CLASS 2 OR EQUIVALENT, CERTIFIED BY A LICENSED ENGINEER TO 95%.
- THE ROAD SHALL HAVE AN OVERHEAD CLEARANCE OF 14 FEET VERTICAL DISTANCE FOR ITS ENTIRE WIDTH.
- NON-COMBUSTIBLE VEGETATION WILL BE MAINTAINED AS FOLLOWS: MINIMUM 10 FOOT ON BOTH SIDES OF ROAD AND TURNAROUND OR TO PROPERTY LINE OR EASEMENT LINE IF CLOSER. EXCEPTION SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVER, PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM NATIVE GROWTH TO ANY STRUCTURE.



DATE: 12-28-16  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE: 5-11-17  
 REV. DATE:

**BAYVIEW ROAD PLAN**  
 BRASHER PROPERTIES  
 MONTARA, CA

SHEET  
 C-3

GENERAL EROSION AND SEDIMENT CONTROL NOTES

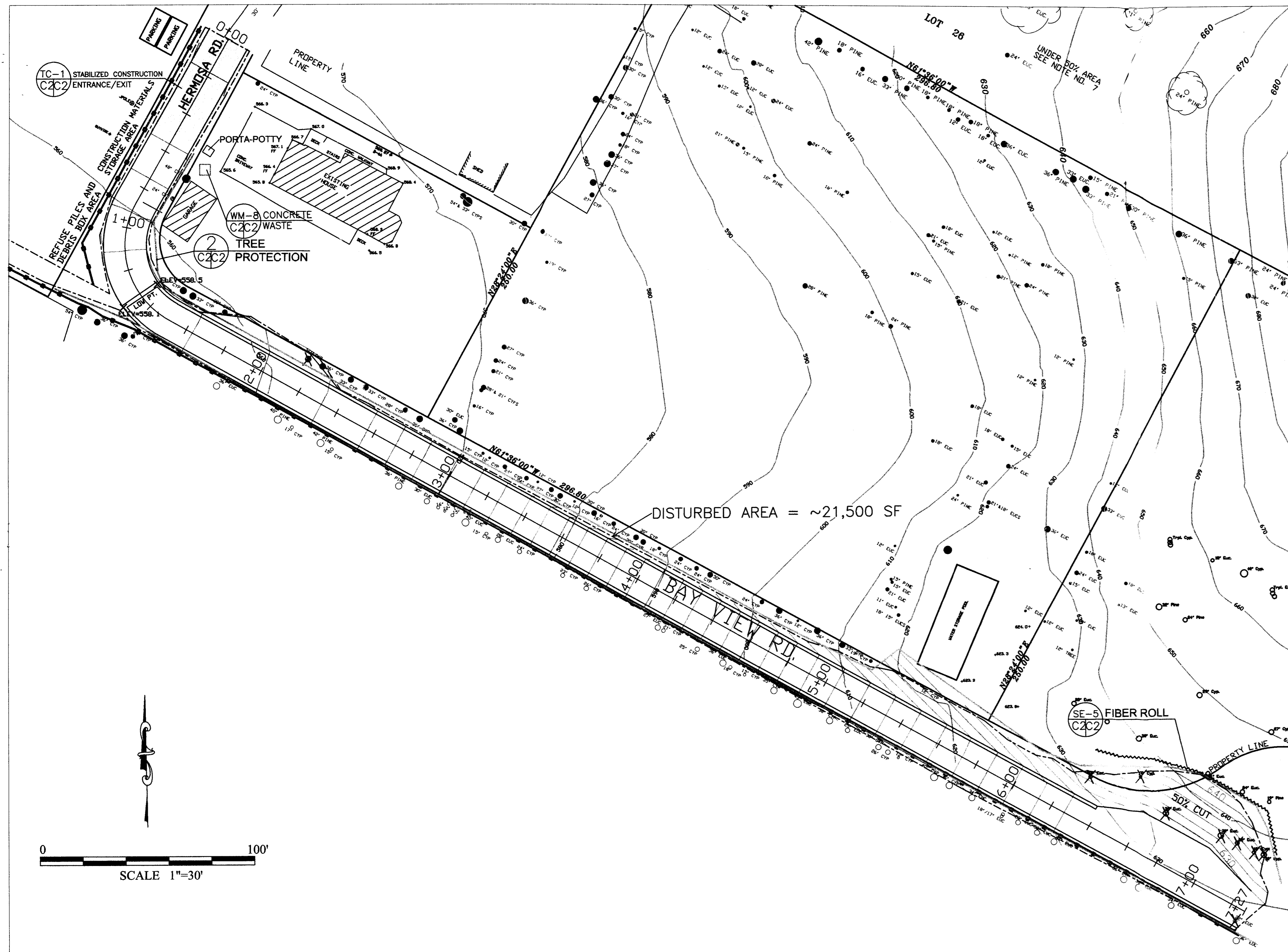
EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

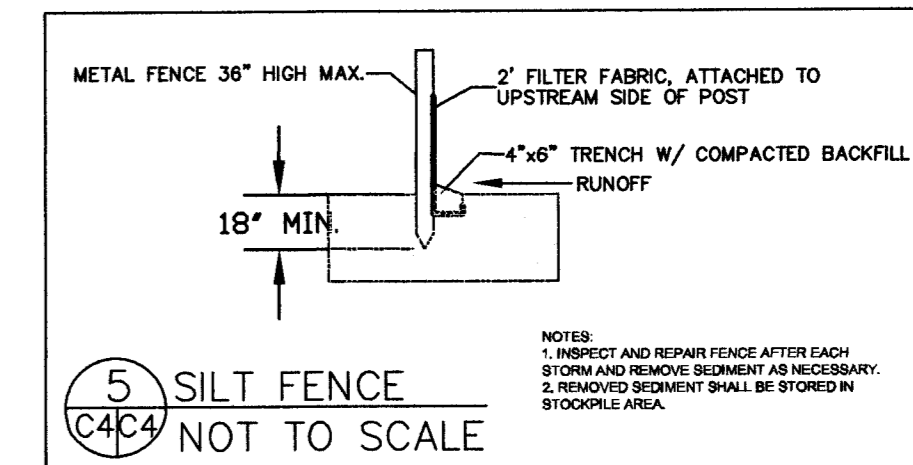
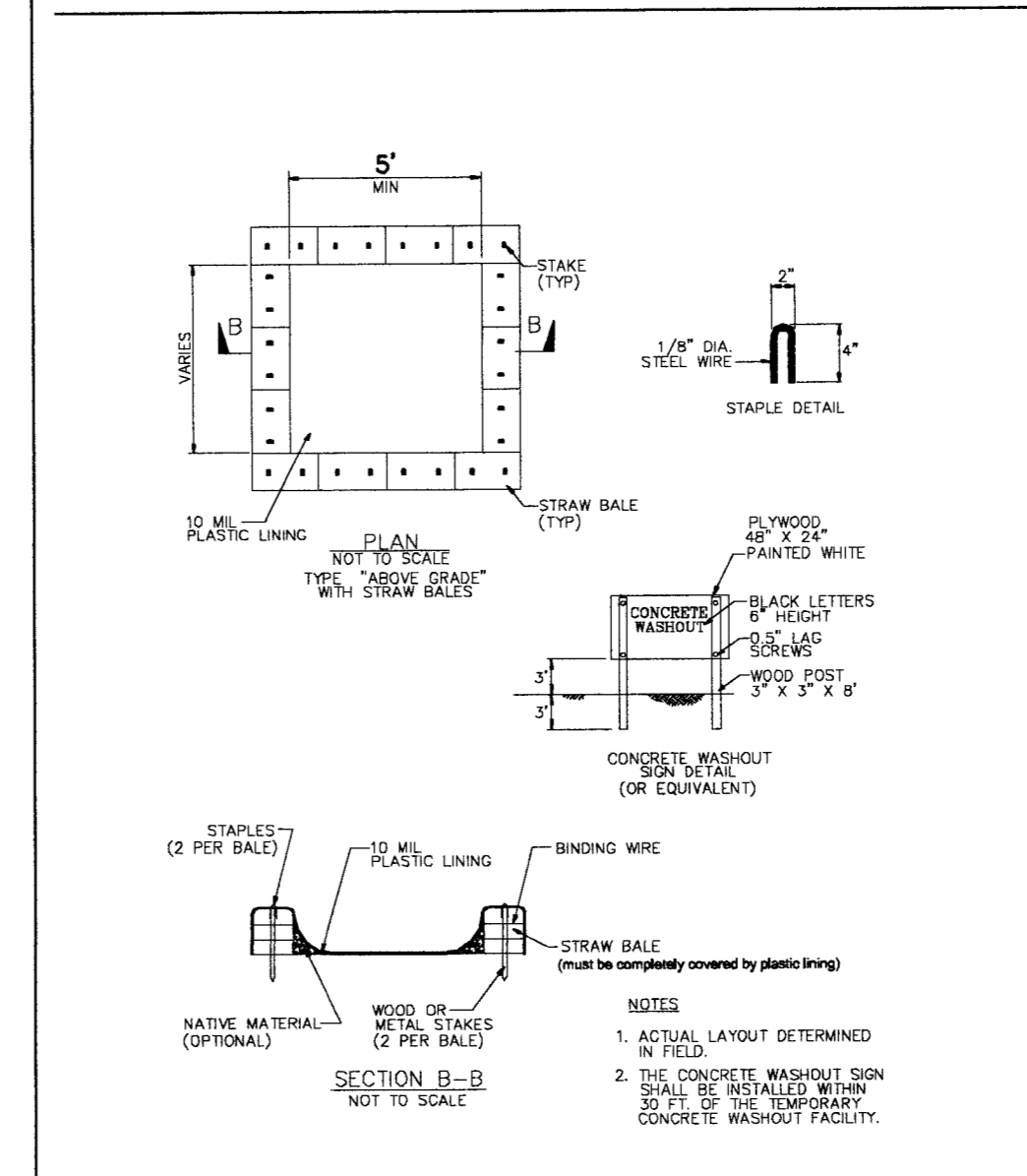
NAME: NED BRASHER  
 TITLE/QUALIFICATION: OWNER/BUILDER  
 PHONE: 650-728-5199  
 PHONE:  
 E-MAIL: nbrasher@comcast.com

- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st AND APRIL 30th IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING, OR GRUBBING IS STARTED.

