

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:2,256 

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Planning Permit Application Form

PLN: 2018-0004

BLD:

Applicant's Personal Information

Applicant: STUART GRUNOW
 Mailing Address: 413 MAIN ST. STE G
HALF MOON BAY CA Zip: 94019
 Phone, W: 415 595 0306 H:
 E-mail Address: 52grunow@gmail.com FAX:

Name of Owner (1): Emily Berk
 Mailing Address: 630 Vue De Mar
Moss Beach CA Zip: 94038
 Phone, W: 650 728 0376
 H:

Name of Owner (2): Joe Devlin
 Mailing Address: 630 Vue De Mar
Moss Beach CA Zip: 94038
 Phone, W:
 H:

E-mail Address: emily@armadillosoft.com

Project Information

Project Location (address):
630 Vue De Mar
Moss Beach CA 94038
 Zoning: S17

Assessor's Parcel Numbers: 037-154-150

 Parcel/lot size: 7526 SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

2 story 706 SF addition at the front of the existing structure that includes garage addition, entry porch and upstairs bedroom expansion

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

half flat site and half sloped site with flat in the house area to the street and a 10 ft grade change from the rear of the house to rear property line. hedges in the front yard. trees in the rear shown on survey have been removed under separate permit

Describe Existing Structures and/or Development:

2709 SF house on single family lot with exterior deck on the first and second floor at the rear of the house

Witness/Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: [Signature]
 Owner's signature: [Signature]
 Applicant's signature: [Signature]

Planning and Building Department

Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650.363.4161 ■ FAX 650.363.4849

Permit #: PLN _____

Other Permit #: _____

Applicant Information

Applicant:

Name: Stuart Grunow

Address: 413 Main St STE G

Half Moon Bay CA Zip: 94019

Phone, W: 415 595 0306 H: _____

Email: S2grunow@gmail.com

Owner (if different from Applicant):

Name: Emily Berk

Address: 630 Vue de Mar

Moss Beach CA Zip: 94038

Phone, W: 650 728 0376 H: _____

Email: emily@armadillosoft.com

Architect or Designer (if different from Applicant):

Name: _____

Address: _____ Zip: _____

Phone, W: _____ H: _____ Email: _____

Project Site Information

Project location:

APN: 037-154-150

Address: 630 Vue de Mar

Moss Beach CA Zip: 94038

Zoning: _____

Parcel/lot size: _____ sq. ft.

Site Description:

- Vacant Parcel
Existing Development (Please describe):

Single family house on existing lot

Project Description

Project:

- New Single Family Residence: _____ sq. ft
Addition to Residence: 706 sq. ft
Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
Coastal Development Permit
Fence Height Exception (not permitted on coast)
Grading Permit or Exemption
Home Improvement Exception
Non-Conforming Use Permit
Off-Street Parking Exception
Variance

Describe Project:

addition to garage on the first floor and bedrooms on the second floor

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	<u>board formed stucco</u>	<u>grey</u>	<input type="checkbox"/>
b. Trim	<u>hardie</u>	<u>dark grey</u>	<input type="checkbox"/>
c. Windows	<u>aluminum</u>	<u>black</u>	<input type="checkbox"/>
d. Doors	<u>wood</u>	<u>stain</u>	<input type="checkbox"/>
e. Roof	<u>Membrane</u>	<u>grey</u>	<input type="checkbox"/>
f. Chimneys	<u>N/A</u>		<input type="checkbox"/>
g. Decks & railings	<u>N/A</u>		<input type="checkbox"/>
h. Stairs	<u>N/A</u>		<input type="checkbox"/>
i. Retaining walls	<u>N/A</u>		<input type="checkbox"/>
j. Fences	<u>N/A</u>		<input type="checkbox"/>
k. Accessory buildings	<u>N/A</u>		<input type="checkbox"/>
l. Garage/Carport	<u>wood</u>	<u>stain</u>	<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.





Owner:

Applicant:

10/20/2017

1/4/18

Date:

Date:

Certificate of Exemption or Exclusion from a Coastal Development Permit

Permit #: PLN _____
Permit #: BLD _____

Permanent Record
Microfilming Required

1. Basic Information

Owner
Name: Emily Berk
Address: 630 Vue de Mar
Moss Beach CA 94038
Zip: _____
Phone, W: 650 728 0316 H: _____
Email Address: emily@armadillosoft.com

Applicant
Name: Stuart Grunow
Address: 413 Main St. Ste G
Half Moon Bay CA
Zip: 94019
Phone, W: 415 5950306 H: _____
Email Address: s2grunow@gmail.com

2. Project Information

Project Description:
706 SF addition at front
of existing house

Assessor's Parcel Number(s):
037 - 154 - 150

Existing water source:
 Utility connection _____
 Well _____
Proposed water source:
 Utility connection No additional connections
 Well _____
Staking of well location and property lines are required.
 Provide site plan depicting location and all trees.
 Will this require any grading or vegetation/tree removal? Yes No

If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

[Signature] 10/20/2017 [Signature] 1/4/18
Owner Date Applicant Date

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

Staff Use Only

Basis of Exemption/Exclusion

Use attached review sheet to determine basis of exemption and whether project qualifies. Review basis of exemption with applicant/owner and initial appropriate category below:

Initial

- A. Improvements to Existing Single Family Residence. [PRC 30610(a), CCAG 13250, ZR 6328.5(a)]
- B. Improvements to Existing Structure Other Than Single Family Residence or Public Works Facility. [PRC 30610(b), CCAG 13253, ZR 6328.5(b)]
- C. Existing Navigation Channel. [PRC 30610(c), ZR 6328.5(c)]
- D. Repair or Maintenance Activity. [PRC 30610(d), CCAG 13252, ZR 6328.5(d)]
- E. Single Family Residence Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, AB 643, ZR 6328.5(e)]

- F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)]
- G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]
- H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]
- I. Emergency Activities. [PRC 30611, ZR 6328.5(h)]
- J. Lot Line Adjustment. [ZR 6328.5(i)]
- K. Land Division for Public Recreation Purposes. [ZR 6328.5(j)]

Well Inspection - All Coastal Zone Areas

- Required Not Required

Inspection made by: _____

Date of Inspection: _____

Yes

No

- | | |
|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> Removal of trees? |
| <input type="checkbox"/> | <input type="checkbox"/> If Yes, is tree removal permit included? |
| <input type="checkbox"/> | <input type="checkbox"/> Trimming of trees? |
| <input type="checkbox"/> | <input type="checkbox"/> Excessive removal of vegetation? |
| <input type="checkbox"/> | <input type="checkbox"/> Excessive grading? (If Yes, CDP is required) |
| <input type="checkbox"/> | <input type="checkbox"/> Erosion control plan required? |

Approval of Permit is subject to the following: (check if applicable)

- Submittal and Approval of a Tree Removal Permit
- Submittal and Approval of a Grading Permit
- Submittal and Approval of an Erosion Control Plan
- Submittal and Approval of a Coastal Dev. Permit

Approved

I have reviewed the above-described project and have determined that it meets all criteria for the exemption/exclusion checked above.

Exemption/Exclusion is approved.

Planning Department

Date

Project is subject to the following condition(s) of approval:

Processing

- Fee collected
- Original Certificate of Exemption to Building Inspection file.
- Copies of Certificate of Exemption to:
 1. Applicant/Owner.
 2. Planning Department Exemption Binder.

- 3. Any relevant Planning or Building Inspection files.
- 4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105
- Update Permit*Plan Case Screen and Activities

Environmental Information Disclosure Form

PLN _____

BLD _____

Project Address: 630 Vue de Mar
Moss Beach CA
94038

Name of Owner: Emily Berk
 Address: 630 Vue de Mar 94038
 Phone: _____

Assessor's Parcel No.: 037-154-150

Name of Applicant: STUART GRUNOW

Address: 413 MAIN ST STE G

Zoning District: 917

HALF MOON BAY Phone: 415 595 0306
CA 94019

Existing Site Conditions

Parcel size: 7526 SF

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

Single family house on lot with ~~5~~ flat grade at street and moderate steep in rear

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
	<input checked="" type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : _____ c.y. Fill: _____ c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review		
Yes	No	Will the project involve:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		
706 SF addition to an existing 2 story house		

3. National Pollutant Discharge Elimination System (NPDES) Review		
Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface? If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Land disturbance of 1 acre or more of area? If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

DECLARATION

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: 
(Applicant may sign)

Date: 1/4/18

Building codes

ALL CONSTRUCTION SHALL CONFORM TO:
 2016 CALIFORNIA BUILDING CODE CBC
 2016 CALIFORNIA RESIDENTIAL CODE CRC
 2016 CALIFORNIA PLUMBING CODE CPC
 2016 CALIFORNIA MECHANICAL CODE CMC
 2016 CALIFORNIA ELECTRICAL CODE CEC
 2016 CALIFORNIA REFERENCED STANDARDS CODE
 2016 CALIFORNIA ENERGY CODE
 2016 CGBC - CALIFORNIA GREEN BUILDINGS CODE STANDARDS CODES
 COUNTY OF SAN MATEO BUILDING REGULATIONS

CLEANOUTS IN BUILDING SEWERS SHALL BE PROVIDED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE CITY/COUNTY. ALL THE CLEANOUTS SHALL BE MAINTAINED WATERTIGHT.