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- The tree protection shall be in place before any grading, excavating or grubbing is started.



CONCRETE WASTE MANAGEMENT WM-8



Sigma Prime Geosciences, Inc.  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 FAX 728-3593

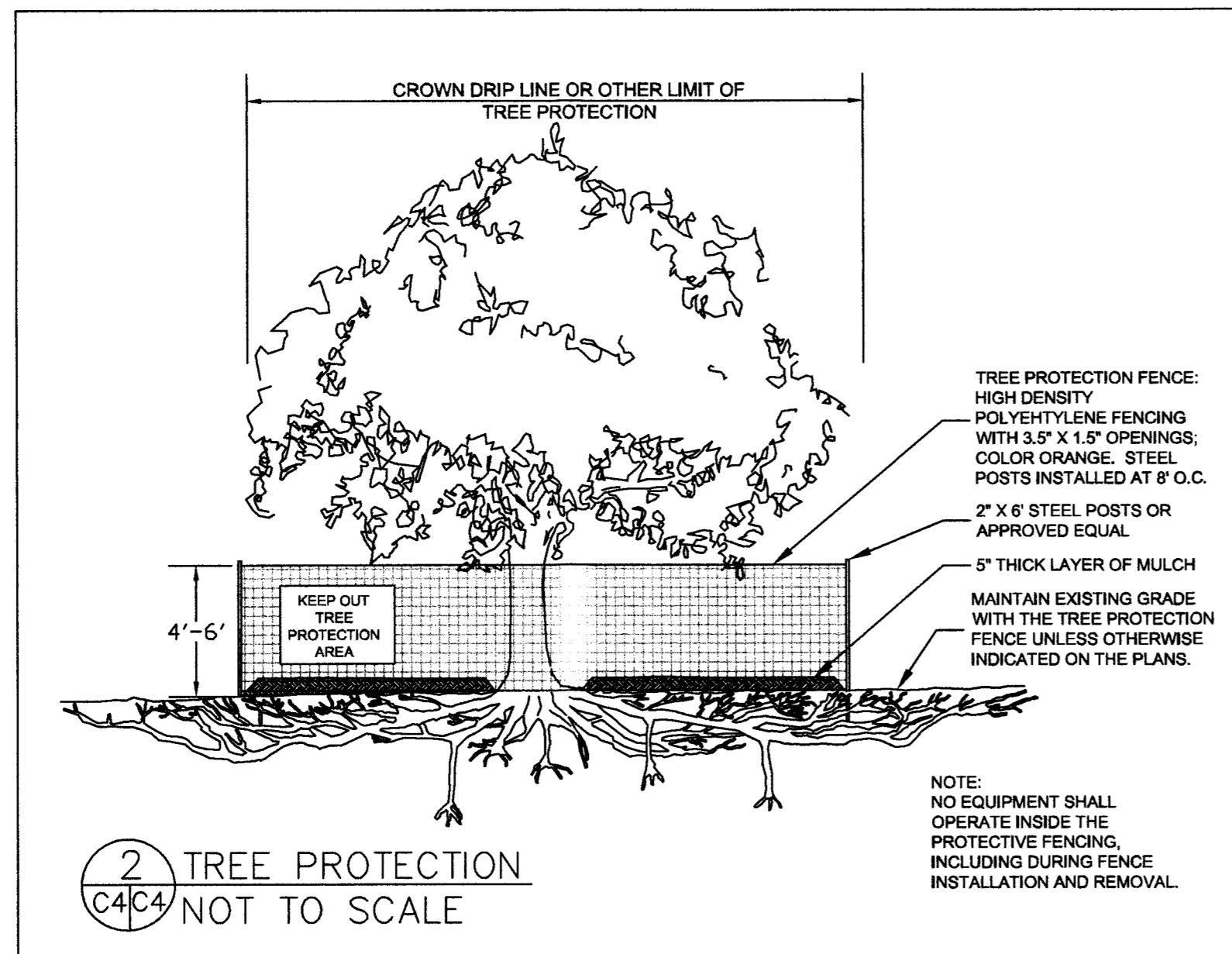
DATE: 12-28-16  
 DRAWN BY: CAJK  
 CHECKED BY: AZG  
 REV. DATE: 5-11-17  
 REV. DATE:

EROSION CONTROL PLAN:  
 BAYVIEW ROAD  
 BRASHER PROPERTIES  
 MONTARA, CA

SHEET  
 C-4

TREE PROTECTION NOTES

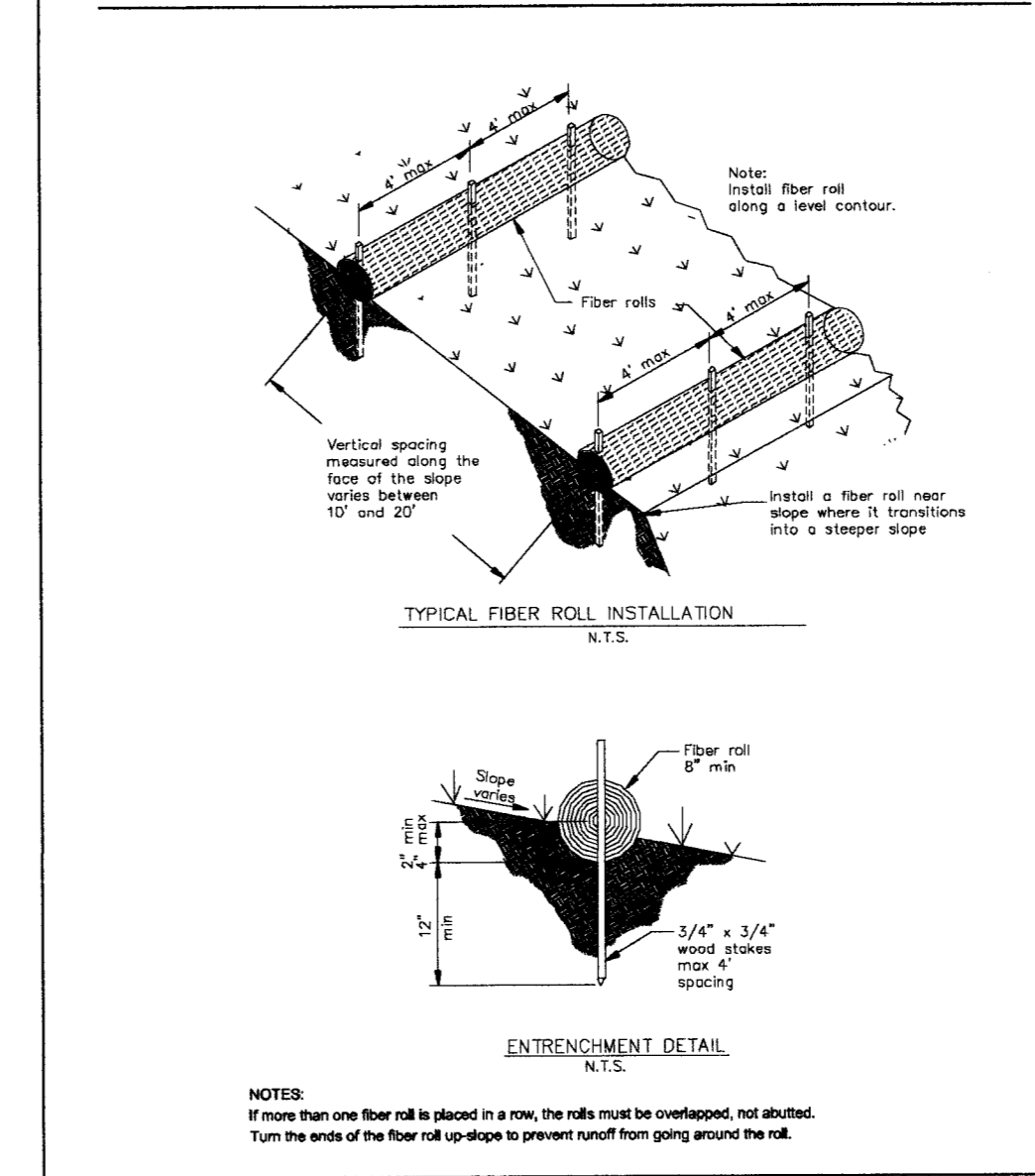
- TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
- TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
- OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
- ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
- ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
- PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