Contacts

Architect
 Stuart Grunow Architecture
 413 Main Street Ste: G
 Half Moon Bay, California 94019
 (415) 595-0306

Vicinity Map



Sheet Index

- A0.0 Cover
- A0.1 Notes
- SU-1 Survey
- BMP Construction Best Management Practices
- A1.1 Site Existing Condition & Demolition
- A1.2 Proposed Site Plan
- A2.1 Existing Ground Floor & Demolition
- A2.2 Existing First Floor & Demolition
- A2.3 Ground Floor Plan
- A2.4 Second Floor Plan
- A4.1 Existing Elevations
- A4.2 Existing Elevations
- A4.3 Elevations
- A4.4 Elevations
- A5.1 Cross Section

Description

465 s.f. addition to an existing two-story house on 7,157 s.f. parcel located 630 Vue de Mar Avenue in Moss Beach, California.



Stuart Grunow Architecture
 413 Main Street Ste: G
 Half Moon Bay, California 94019
 tel: (415) 595-0306
 www.s2garch.com



Berk Residence

Emily Berk & Joe Devlin
 630 Vue de Mar
 Moss Beach, CA 94038
 APN: 037-154-150



Perspective - Rear from Northwest

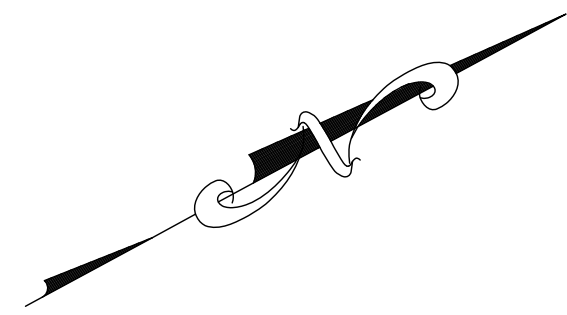
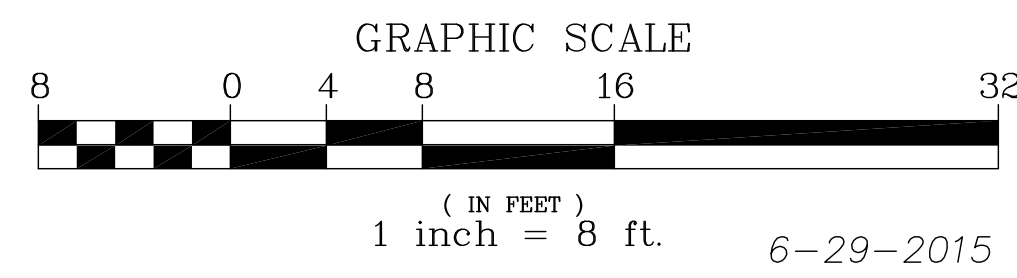


Perspective - Rear from Northeast

23 March 2018
 Planning Submittal

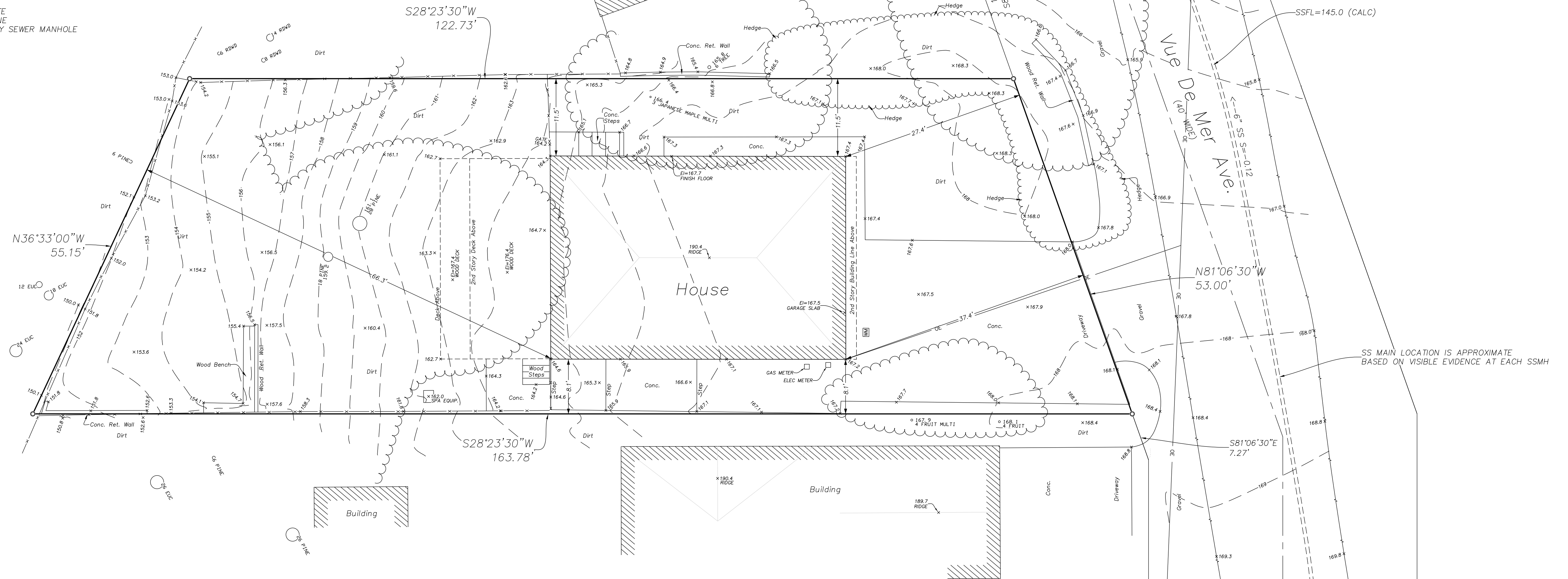
Cover

A0.0



ABBREVIATIONS

AC ASPHALT
 CONC. CONCRETE
 FL FLOW LINE
 SSMH SANITARY SEWER MANHOLE

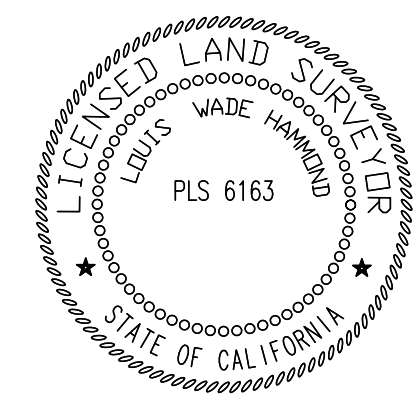


NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 BOUNDARY CONTROL: SEE CONCURRENT CORNER RECORD
 UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.
 BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES.
 DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. (STUCCO/SIDING)
 FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
 BENCHMARK: ASSUMED DATUM, APPROXIMATE NAVD88 (GOOGLE EARTH)
 TITLE REPORT: NORTH AMERICAN 55910-52010075-CAI 2-12-2002
 CONTOURS SHOWN UNDER BUILDINGS ARE FOR SLOPE CALCULATIONS ONLY
 THE PARCELS BOUNDARY HAS BEEN ESTABLISHED UTILIZING A FIELD-BASED BOUNDARY SURVEY
 TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS

LEGEND

- SET 3/4" IP "PLS 6163" (OR SET POINT AS NOTED)
- FOUND POINT AS NOTED
- () RECORD DATA
- WM WATER METER WATER VALVE BOX
- ⊕ FIRE HYDRANT
- 16 PINE TREE - TRUNK DIAMETER IN INCHES
 TREE SPECIES IDENTIFICATION: BEST EFFORT,
 WE ARE NOT ARBORISTS OR DENDROLOGISTS
- EDGE OF AC PAVING
- FENCE
- OVERHEAD WIRES
- OP POWER POLE
- + 12.34 SPOT ELEVATION
- TRUNK TREE DRIP LINE POINTS TOWARDS TREE TRUNKS.
 TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN.
 POLE ANCHOR



L. Wade Hammond

SURVEY
 630 VUE DE MER AVE.
 MOSS BEACH
 APN: 037-154-150
 LOTS 4&5, BLOCK 7, 5 MAPS 39
 LOT AREA: 7,157 SQ. FT

L. Wade Hammond
 Licensed Land Surveyor
 No. 6163
 36660 Newark Blvd. Suite C
 Newark, California 94560
 Tel: (510) 579-6112 Fax: (510) 991-8054
 wade@wadehammondpls.com



SAN MATEO COUNTYWIDE

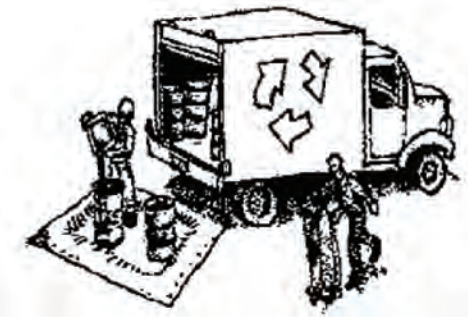
Water Pollution Prevention Program

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



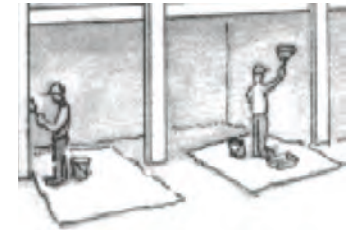
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

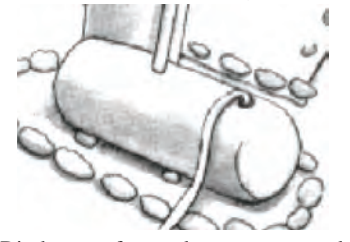
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