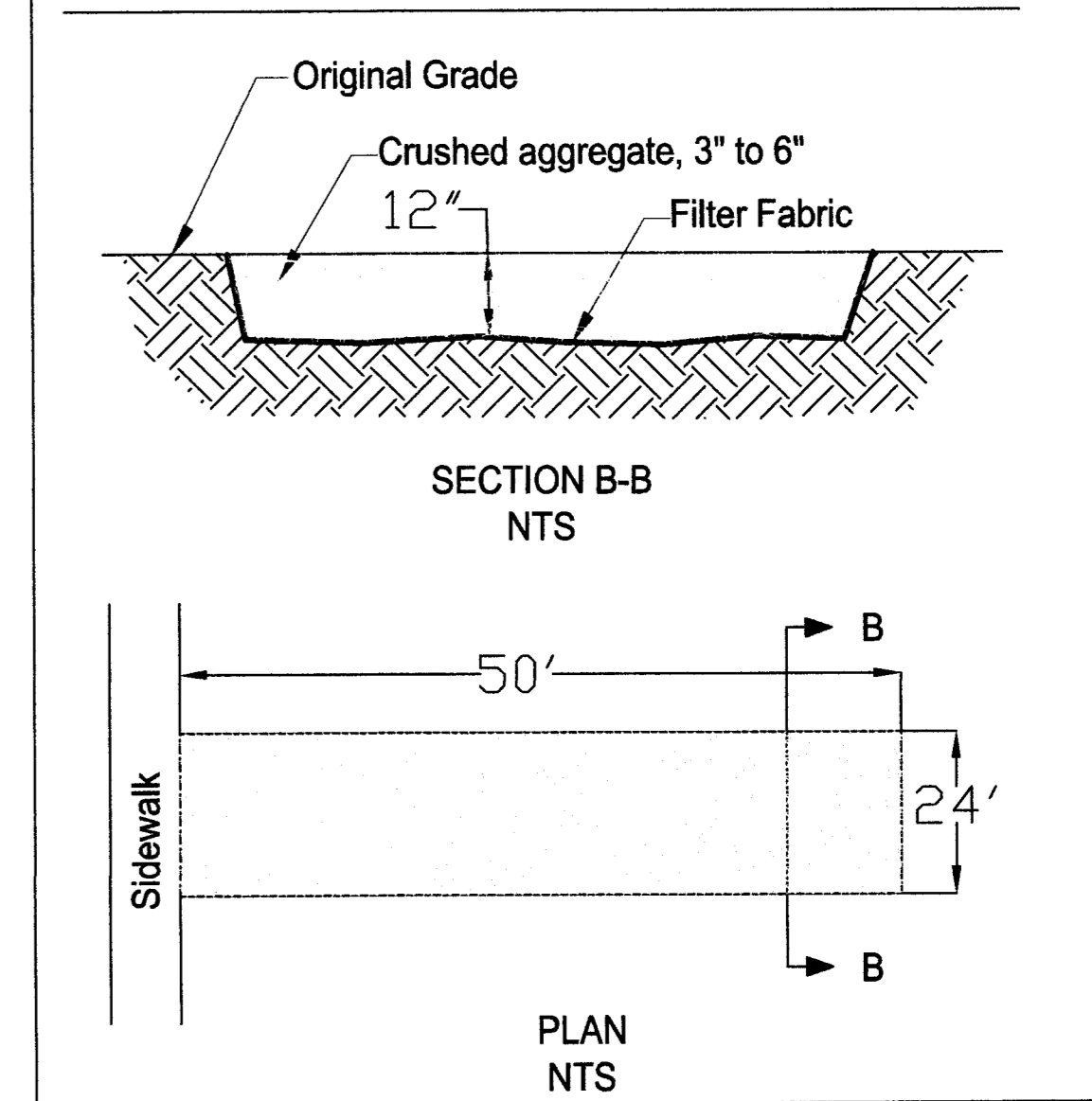
EROSION CONTROL NOTES

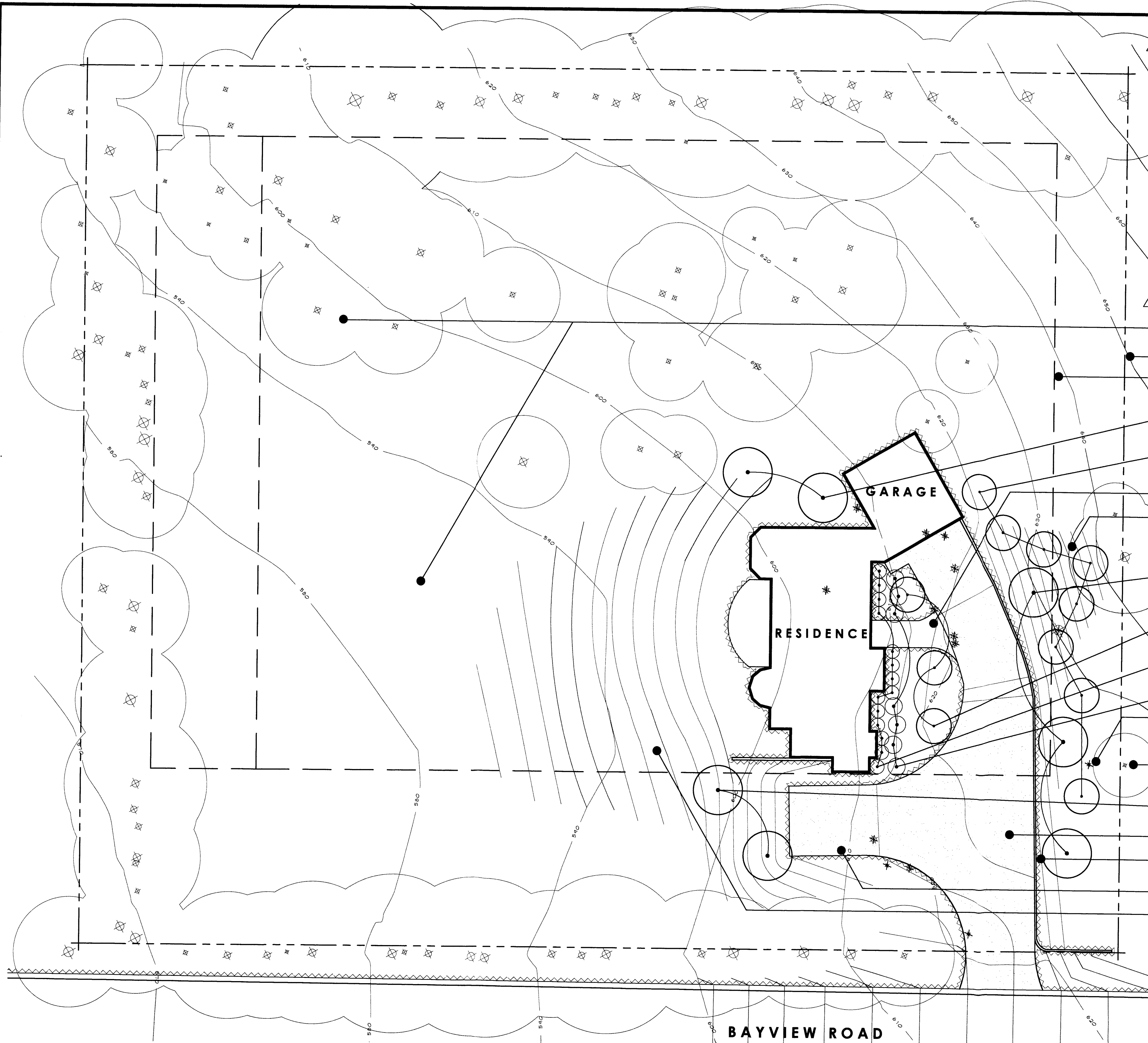
- SILT FENCE  
 FIBER ROLL
- GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
  - NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
  - ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
  - ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
  - ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
  - ROCKED CONSTRUCTION ENTRANCE SHALL BE 50 FEET LONG BY 24 FEET WIDE AND CONFORM TO THE FOLLOWING:  
 A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.  
 B. PAD SHALL BE NOT LESS THAN 12" THICK.  
 C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.  
 D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
  - CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)
- TYPICAL FIBER ROLL INSTALLATION N.T.S.  
 ENTRENCHMENT DETAIL N.T.S.  
 NOTES:  
 If more than one fiber roll is placed in a row, the rolls must be overlapped, not abutted. Turn the ends of the fiber roll up-slope to prevent runoff from going around the roll.