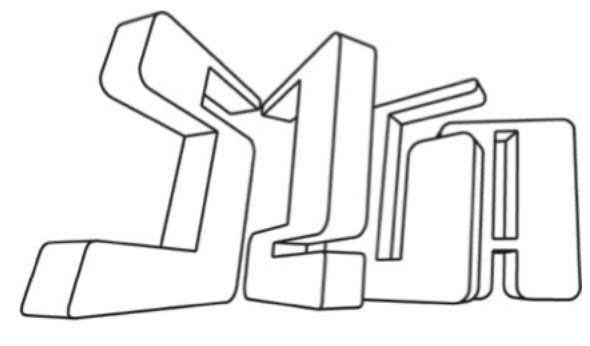
Site Zoning and Planning Data

Zoning	R1 (S-17)
APN	037-154-150
Existing Lot Area	7,157 s.f.
Occupancy	Residential
Building Code	CBC 2016
Stories	2 stories
Construction Type	VB
Lot Coverage	>16', 35% allowed
Floor Area	53% allowed
Front Setback	20' min.
Rear Setback	20' min.
Side Setback	15' min. total

Site Notes

The site is a rectangular area of 7,157 s.f.. The lot is oriented on a northeast-southwest axis, with significant terrain slope on its southern half. The grade change across the site is approximate 28 feet. The site highest elevation is approximately 168' at the northeast corner on Vue de Mar Avenue, and the lowest elevation is approximately 150' on the opposite side in the southern corner.

1. Topographic information used for design and contained in these Documents is derived from incidental measurements prepared by Architect and Civil Engineer. Contractor shall verify all grades during layout and coordinate discrepancies in conjunction with Architect.
2. Design contours and drainage shown are schematic only and shall not be taken to represent final grading and drainage plans.
3. Refer Building Floor Plans and Sections for all dimensional information.
4. Existing finish grades shall be restored upon completion of construction unless changes are specified in the drawings.
5. Roadways shall be maintained clear of construction equipment or materials at all times. Debris shall be removed from roadways and sidewalk immediately. Contractor shall sweep or wash road surfaces after operations that generate debris.
6. Dust control measures shall be implemented as necessary. Provide watering during excavation and backfill to prevent dust from crossing property lines.



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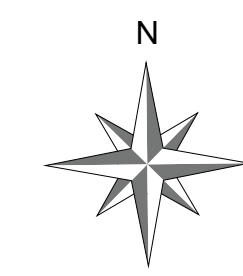
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Site Existing
 Conditions and
 Demolition

A1.1

1 Site Existing Conditions and Demolition

1/8" = 1'-0"





1 Proposed Site Plan

1/8" = 1'-0"

Project Data

Parcel Planning and Zoning Data

Zoning	R1 (S-17)
Existing Lot Area	7,157 s.f.
Occupancy	Residential
Building Code	CBC 2016
Height	Proposed (24' -1" max.)
Stories	2 stories
Construction Type	VB
Lot Coverage	>16', 35% allowed
Floor Area	53% allowed
Front Setback	20' min.
Rear Setback	20' min.
Side Setback	15' min. total

Floor Area Ratio (FAR)

Ground Floor

Existing Conditioned Area	935 s.f.
Existing Garage	394 s.f.
New Garage Area	158 s.f.
New Entry Porch	67 s.f.
Total Ground Floor Area	1,554 s.f.

Second Floor

Existing Conditioned Area	1,380 s.f.
Stairs	-39 s.f.
New Conditioned Area	240 s.f.
Total Second Floor Area	1,581 s.f.

Total Floor Area	3,135 s.f.
Total New Floor Area	465 s.f.

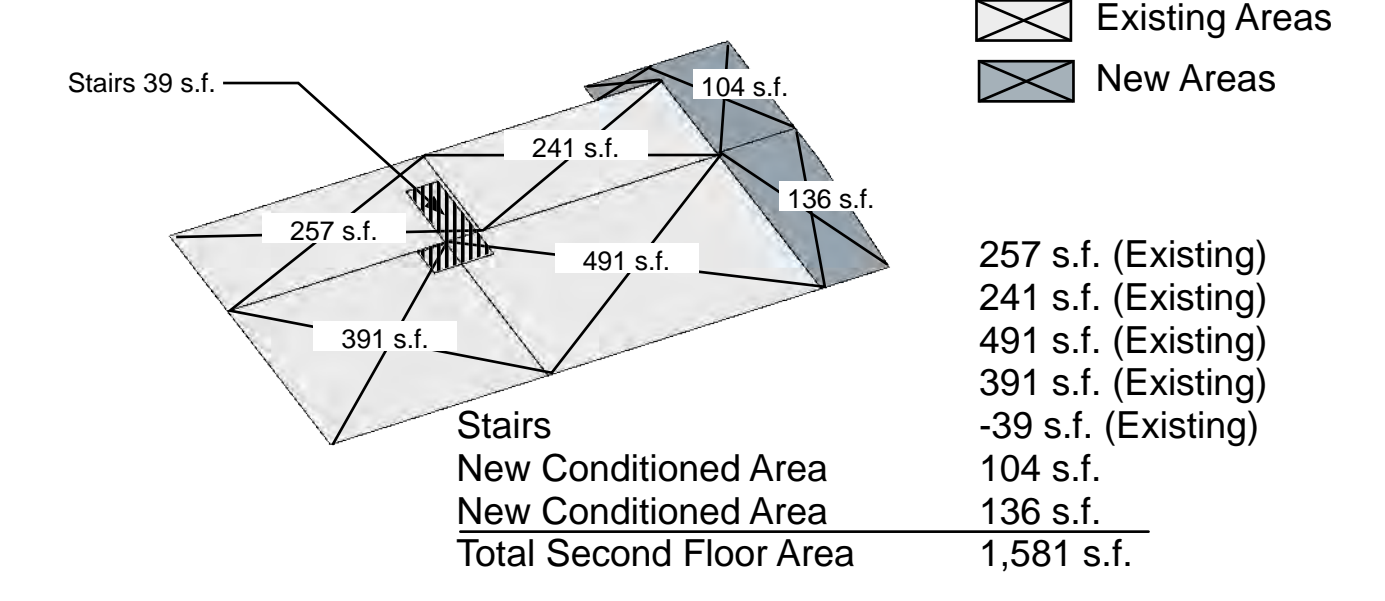
Floor Area Ratio (FAR) 43.8% (53% allowed)

Lot Coverage

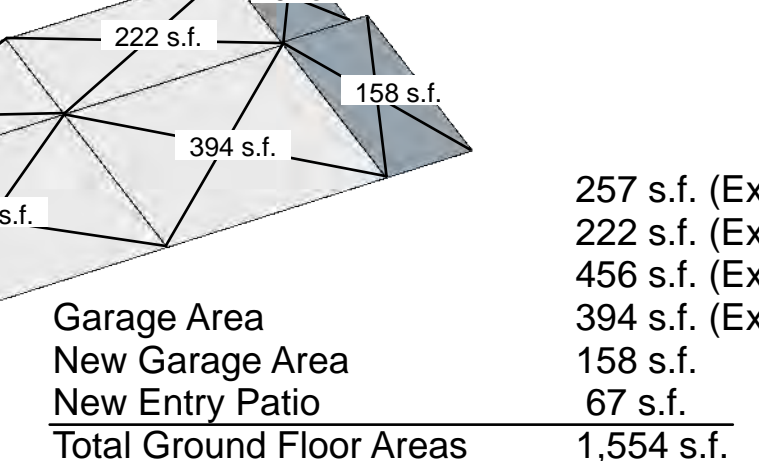
Existing Second Floor	1,380 s.f.
Existing Ground Floor Deck	494 s.f.
Second Floor New Area	240 s.f.
Total Coverage Area	2,114 s.f.

Lot Coverage 29.5% (>16', 35% allowed)