FIBER ROLLS SE-5



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1





### PLANT LEGEND

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE
ARB. UNE.	15 GAL	ARBUS UNEDO 'COMPACTA' - STANDARD	DWARF STRAWBERRY TREE	LOW
CER. OCC.	15 GAL	CERCIS OCCIDENTALIS	WESTERN REDBUD	LOW
CAL. VIM.	5 GAL	CALLISTEMON VIMINALIS 'LITTLE JOHN'	DWARF BOTTLE BRUSH	LOW
CER. HOR.	1 GAL	CEANOTHUS HORIZONTALIS 'YANKEE POINT'	CALIFORNIA LILAC	LOW

**NOTES:**  
 -PLANTS TO BE GROUPED IN HYDROZONES ACCORDING TO WATER USES, ALL WATER USE INFORMATION WAS TAKEN FROM THE 2000 EDITION OF WUCOLS III  
 -100% OF PROPOSED PLANTS ARE LOW WATER USE (75% REQUIRED)

### LAYOUT LEGEND

⊙	DIMENSIONAL STARTING POINT
EQ.	TYPICAL
—	EQUAL
—	ALIGN
∠	ANGLE MEASUREMENT
---	PROPERTY LINE
---	CENTER LINE
⊕	EXISTING TREE TO REMAIN
⊗	EXISTING TREE TO BE REMOVED
⊠	INDICATES PLANTING AREA
③	INDICATES DETAIL NUMBER
①-③	INDICATES PAGE NUMBER

**IRRIGATION EFFICIENCY STATEMENT**  
 "I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND HAVE APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN"

*Jul* 10.4.17  
 JOHN DALRYMPLE LANDSCAPE ARCHITECTURE - RLA 5632

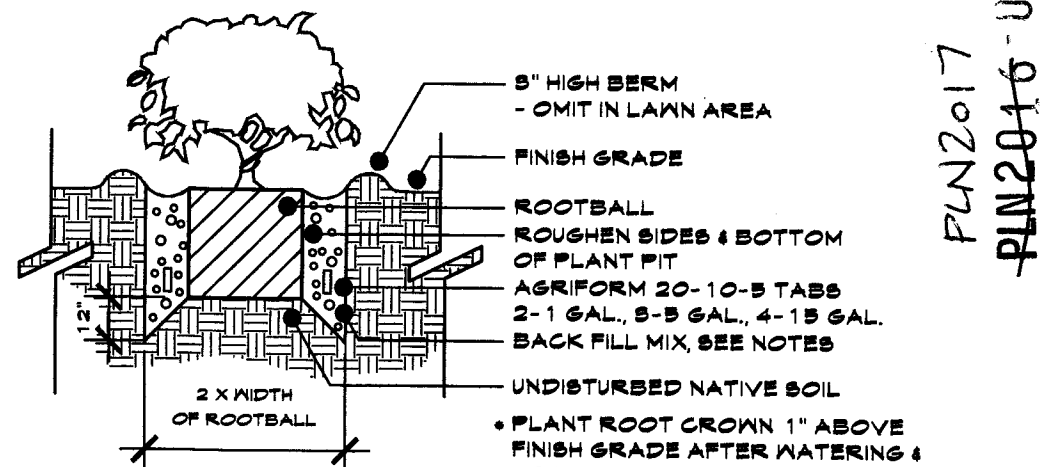
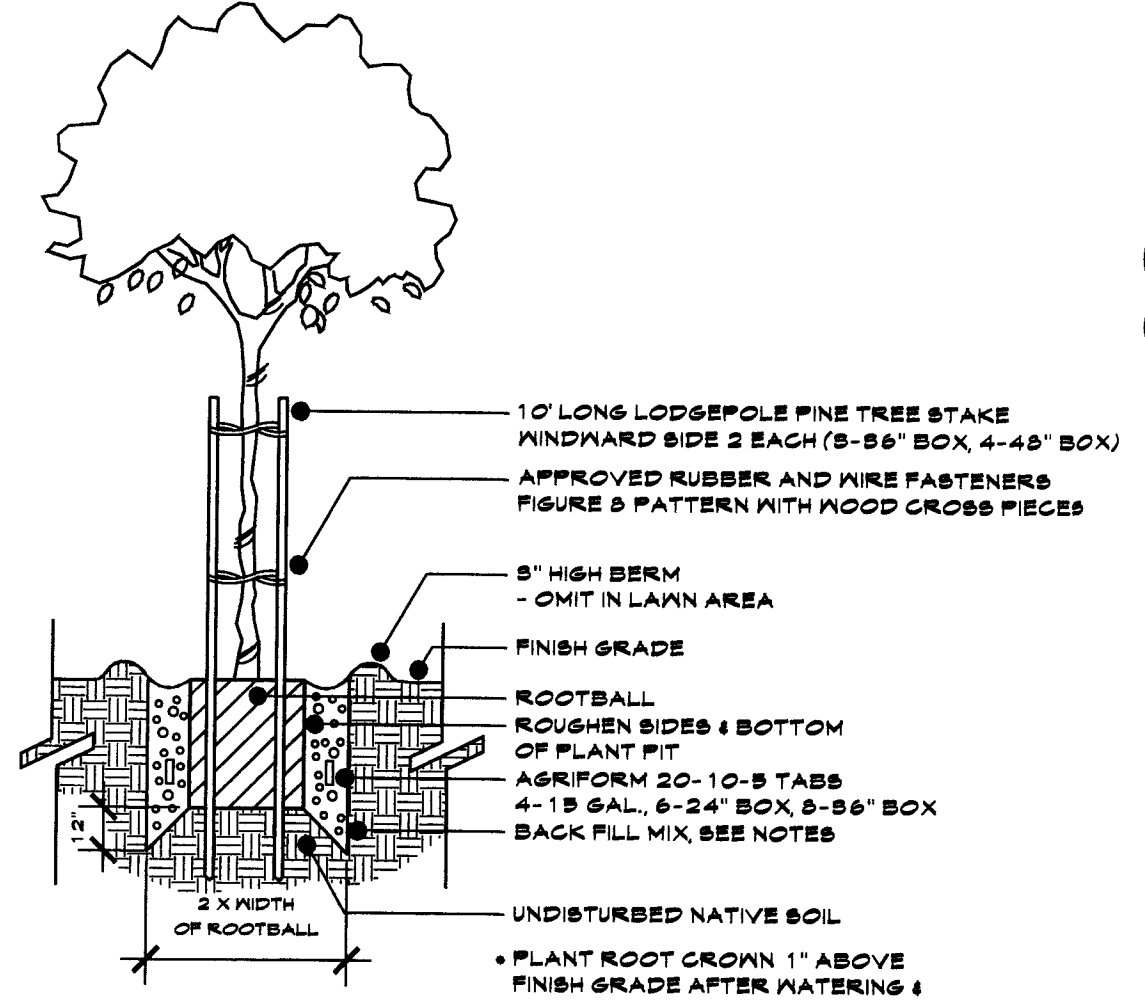
### PLANTING NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES & STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS, ARE DISCREPANCIES AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH THE PLANTING OPERATION.
- SEE DETAILS FOR STAKING METHOD, PLANT PIT DIMENSIONS AND BACKFILL REQUIREMENTS.
- ALL PLANT PITS SHALL BE FREE FROM ROCKS AND DEBRIS GREATER THAN 2" IN DIAMETER.
- PLANT MATERIAL LOCATIONS ARE DIAGRAMMATIC AND SUBJECT TO CHANGE IN THE FIELD AS DIRECTED BY THE LANDSCAPE ARCHITECT. LOCATE PLANT MATERIALS TO SCREEN UTILITIES, IRRIGATION DEVICES, ETC. AS MUCH AS POSSIBLE YET ALLOW ACCESS TO THEM.
- THE OWNER RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS AND DELETIONS IN THE PLANTING SCHEME AS NECESSARY WHILE WORK IS IN PROGRESS. SUCH CHANGES ARE TO BE ACCOMPANIED BY EQUITABLE ADJUSTMENTS IN THE CONTRACT PRICE IF WHEN NECESSARY.
- ALL PLANT MATERIAL SHALL BE APPROVED FOR QUALITY BY THE OWNER AND LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LANDSCAPE CONTRACTOR. LOCATION SHALL BE APPROVED PRIOR TO EXCAVATION.
- LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADED WITHIN 10 FOOT OF FINISHED GRADE. CONTRACTOR SHALL ACCEPT GRADE PRIOR TO COMMENCING WORK. STARTING WORK IMPLIES AN ACCEPTANCE OF GRADE. FINAL GRADES SHALL BE ADJUSTED AS DIRECTED BY OWNER. ALL GRADING SHALL BE COMPLETE PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS.
- CONTRACTOR SHALL NOTIFY OWNER SEVEN (7) DAYS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT SCHEDULES AS REQUIRED.
- AMEND THE TOP 2" OF TOP SOIL WITH A 3" LAYER NITROGEN AND IRON STABILIZED REDWOOD SOIL CONDITIONER SUCH AS GROWER'S WONDER GROW OR EQUAL IN ALL AREAS. THE PLANT BACK FILL MIX FOR ALL TREES, SHRUBS AND 1 GALLON GROUND COVER PLANTS SHALL CONSIST OF 1 PART REDWOOD SOIL CONDITIONER AND 1 PART NATIVE SOIL. PLANT BACKFILL MIX AND THE TOPSOIL AMENDMENT SHALL CONTAIN PER CUBIC YARD:  
 2.5 LBS. MIXTURE OF COMMERCIAL FERTILIZER (20-10-10 OR EQUAL)  
 1.0 LBS. UREA FORMALDEHYDE (30-0-0)  
 1.0 LBS. IRON SULFATE
- ALL WORK SHALL BE INSTALLED IN CONFORMANCE WITH LOCAL CODES AND ORDINANCES. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS. PROTECTING EXISTING TREES AS NECESSARY. FENCE AS NECESSARY. LOCATE ALL UTILITIES BEFORE PROCEEDING WITH THE WORK. COORDINATE ALL DIGGING AND TRENCHING PRIOR TO BEGINNING WORK WITH PROJECT SUPERVISOR FIRST.
- APPLY 'RONSTAR' OR 'ELANCO XL' PRE-EMERGENT HERBICIDE TO ALL PLANTED AREAS. APPLY HERBICIDE IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECS. THE LANDSCAPE SHALL BE WEED FREE AT THE TIME OF THE FINAL WALK-THROUGH.
- INSTALL 3" LAYER OF MINI FIR BARK MULCH IN ALL NEWLY PLANTED AREAS.

- ### NOTES
- EXTENT OF PROPOSED IRRIGATED LANDSCAPE IS 2,492 SQ. FT.
  - SEE SHEET LP-2 FOR SPECIFIC HYDROZONES
  - COORDINATE W/ JOB SUPERINTENDENT LOCATION AND CONNECTION OF IRRIGATION CONTROLLER TO 110VOLT POWER SUPPLY. INSTALL PER LOCAL CODES AND ORDINANCES.
  - AVOID SOIL COMPACTION IN EXISTING AND PROPOSED LANDSCAPED AREAS. ALL EQUIPMENT OR STOCKPILING SHOULD BE LOCATED AWAY FROM ALL PROPOSED TREES TO REMAIN.
  - UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT RATE OF A MINIMUM OF 4 CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6 INCHES INTO THE SOIL.
  - A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEATING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
  - AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
  - UNDERGROUND SERVICE ALERT: BEFORE EXCAVATING CALL U.S.A. UNDERGROUND SERVICE ALERT. CALL TOLL FREE: 800-227-2800, 48 HOURS BEFORE ALL PLANNED WORK OPERATIONS.

### GENERAL NOTES

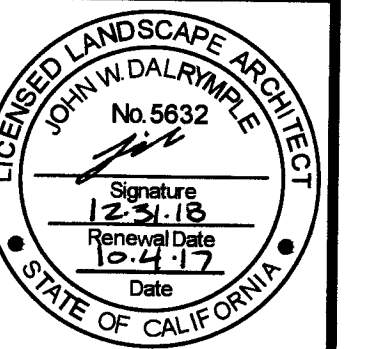
- ALL WORK SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES BY EXPERIENCED WORKMEN AND A LICENSED LANDSCAPE CONTRACTOR.
- CONTRACTOR TO FAMILIARIZE HIM/HERSELF WITH ALL ON SITE CONDITIONS PRIOR TO BIDDING PROJECT.
- THE CONTRACTOR SHALL VERIFY ALL DISTANCES AND DIMENSIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT FOR A DECISION BEFORE PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL NOT MAKE ANY FIELD CHANGES UNLESS AUTHORIZED BY THE OWNER AND LANDSCAPE ARCHITECT. ANY UNAUTHORIZED CHANGES SHALL BE CORRECTED TO CONFORM WITH THE PLANS AT NO COST TO THE OWNER.
- VERIFY THE LOCATION OF ALL UTILITIES AND PROTECT AT ALL TIMES. CONTRACTOR TO PAY FOR ANY DAMAGES TO UTILITIES. TELEPHONE U.S. ALERT TO LOCATE ANY UTILITY LOCATIONS IN DOUBT. ALLOW TWO DAYS LEAD TIME. (800) 227-2600. THE LOCATION AND PROTECTION OF ALL UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ELECTRICAL AND PLUMBING WORK.
- THE CONTRACTOR SHALL SECURE PERMITS FOR ALL WORK FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY AND ALL DAMAGE DUE TO OPERATIONS, OR NEGLIGENCE OF SUB-CONTRACTORS.
- ALL PROPERTY AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK.
- WRITTEN DIMENSIONS SHOWN ON DRAWINGS SHALL IN ALL CASES TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL DIMENSIONS ARE FROM OUTSIDE THE FACE OF PAVING, WALLS, ETC., UNLESS OTHERWISE NOTED ON PLANS.
- NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- CONTRACTOR TO PROTECT EXISTING TREES FROM DAMAGE DURING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIR AND REPLACEMENT OF ANY PLANTS DAMAGED OR DESTROYED DURING CONSTRUCTION AT CONTRACTOR'S OWN EXPENSE.
- ALL GRADING SHALL BE IN ACCORDANCE WITH LOCAL GRADING CODES AND ORDINANCES. THE CONTRACTOR SHALL OBTAIN COORDINATE AND PAY FOR ANY AND ALL ADDITIONAL PERMITS AND ALL INSPECTIONS REQUIRED.
- CONTRACTOR SHALL GRADE SITE SO THAT THE SITE HAS POSITIVE DRAINAGE.
- LANDSCAPE AREAS SHALL DRAIN AWAY FROM ALL BUILDINGS AND FACILITIES AT 5% MIN OR AS SHOWN ON PLANS.
- LANDSCAPE MOUNDS AND FILL AREAS SHALL BE SPREAD IN LOOSE LIFTS OF 6" OR LESS AND COMPACTED BY WATER SATURATION TO A DEGREE OF 95% OR GREATER.
- EXPORTED SOIL AND DEBRIS SHALL GO TO A LEGAL DUMP SITE.
- ALL LANDSCAPE AREAS SHALL BE SMOOTH IN CHARACTER AND SHALL HAVE NATURAL TRANSITIONS BETWEEN CONTOURS AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ALL MATTER OF DEBRIS SHALL BE REMOVED BY THE CONTRACTOR FROM THE SURFACE UPON WHICH FILL IS TO BE PLACED.
- THE CONTRACTOR SHALL STAKE THE LAYOUT FOR THE WALKWAYS, WALLS, FENCES, PRIOR TO CONSTRUCTION FOR LANDSCAPE ARCHITECT AND OWNERS REVIEW.
- THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES, COLORS AND PAWING MATERIALS TO THE LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL BEFORE PROCEEDING WITH THE WORK.
- ALL CONCRETE FLATWORK LAYOUT SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.
- ALL WALLS AND WALKS SHALL HAVE A SMOOTH, CONTINUOUS CURVES AS INDICATED ON PLANS. JOIN ALL EXISTING PAVING FLUSH.
- THE CONTRACTOR SHALL PROVIDE SLEEVES UNDER WALKWAYS, WALLS, FENCES PRIOR TO CONSTRUCTION FOR LANDSCAPE ARCHITECT AND OWNERS REVIEW.
- ALL PLANTING AREAS SHALL RECEIVE A 3" MINIMUM LAYER OF MINI FIR BARK OR ARBOR MULCH.
- SITE INFORMATION WAS TAKEN FROM DRAWINGS PREPARED BY SIGMA PRIME GEOSCIENCES INC. 322 PRINCETON AVENUE HALF MOON BAY, CA (800) 723-3500 DECEMBER 2016. BRING ANY DISCREPANCIES TO CONTRACTOR FOR A DECISION.



**JOHN DALRYMPLE**  
 LANDSCAPE ARCHITECTURE  
 650.549.8707  
 info@johndalrymple.com  
 501 Sepulchre Court, Suite 103  
 Redwood City, CA 94063  
 www.johndalrymple.com

**BRASHER PROPERTY**  
 'MEADOW HOUSE'  
 BAY VIEW ROAD  
 MONTARA, CA 94037  
 APN 036-243-110

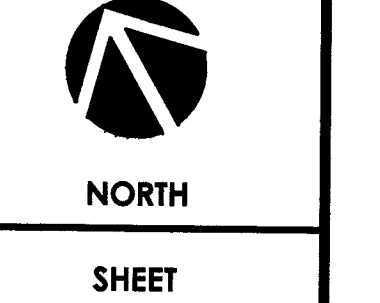
**LANDSCAPE DESIGN**  
 & **PLANTING PLAN**