FAR Diagram

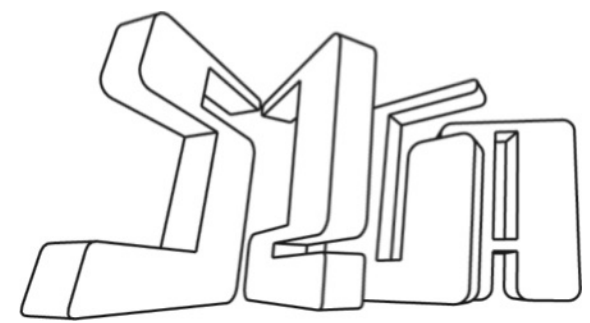
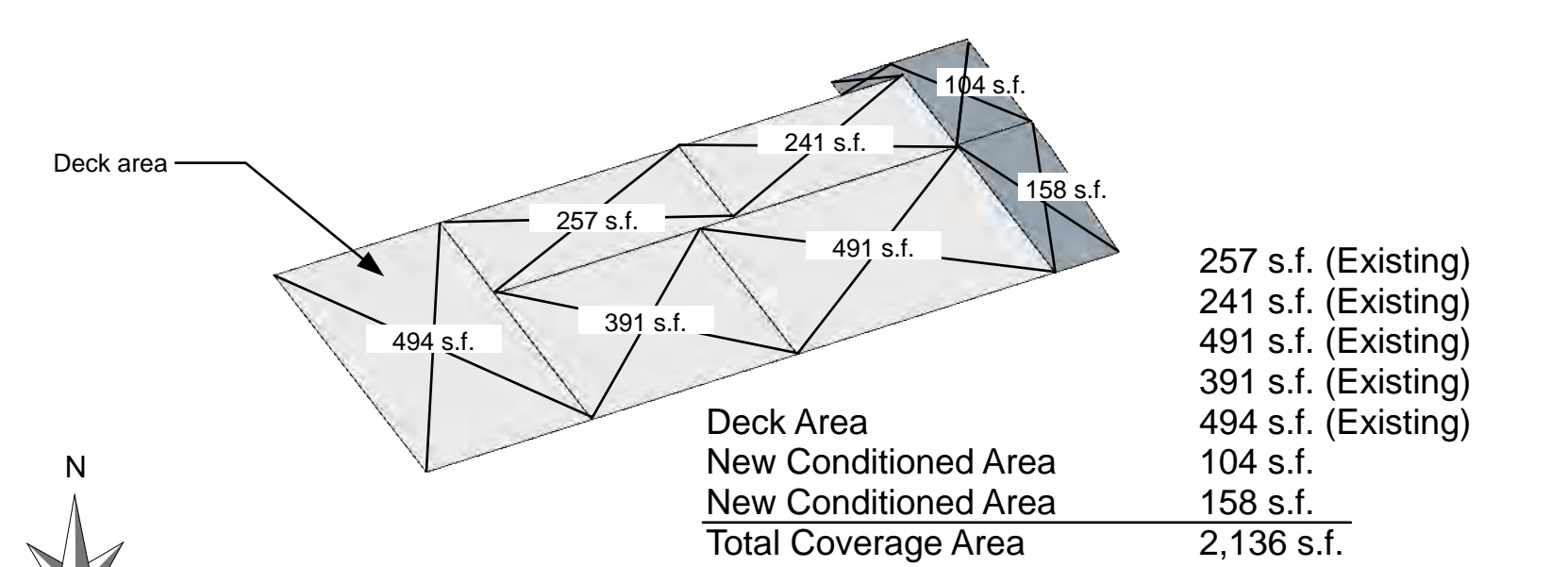


Garage Area



Grand Total Floor Area 3,135 s.f.

Lot Coverage Diagram



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Proposed Site Plan

A1.2

Existing Floor Plan Notes

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Contractor shall review all dimensions shown herein for accuracy prior to construction. Contractor shall review any apparent discrepancies. Dimensions given are to face of stud unless otherwise noted. Variations include:
 FOC: Face of Concrete
 FOM: Face of Masonry
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 FOF: Face of Finish

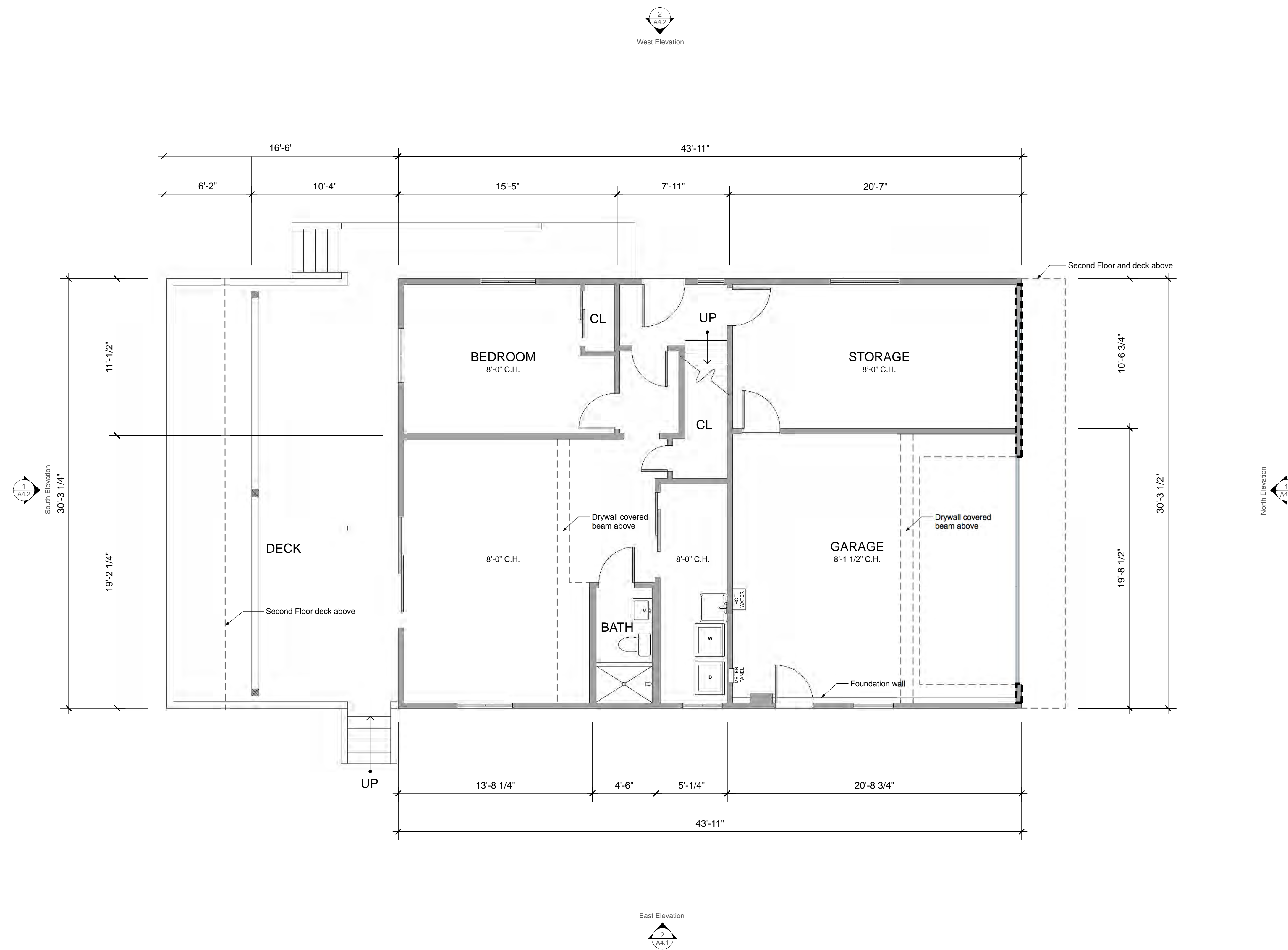


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Keynotes

Demo Legend

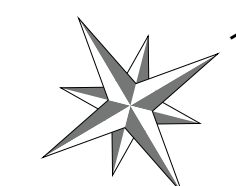
Wall to be demolished

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Existing Ground
 Floor & Demolition

1 Existing Ground Floor & Demolition

1/4" = 1'-0"



A2.1

Existing Floor Plan Notes

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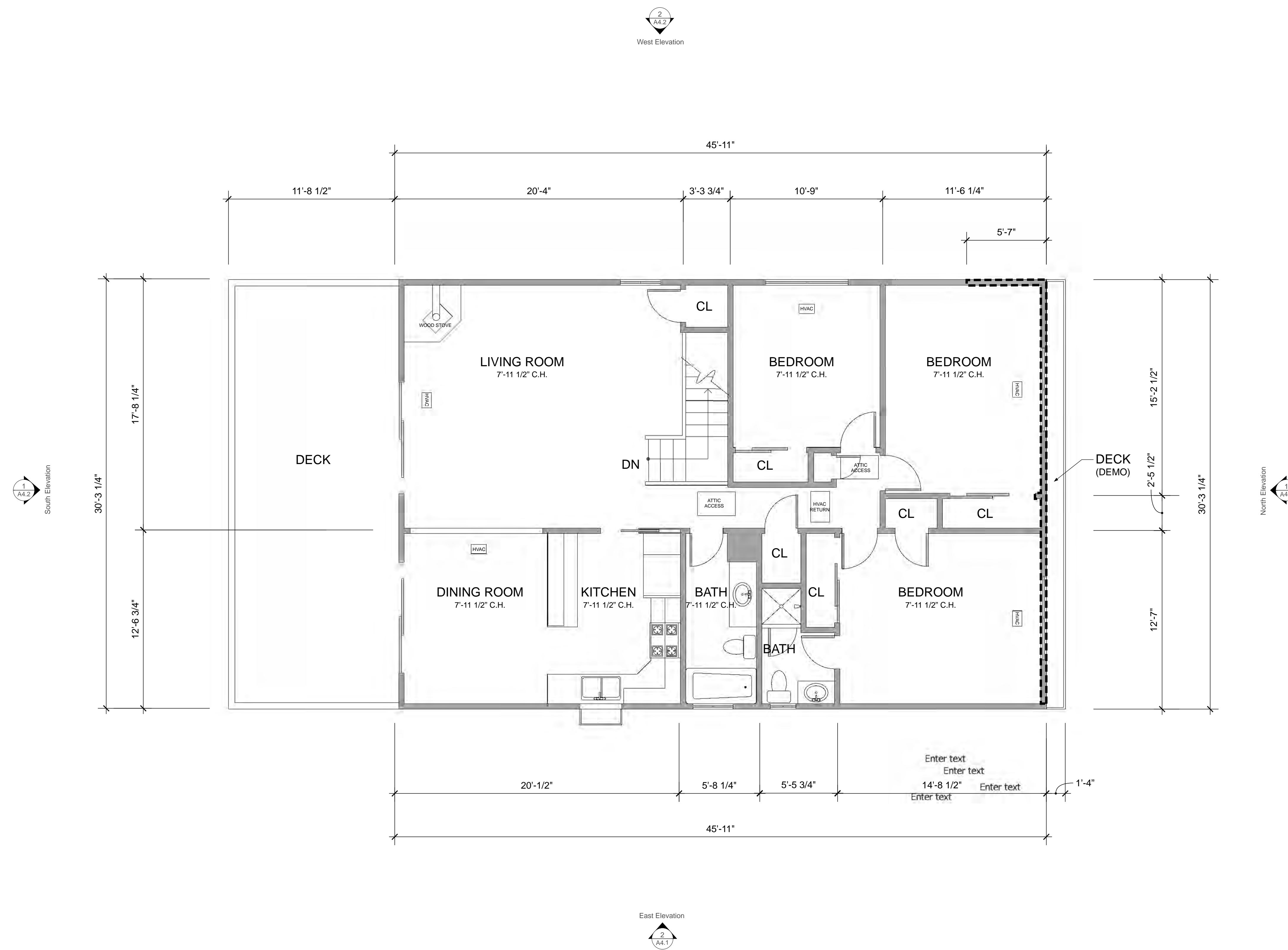