**DATE**  
 9-12-17

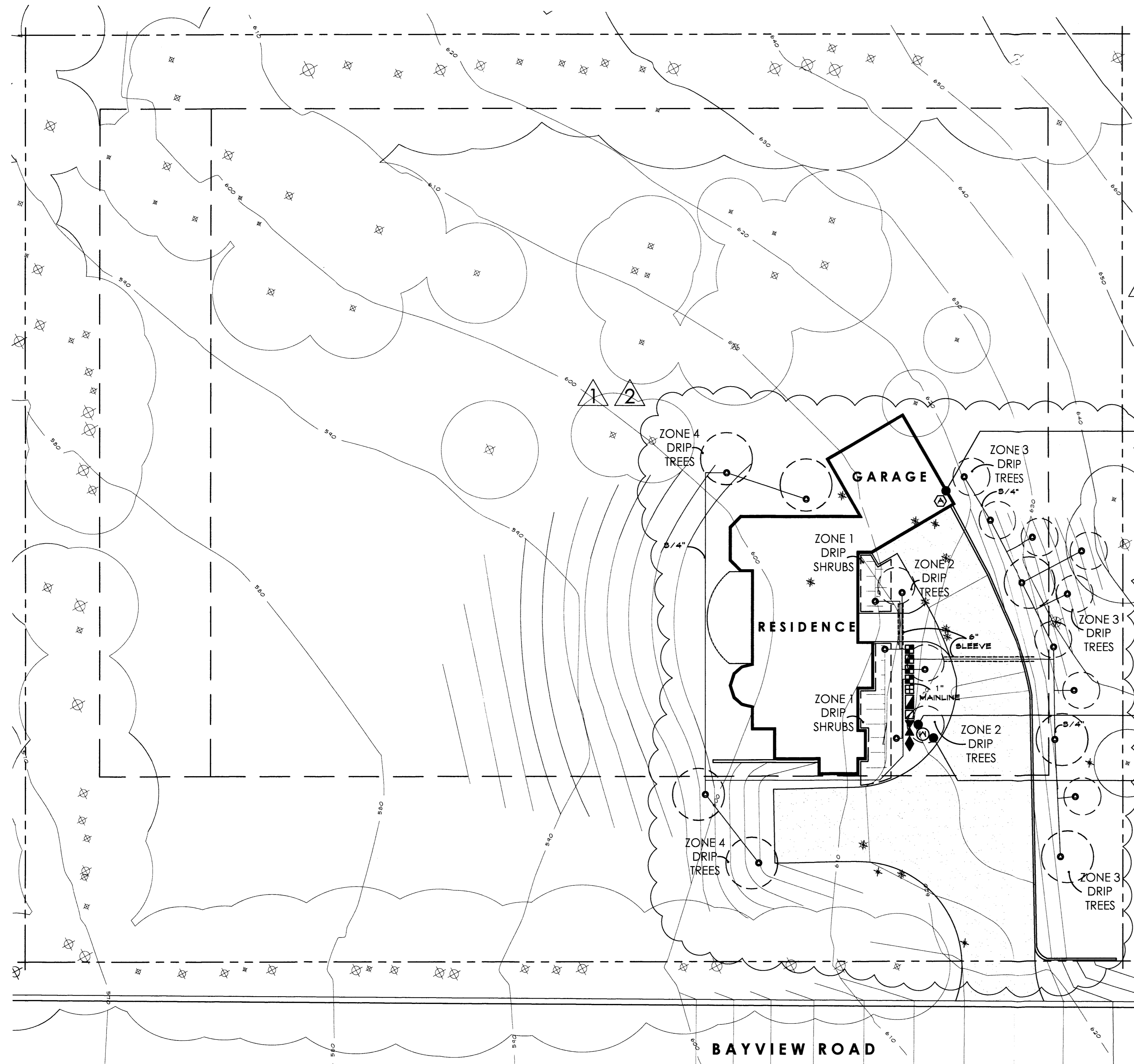
**REVISIONS**  
 9-22-17 PLAN CHECK COMMENTS  
 10-4-17 PLAN CHECK COMMENTS

**SCALE**  
 1/16" = 1'-0"



**LP-1**

PLAN 2017  
 10-4-17



**IRRIGATION LEGEND**

- ◆ IRRIGATION POINT OF CONNECTION
- ◻ DEDICATED IRRIGATION WATER METER 'NETAFIM 1" WATER METER, CAST IRON BODY W/ REED SWITCH MONITOR OR 'EQ' MODEL M-251-ER AVAILABLE: WWW.NETAFIMUSA.COM
- ⊙ WELL LOCATION
- ⊙ 6 STATION 'HUNTER' PCC CONTROLLER W/ PLASTIC CABINET, & SOLAR SYNC WITH RAIN SENSOR TO BE INCLUDED OR EQ.
- ▭ REDUCED PRESSURE BACKFLOW PREVENTER, FEBCO 825Y 1"
- ▭ WILKENS PRESSURE REDUCER ASSEMBLY, IF REQUIRED IF PRESSURE EXCEEDS 70 P.S.I., SET TO 70 P.S.I.; LINE SIZE, LOCATED IN LABELED PLASTIC BOX
- ▭ NIBCO BALL VALVE; LINE SIZE, LOCATED IN LABELED PLASTIC BOX
- ▭ 1" HUNTER PCZ-101 SERIES DRIVE REMOTE CONTROL VALVE ASSEMBLY W/ HY100 FILTER SYSTEM & PRESET 40 PSI PRESSURE REGULATOR
- PVC PIPE TO 1/2" DRIP TUBING POINT OF CONNECTION
- SCH. 40 PVC IRRIGATION MAINLINE LINE, SIZE PER PLAN
- SCH. 40 PVC IRRIGATION LATERAL LINE, SIZE PER PLAN
- SCH. 40 PVC SLEEVE, SIZE PER PLAN
- IRRIGATION ZONES
- PLANTING AREAS TO BE DRIP IRRIGATION W/ NETAFIM INLINE DRIP LINES OR SALCO 1/2" AR DRIP TUBING MAINLINES & 1/2" TUBING TO PLANTS 1.0 GPH DRIP EMMITTERS FOR G.C. / SHRUB AREAS AS FOLLOWS  
 1 GAL. - 1 EA. AT 6" FROM TRUNK / STEM  
 5 GAL. - 4 EA. AT 12" FROM TRUNK  
 24" BOX - 6 EA. AT 16" FROM TRUNK
- GALLONS PER MINUTE
- VALVE / STATION NUMBER
- VALVE SIZE
- IRRIGATION TYPE
- ⊙ IRRIGATION CONTROLLER  
 W/ RAIN SENSOR SHUT OFF SEE LEGEND FOR SPEC.  
 CONNECT TO EXTERIOR GFC PLUG (PLUS BY OTHERS)  
 COORDINATE LOCATION OF PLUG W/ PROJECT SUPERINTENDENT

- NOTES**
- EXTENT OF PROPOSED IRRIGATED LANDSCAPE IS 2,492 SQ. FT.
  - IRRIGATION SHALL BE SCHEDULED BETWEEN 8:00 PM AND 10:00 AM UNLESS FAVORABLE WEATHER PREVENTS IT OR OTHERWISE RENDERS IRRIGATION UNNECESSARY.
  - COORDINATE W/ JOB SUPERINTENDENT LOCATION AND CONNECTION OF IRRIGATION CONTROLLER TO 110VOLT POWER SUPPLY. INSTALL PER LOCAL CODES AND ORDINANCES.
  - AVOID SOIL COMPACTION IN EXISTING AND PROPOSED LANDSCAPED AREAS. ALL EQUIPMENT OR STOCKPILING SHOULD BE LOCATED AWAY FROM ALL PROPOSED TREES TO REMAIN.
  - UNDERGROUND SERVICE ALERT: BEFORE EXCAVATING CALL U.S.A. UNDERGROUND SERVICE ALERT: CALL TOLL FREE: 800-227-2800, 48 HOURS BEFORE ALL PLANNED WORK OPERATIONS.

- PROPOSED BALL VALVE, DEDICATED IRRIGATION WATER METER, BACKFLOW PREVENTION DEVICE, & PRESSURE REDUCER (IF REQUIRED) INSTALL PER ALL LOCAL CODES & ORDINANCES
- WELL LOCATION & IRRIGATION POINT OF CONNECTION VERIFY FINAL LOCATION IN FIELD

**WATER EFFICIENT LANDSCAPE CALCULATIONS**

HYDROZONE / PLANT USE WATER TYPE / IRRIGATION METHOD	ZONES / VALVES	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	HYDROZONE AREA % OF IRRIGATED LANDSCAPE AREA	ETAF X AREA	ESTIMATED TOTAL WATER USE (ETWU)
H-1 LOW WATER USE PLANTS DRIP	1	0.3	DRIP	0.81	0.37	400 SF 16%	148	3,092
H-2 LOW WATER USE TREES DRIP	2, 3, 4	0.3	DRIP	0.81	0.37	2,092 SF 84%	774	16,172
<b>TOTAL:</b>						<b>2,492 SF</b>	<b>922</b>	<b>19,264</b>

ESTIMATED ANNUAL GALLONS REQUIRED: 33.7 X 0.82 (ETAF X AREA) =

ESTIMATED ANNUAL GALLONS ALLOWED: 33.7 X 0.82 X (0.55 X LA) + (1-ETAF X SLA) =

ETWU TOTAL: 19,264 GAL / YEAR (DESIGN CASE)

MAWA TOTAL: 28,637 GAL / YEAR (BASELINE CASE)