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Keynotes

Demo Legend

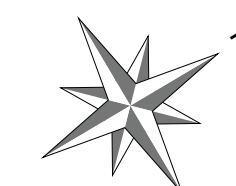
Wall to be demolished

09 March 2018
 Planning Submittal

Existing Second
 Floor & Demolition

1 Existing Second Floor & Demolition

1/4" = 1'-0"



A2.2

Floor Plan Notes

Keynote legend below contains information referenced throughout Documents. References are organized by standard CSI divisions and are flagged at various locations in the Documents by means of the following symbol: **1.0** →

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Critical alignments may occur between items installed by different trades. Contractor to note all such items and notify affected trades. Sub-contractors shall review Documents and identify all such items that affect their work in any way.

Contractor shall review all dimensions shown herein for accuracy prior to construction. Contractor shall review any apparent discrepancies. Dimensions given are to face of stud unless otherwise noted. Variations include:
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 FOM: Face of Masonry
 CL: Centerline
 FOF: Face of Finish

The concrete slab shall receive exterior sheathing from walls framed above. Refer foundation plan for adjusted foundation dimensions.

Refer exterior elevations for critical alignment of openings.
 Refer interior elevations for critical alignment of openings, fixtures, finishes, cabinet dimensions, vertical controls, millwork locations.

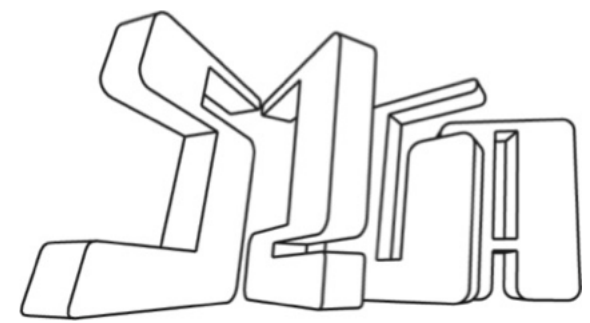
Refer electrical plans for location of light fixtures, switches, etc. Contractor to coordinate framing to accommodate recessed fixtures and other items with critical locations.

Repeating items or assemblies may not be noted or dimensioned at all locations where repetition is obvious.

Refer structural drawings for location of posts, double studs, special floor and wall framing, special connections, shear nailing.

Provide 2x backing for all handrails, toilet accessories, cabinets and all other items requiring backing.

Provide water resistant gypsum board (green bd.) at all toilet, shower, tub areas (except ceiling).

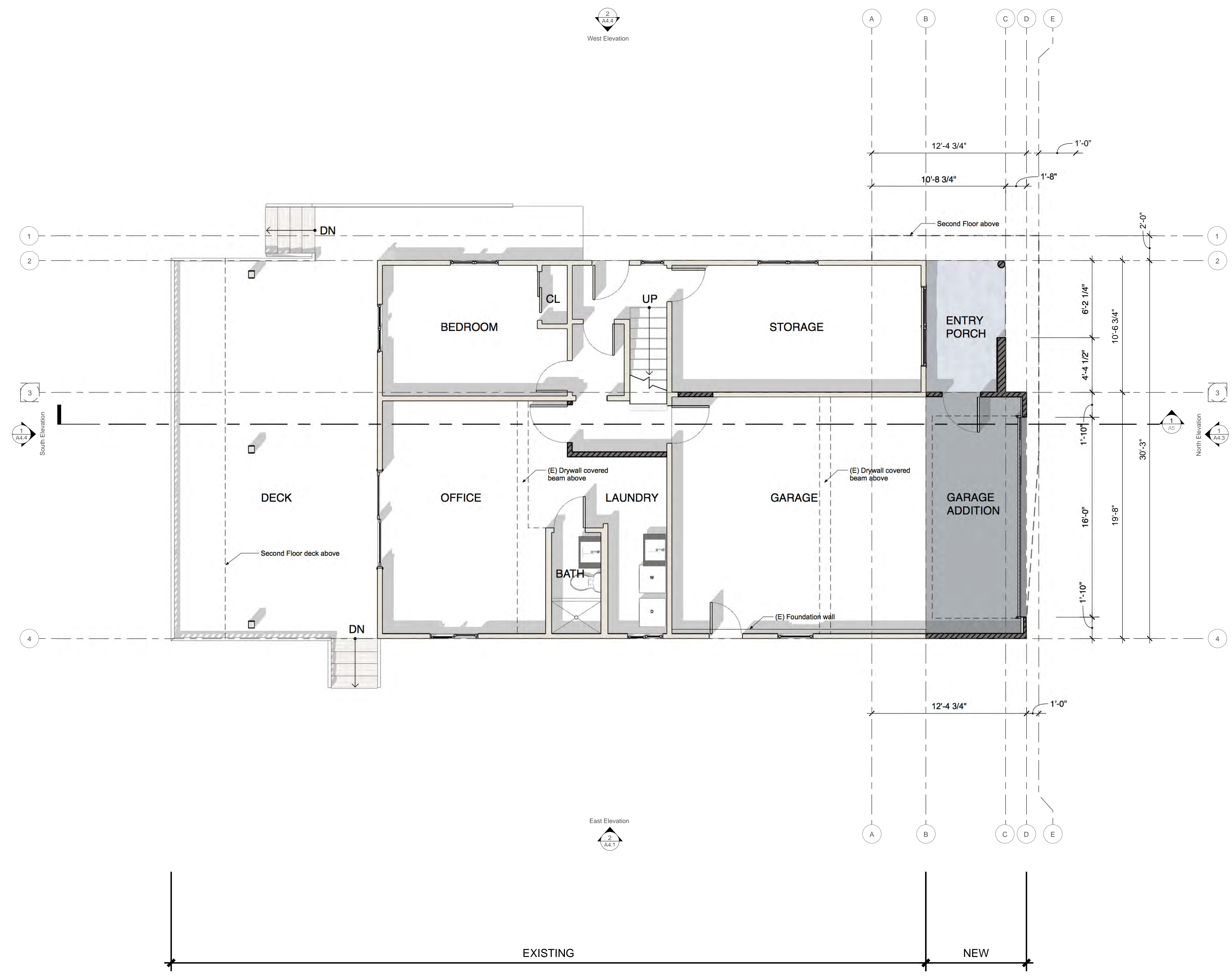


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Keynotes

Wall Legend

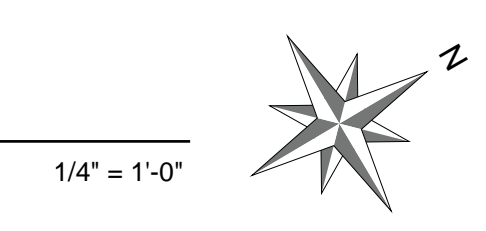
- Existing Wall
- New Wall

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Ground Floor

A2.3

1 Ground Floor



Floor Plan Notes

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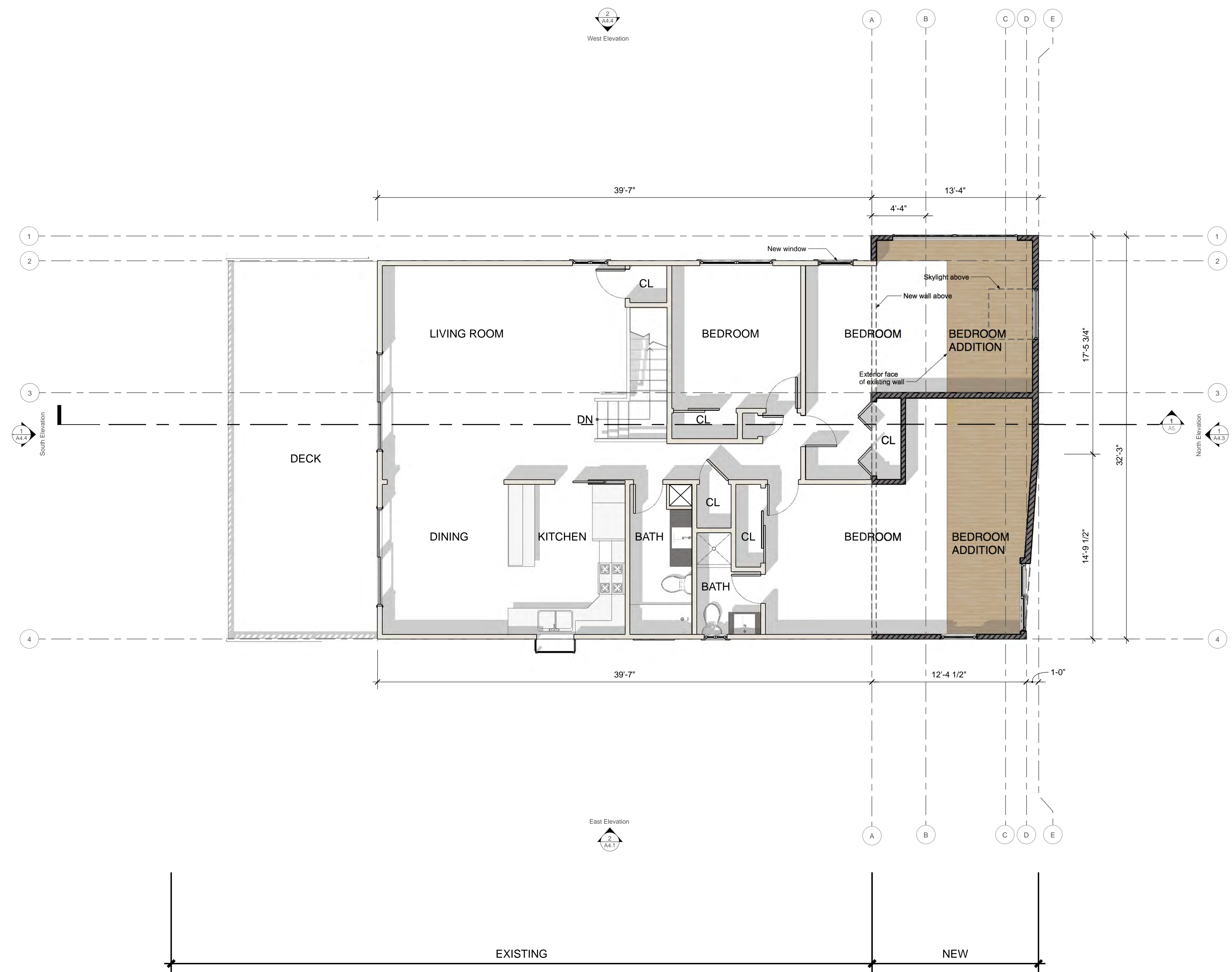


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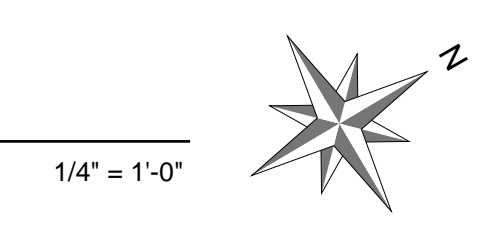


Keynotes

Wall Legend

- Existing Wall
- New Wall

1 Second Floor

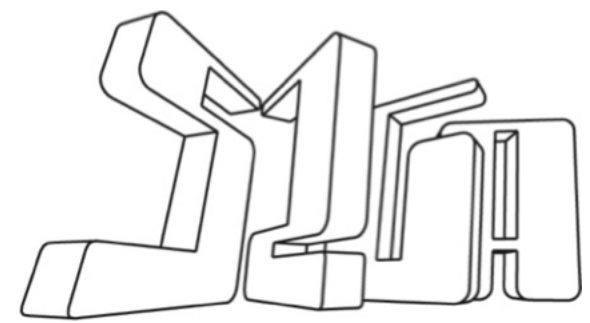


1/4" = 1'-0"

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Second Floor

A2.4

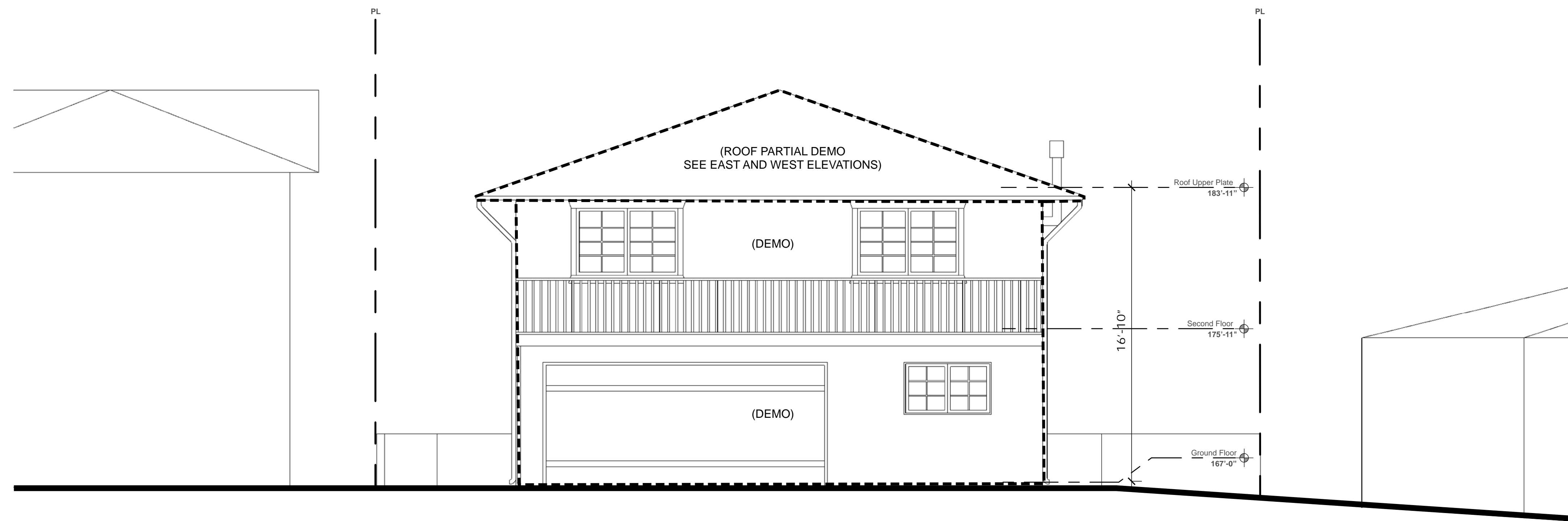


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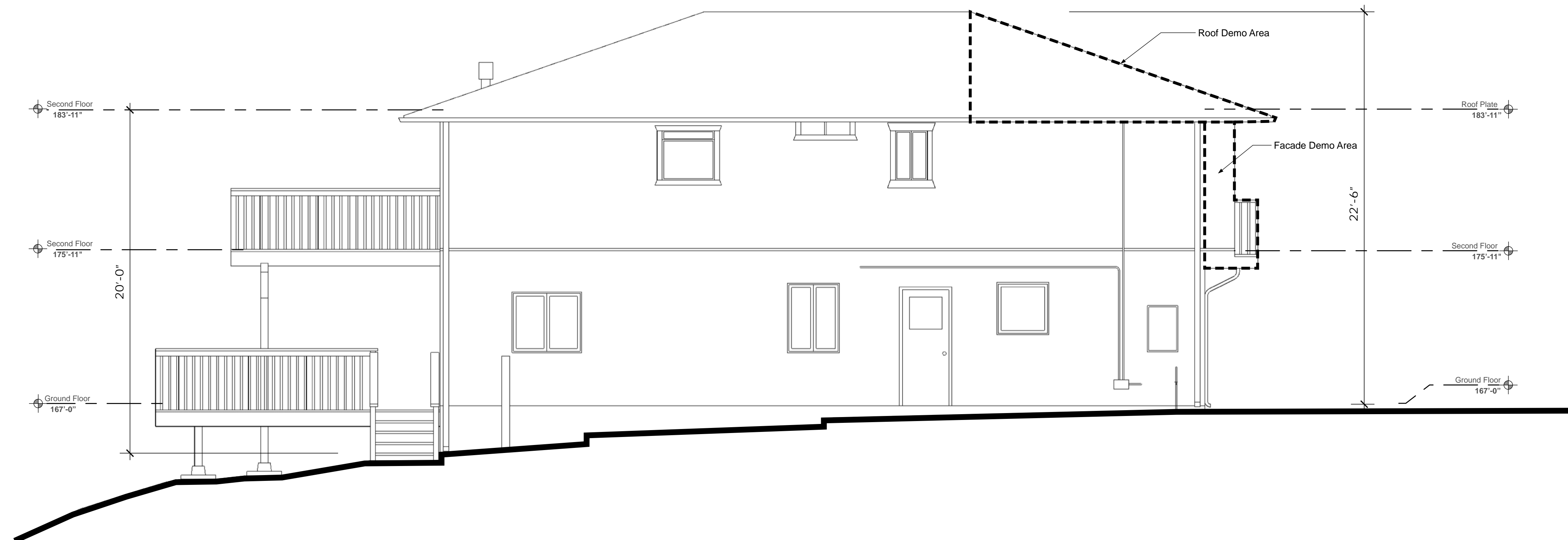
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1 Existing North Elevation

1/4" = 1'-0"



2 Existing East Elevation

1/4" = 1'-0"