**WATER EFFICIENT LANDSCAPE CALCULATIONS**

ETAF X AREA = 922

ALL LANDSCAPE AREAS

TOTAL AREA	2,492
AVERAGE ETAF	37

ETAF CALCULATIONS - ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS

TOTAL ETAF X AREA	922
TOTAL AREA	2,492
SIDEWALK ETAF	37

**IRRIGATION EFFICIENCY STATEMENT**

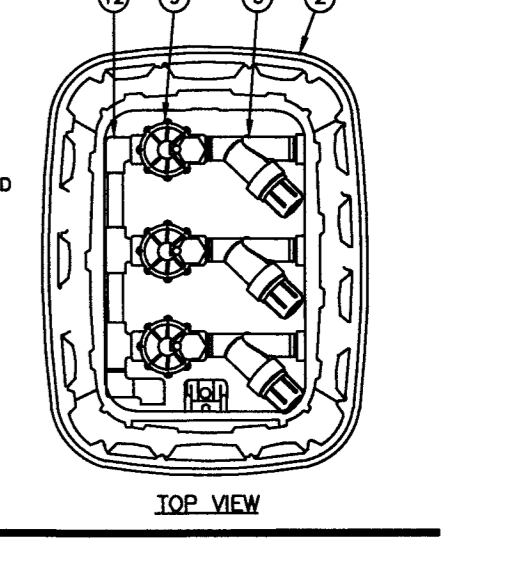
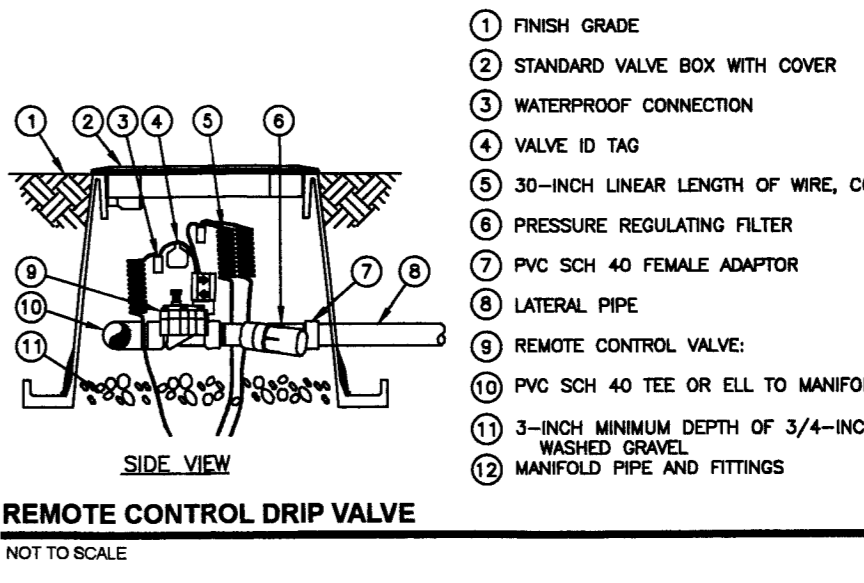
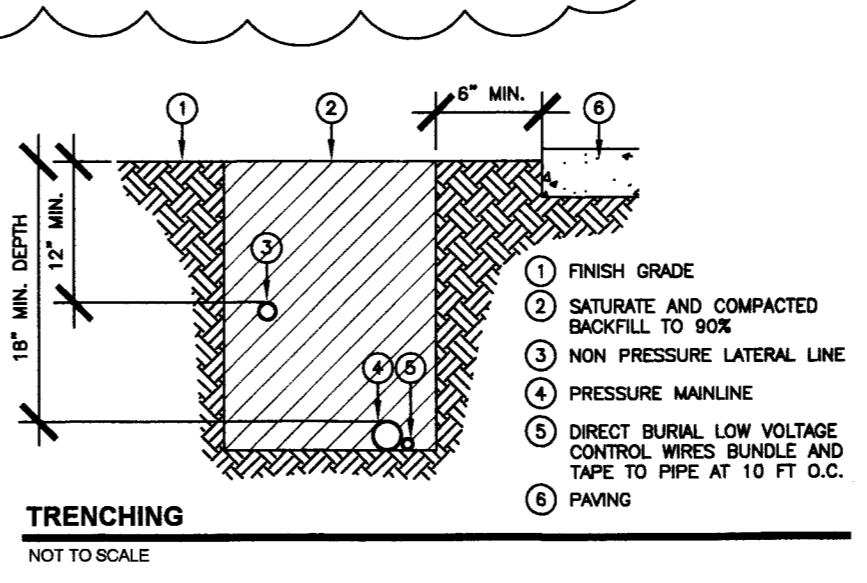
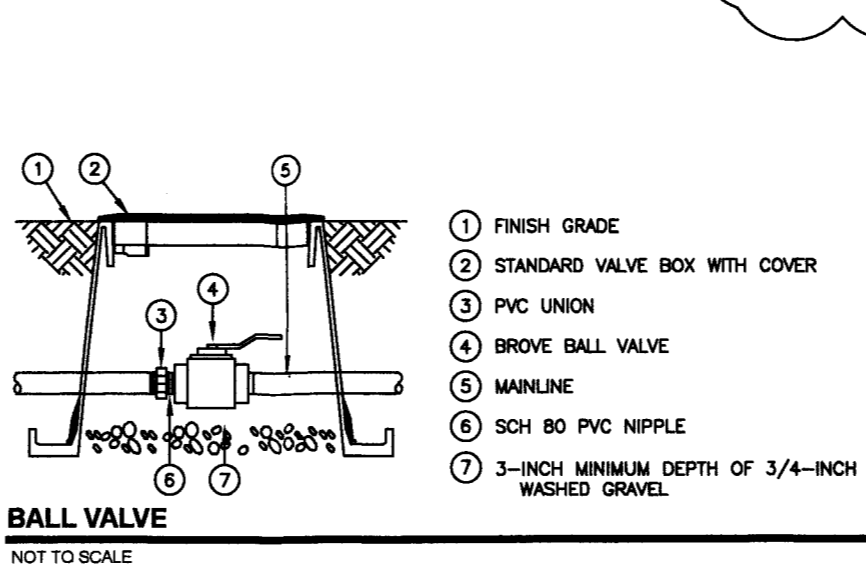
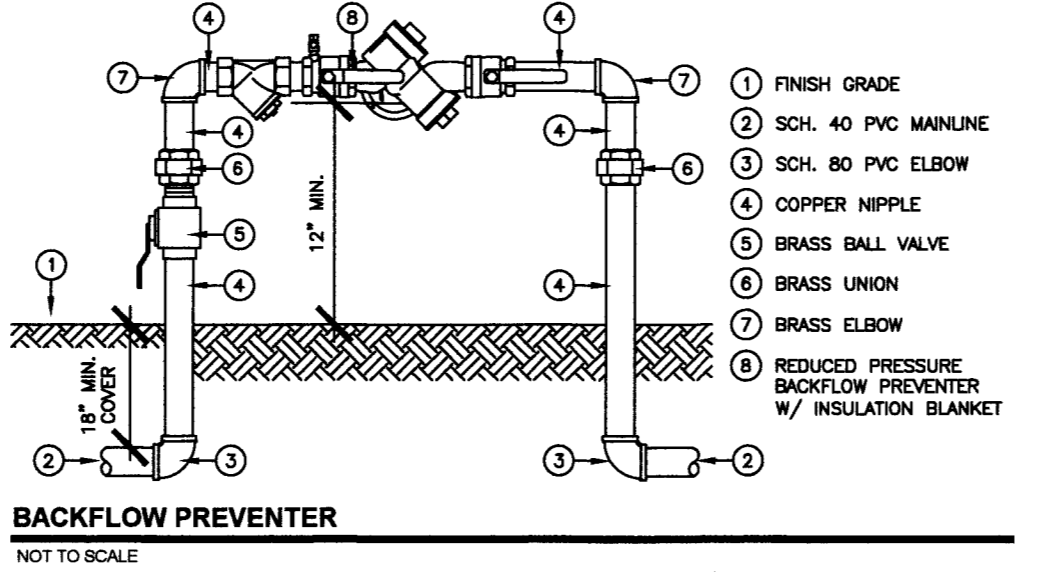
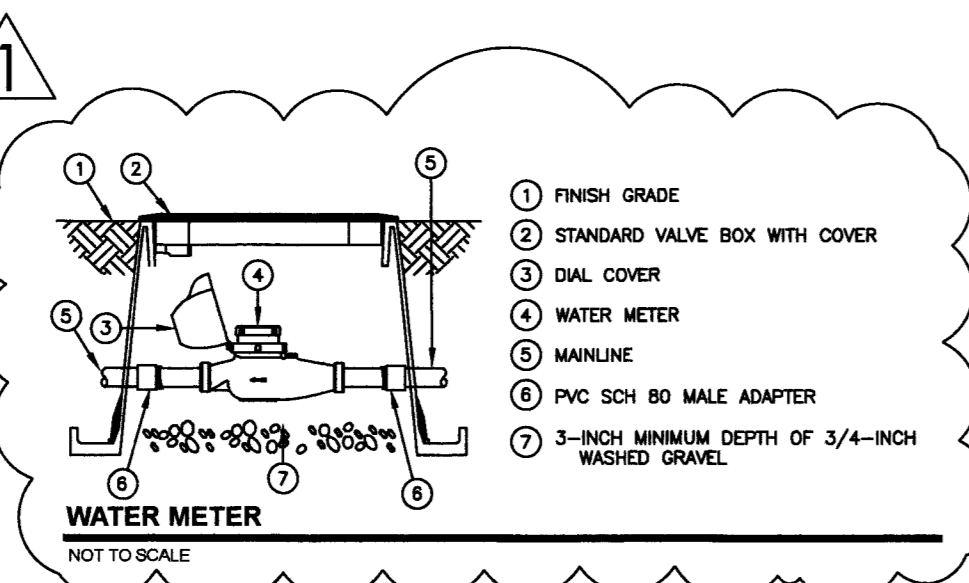
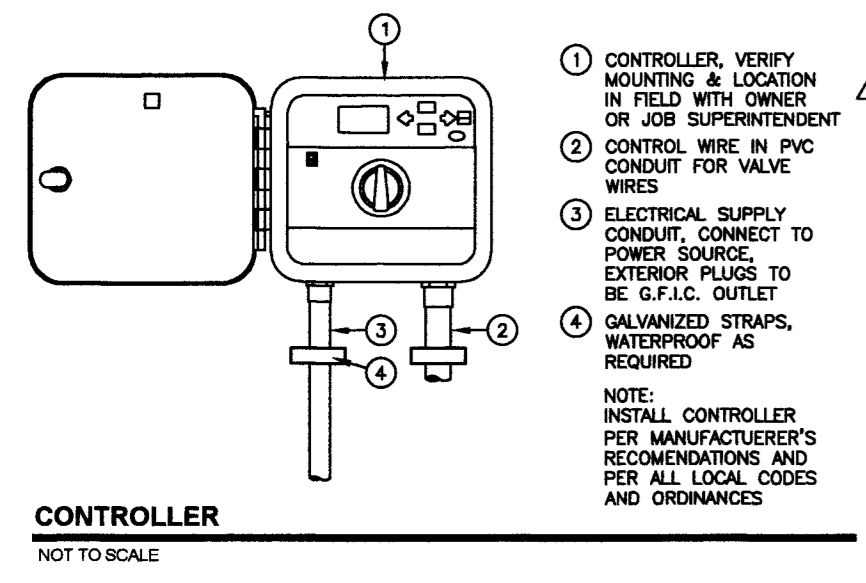
I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