Keynotes

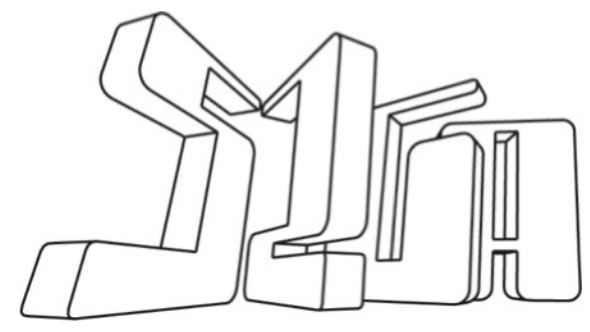
Demo Legend

Areas to be demolished

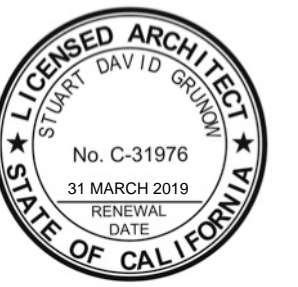
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Existing
 Elevations

A4.1

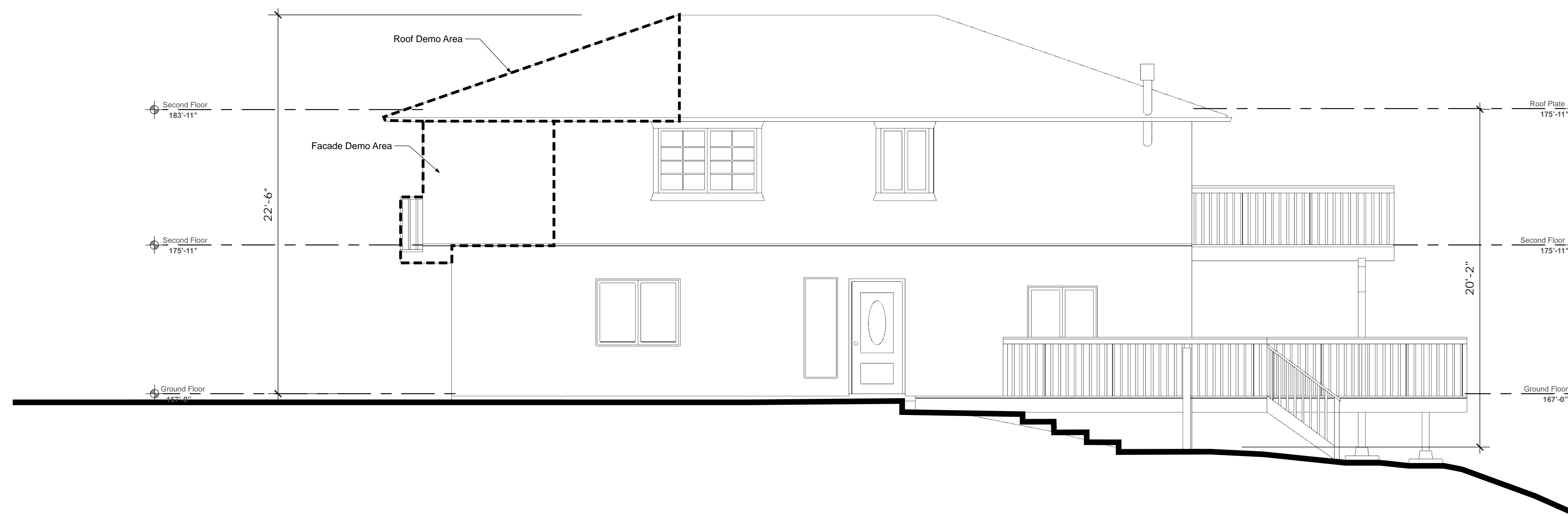


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1 Existing South Elevation

1/4" = 1'-0"



Keynotes

Demo Legend

Areas to be demolished

2 Existing West Elevation

1/4" = 1'-0"

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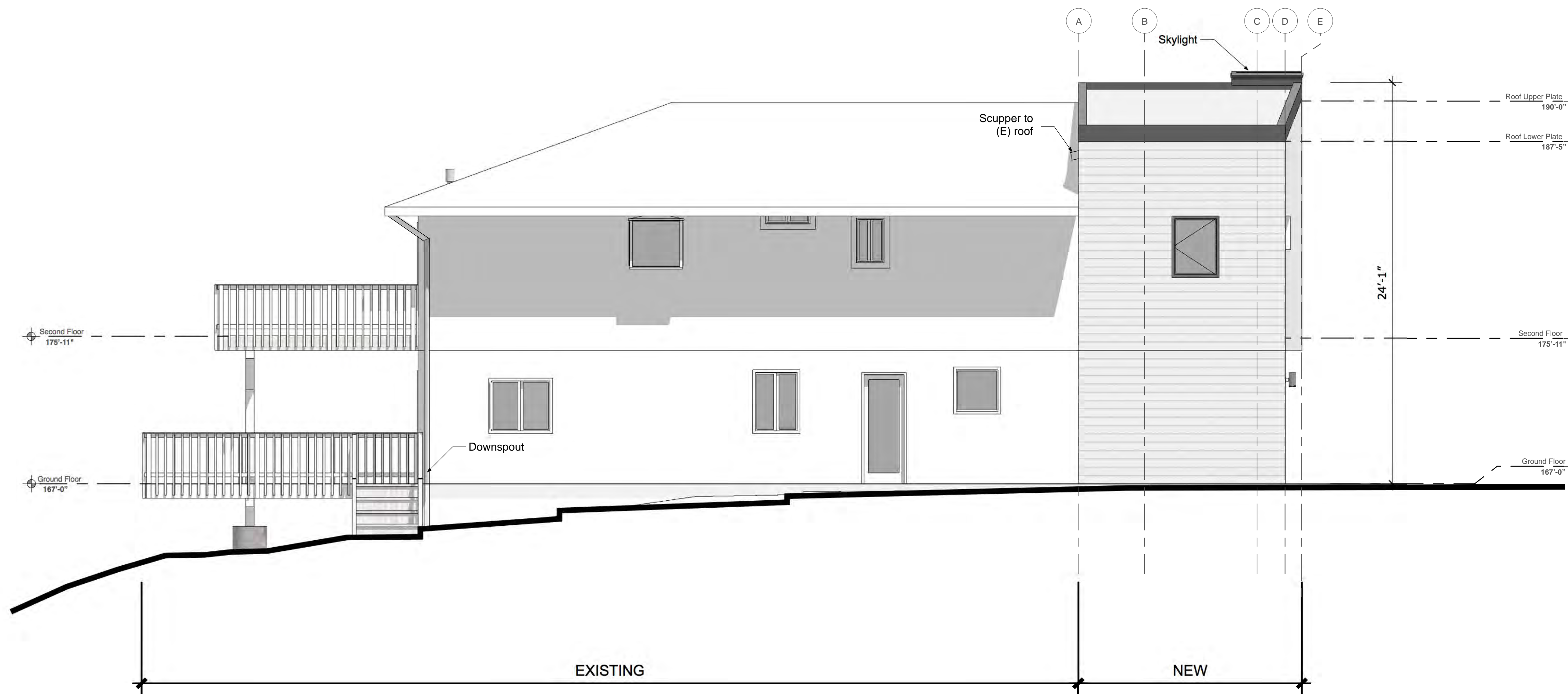
Existing Elevations

A4.2



1 North Elevation

1/4" = 1'-0"



2 East Elevation

1/4" = 1'-0"

Materials


Wall Stucco

Addition walls white board formed stucco





Siding

Entry Porch wood cladding




Roof

Addition white membrane roof




Windows

Dark Bronze frames, clear glass
Ref: Marvin Integrity or Sierra Pacific




Reuse of salvaged wood frame round window (West Elevation)




Garage Door

Horizontal wood panels



Lights

Wall mounted LED light
Brushed Aluminium finish
Dark sky friendly
Ref: Modern Forms Vessel LED




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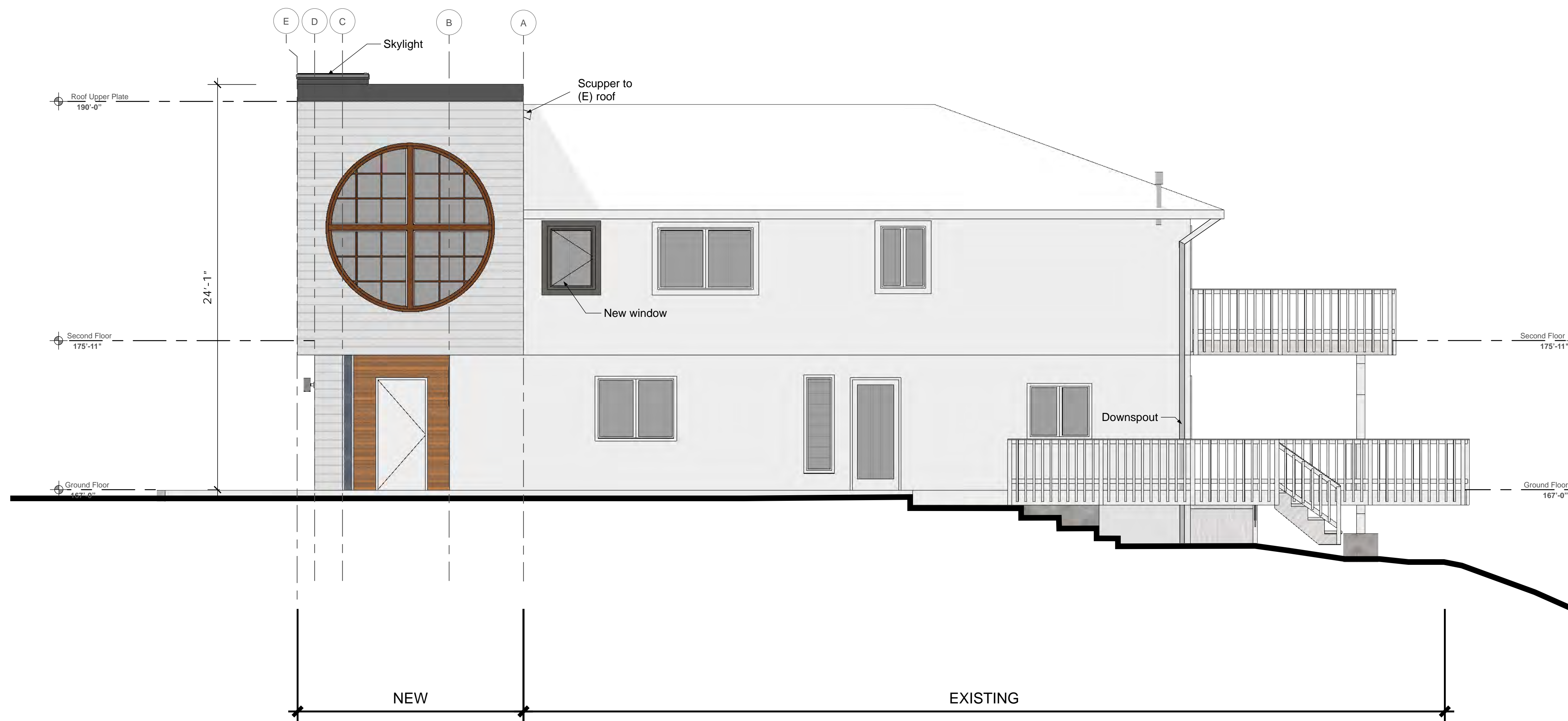
Proposed
Elevations

A4.3



1 South Elevation

1/4" = 1'-0"



2 West Elevation

1/4" = 1'-0"

Materials

Wall Stucco



Addition walls white board formed stucco

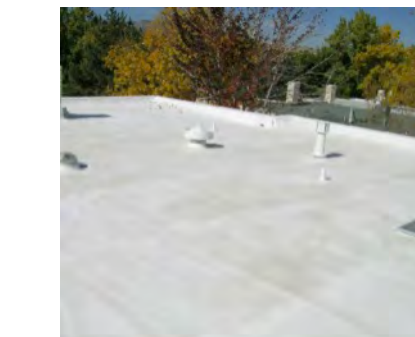


Siding



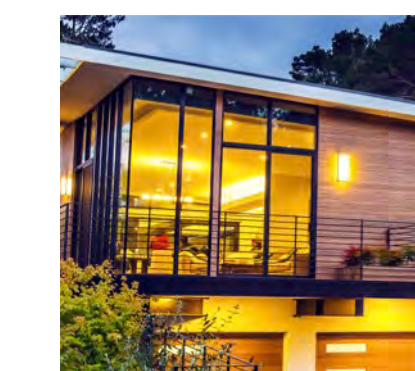
Entry Porch wood cladding

Roof



Addition white membrane roof

Windows

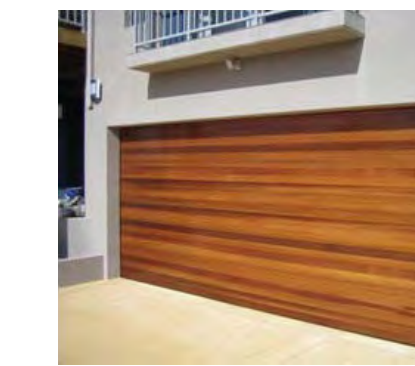


Dark Bronze frames, clear glass
Ref: Marvin Integrity or Sierra Pacific



Reuse of salvaged wood frame
round window (West Elevation)

Garage Door

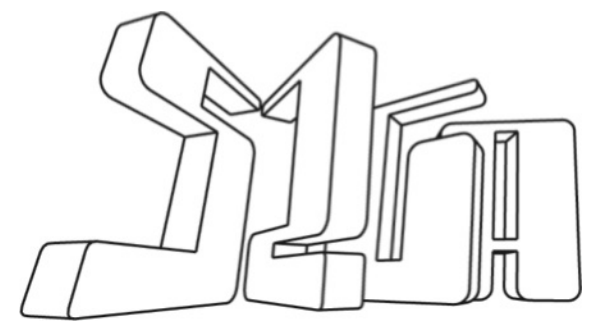


Horizontal wood panels

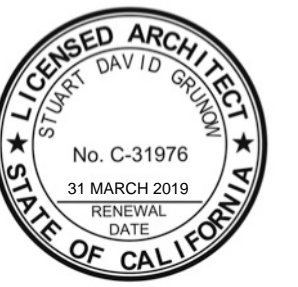
Lights



Wall mounted LED light
Brushed Aluminium finish
Dark sky friendly
Ref: Modern Forms Vessel LED



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Proposed
Elevations

A4.4

Notes

Section Legend

- Existing Floor/Wall
- New Floor/Wall

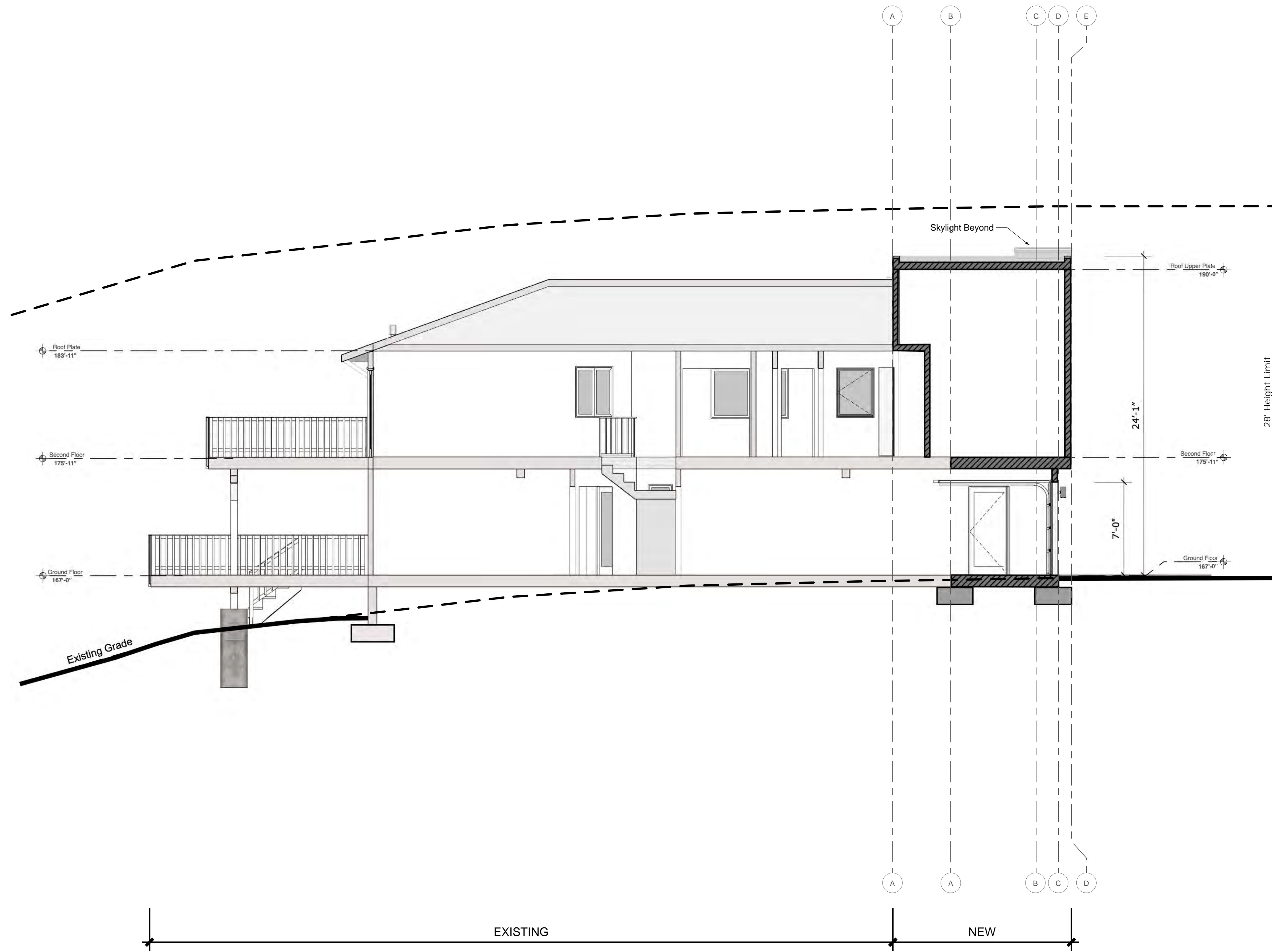


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1 North-South Cross Section

1/4" = 1'-0"

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Cross Section

A5.1