DATE: 10-1-17

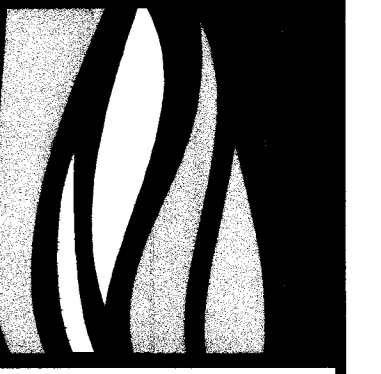
JOHN DALRYMPLE LANDSCAPE ARCHITECTURE - RLA 5632

**IRRIGATION NOTES**

1. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES ETC. SHOWN WITHIN THE PAVED AREAS OR BUILDINGS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID CONFLICTS WITH PLANTING, PIPINGS, UTILITIES AND ARCHITECTURE WHERE POSSIBLE.
2. DO NOT WILLFULLY INSTALL THE SYSTEMS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, GPM AVAILABILITY, OR PRESSURES EXIST THAT MAY NOT HAVE BEEN INCLUDED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT FOR A DECISION. IN THE EVENT THAT NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITIES FOR ANY REVISIONS NECESSARY.
3. 120 VOLT ELECTRICAL POWER OUTLET AT THE IRRIGATION CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. THE IRRIGATION CONTRACTOR SHALL MAKE FINAL HOOK-UP FROM REMOTE CONTROL VALVES TO CONTROLLER.
4. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, UTILITIES, PIPING, BUILDINGS, ETC. THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH THEIR WORK WITH THE GENERAL CONTRACTOR FOR THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, STRUCTURES, ETC. THE IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED LANDSCAPE CONTRACTOR AND EXPERIENCED WORKMEN. CONTRACTOR TO OBTAIN AND PAY FOR ALL IRRIGATION PERMITS AND REQUIREMENTS.
5. CONTRACTOR TO CONFIRM THE LOCATION OF EXISTING UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO EXCAVATION OF TRENCHES. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY OR DURING THE PERFORMANCE OF HIS WORK AT NO ADDITIONAL COST TO THE OWNER.
6. SYSTEM IS BASED UPON A STATIC MAINLINE PRESSURE OF 70 PSI. A PRESSURE REDUCER MAY (MAY NOT) BE REQUIRED SO THAT THE STATIC MAINLINE PRESSURE AS MEASURED AT THE POINT OF CONNECTION (AFTER THE BACK FLOW DEVICE) IS 70 PSI. AFTER CALCULATING PRESSURE LOSSES, THE SYSTEM IS DESIGNED TO OPERATE AT APPROXIMATELY 35-40 PSI WORKING PRESSURE AT THE HEADS. THROUGH ANY ONE VALVE. THE SYSTEM IS DESIGNED TO OPERATE AT A MAXIMUM OF 13 GPM.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SLEEVING REQUIRED FOR ELECTRICAL AND IRRIGATION. CONTRACTOR TO COORDINATE AND LOCATE ANY ELECTRICAL AND IRRIGATION SLEEVES PRIOR TO CONCRETE POUR. LANDSCAPE ARCHITECT TO REVIEW LAYOUT PRIOR TO CONCRETE POUR. SLEEVES TO BE SCH. 40 PVC PIPE. SET 2" SAND BED CONTINUOUS AROUND ENTIRE SLEEVE, WITH MARKING TAPE AT EACH END. EXTEND PAST PAVING 6".
8. TRENCHES ARE TO BE OF SUFFICIENT DEPTH TO PROVIDE 18" OF COVER OVER MAINLINE AND LATERAL LINES PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. MAINLINE TO BE VISUALLY INSPECTED FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING. MAINLINES UNDER STREETS AND DRIVE WAY TO BE 24" MINIMUM DEPTH.
9. FLUSH MAINLINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. MAINLINE TO BE VISUALLY INSPECTED FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING.
10. IRRIGATION CONTROL WIRE SHALL BE #14 UL APPROVED FOR DIRECT BURIAL. COMMON WIRE SHALL BE #14 UL APPROVED FOR DIRECT BURIAL. WHITE ON COLOR. WIRES TO BE MULTI-STRAND #18-9 REMOTE CONTROL VALVES SHALL BE A COLOR OTHER THAN WHITE. ALL SPLICES SHALL BE MADE WITHIN REMOTE CONTROL VALVE BOXES. LEAVE 24" EXCESS WIRE COIL AT REMOTE CONTROL LOCATIONS.
11. REMOTE CONTROL VALVE BOXES SHALL BE INSTALLED FLUSH WITH FINISH GRADE (NOT NECESSARILY PLUMB). ALIGN VALVE BOXES WITH ADJACENT PAVEMENT EDGES OR STRUCTURES. VALVE BOXES SHALL BE PLASTIC WITH BOLT DOWN LIDS AND WHITE NUMBERED VALVE STATIONS IN STENCILS.
12. ALL EXCAVATIONS SHALL BE BACKFILLED TO 90% COMPACTION MIN. CONTRACTOR TO REPAIR SETTLED TRENCHES ONE YEAR AFTER COMPLETION OF WORK.
13. CONTRACTOR TO MAKE MINOR ADJUSTMENTS IN HEAD LOCATIONS AND ADJUST HEADS FOR RADIUS (ARC IF APPLICABLE) TO OPTIMUM COVERAGE AND ELIMINATE SPRAYING INTO PAVEMENT, BUILDINGS AND WALLS. ADD HEADS AS NECESSARY FOR HEAD TO HEAD COVERAGE. INSTALL FLAT HEADS NEAR BUILDINGS.
14. CONTRACTOR TO MAINTAIN A SET OF 'AS-BUILT' DRAWINGS THROUGHOUT THE COURSE OF CONSTRUCTION AND DELIVER THESE DRAWINGS TO THE OWNER UPON THE COMPLETION OF WORK. THE DRAWINGS SHALL BE IN REPRODUCIBLE FORM.
15. CONTRACTOR SHALL GUARANTEE THE SYSTEM AND MATERIALS TO BE FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR STARTING WITH THE ACCEPTANCE AT THE FINAL SITE REVIEW.
16. ALL HEADS WHICH MAY EXPERIENCE LOW HEAD DRAINAGE SHOULD HAVE IN-LINE OR IN-HEAD CHECK VALVES INSTALLED.
17. THE IRRIGATION CONTRACTOR SHOULD ARRANGE WITH THE LANDSCAPE ARCHITECT AND OWNER FOR A SITE REVIEW OF THE SYSTEM. CALL WITHIN TWO DAYS PRIOR TO NOTICE TO ARRANGE REVIEW DATES. REVIEW WILL BE SCHEDULED TO REVIEW.
  1. PRESSURE TEST TO MAINLINE PRIOR TO BACKFILLING TRENCHES.
  2. COVERAGE TEST OF SPRINKLER SYSTEM PRIOR TO PLANTING.
  3. FINAL WALK THROUGH OF ALL ASPECTS OF IRRIGATION SYSTEM.
18. WATER JET ALL TRENCHES, TYPICAL.

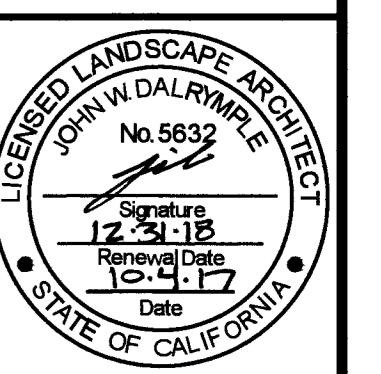


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**BRASHER PROPERTY**  
**'MEADOW HOUSE'**  
BAY VIEW ROAD  
MONTARA, CA 94037  
APN 036-243-110

**IRRIGATION DESIGN PLAN**



**DATE**  
9-12-17

**REVISIONS**  
9-22-17  
PLAN CHECK COMMENTS

10-4-17  
PLAN CHECK COMMENTS

**SCALE**  
1/16" = 1'-0"

**NORTH**

**SHEET**  
LP-2