

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: September 17, 2020

TO: Zoning Hearing Officer

FROM: Planning Staff

SUBJECT: Consideration of a Use Permit Amendment, pursuant to Section 6500 of the County Zoning Regulations, to allow two additions to the La Honda Fire Brigade Firehall located at 8945 La Honda Road in the unincorporated North Skyline area of San Mateo County.

County File Number: PLN 2020-00053 (Evans/La Honda Fire Brigade)

PROPOSAL

This project includes a Use Permit Amendment to allow the construction of two (2) additions to the existing 3,482 sq. ft. La Honda Fire Brigade Firehall. The two (2) additions include a second floor 1,295 sq. ft. storage area on the left side of the building and a 100 sq. ft. ground floor tool storage room on the right rear side of the building. A Variance for lot coverage of 33 percent (where 30 percent is the maximum per the zone) was approved through PLN 2006-00136. The proposed ground floor addition would increase the lot coverage to 36.9 percent. No trees are proposed for removal, and minimal grading is proposed. The project is within the La Honda Road County Scenic Corridor.

RECOMMENDATION

That the Zoning Hearing Officer approve the Use Permit Amendment, County File Number PLN 2020-00053, by making the required findings and adopting the Conditions of Approval in Attachment A.

BACKGROUND

Report Prepared By: Kelsey Lang, Project Planner, klang@smcgov.org

Applicant: John Evans

Owner: La Honda Fire Brigade

Location: 8945 La Honda Road

APN: 083-014-040

Size: 10,000 sq. ft

Existing Zoning: A-1/S-9

General Plan Designation: Open Space

Existing Land Use: Fire Station for La Honda Fire Brigade

Water Supply: Cuesta La Honda Guild.

Sewage Disposal: Septic system has been reviewed and conditionally approved by Environmental Health Services.

Flood Zone: Flood Zone X (Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level), per FEMA Panel No. 06081C0384E, effective October 16, 2012.

Environmental Evaluation: This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15301, Class 1, additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 sq. ft., whichever is less.

Setting: Adjacent to the unincorporated community of La Honda on a flat lot. The lot has no trees and is mostly developed by the existing building, a large driveway, and grass surrounding the building. The neighboring parcels are a mix of residential, forested, and commercial uses (such as the La Honda Post Office and Country Market).

DISCUSSION

A. **KEY ISSUES**

1. **Compliance with Conditions of the Last Approval**

All of the Use Permit's conditions of approval from the last amendment (PLN 2006-00136) are assessed below with regard to compliance and whether the conditions should be retained or revised:

- a. **This approval applies only to the proposal, documents and plans described in this report and submitted to and approved by the Community Development Director. Minor revisions or modifications to the project may be made subject to the review and approval of the Community Development Director.**

Compliance with Condition? Yes.

Recommended to Retain Condition? Yes, but modified to reflect current date and wording: "This approval applies only to the proposal, documents and plans described in this report and materials approved by the Zoning Hearing Officer on September 17, 2020. The Community Development Director may approve minor revisions or modifications to the project if they are consistent with the intent of and in substantial conformance with this approval."

- b. **If after two (2) years from the date of approval, the applicant has not obtained all other necessary permits and made substantial progress toward completing the proposed development, the variance will expire. The variance may be extended beyond two (2) years if the applicant requests an extension in writing and submits payment of applicable extension fees at least sixty (60) calendar days before the expiration date.**

Compliance with Condition? Yes.

Recommended to Retain Condition? Yes, but modified to reflect current date and wording: "This permit shall be valid for one year from the date of approval by which time a valid building permit shall have been issued. Any extension of this permit shall require submittal of an application for permit extension and payment of applicable permit extension fees at least sixty days prior to expiration."

- c. **The roofing material of the addition shall match that of the existing residence.**

Compliance with Condition? Yes.

Recommended to Retain Condition? Yes, but modified to be merged with the next condition: "The roofing material and painting of the addition shall match that of the existing structure."

- d. **The addition shall be painted to match the existing firehouse.**

Compliance with Condition? Yes.

Recommended to Retain Condition? Yes, but modified to be merged with the previous condition: "The roofing material and painting of the addition shall match that of the existing structure."

- e. **Prior to a final sign-off by the Planning Division, the building inspector shall verify that the addition was painted to match the**

existing firehouse and the roof was constructed with matching roofing material.

Compliance with Condition? Yes.

Recommended to Retain Condition? Yes, but modified to reflect current wording: "Prior to a final sign-off by the Current Planning Section, the applicant shall submit photos to Current Planning to verify the addition was painted to match the existing firehouse and the roof was constructed with matching roofing material."

- f. **The applicant shall obtain a building permit for the proposed work prior to any building, and shall comply with all applicable requirements of the Building Inspection Section.**

Compliance with Condition? Yes.

Recommended to Retain Condition? Yes, but modified to reflect current wording and Environmental Health Services: "The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section as well as Environmental Health Services requirements."

Additional Recommended Conditions of Approval

Staff recommends the addition of Condition Nos. 6-9 listed in Attachment A. These conditions are standard conditions of approval typically associated with Planning permits.

2. Conformance with the General Plan

The proposal has been reviewed against and found to be consistent with all applicable General Plan Policies. This property is designated Open Space. The applicable policies are listed and discussed below:

Natural Resource Policies

Policy 1.25 (*Protect Vegetative Resources*) ensures that development will: (1) minimize the removal of vegetative resources and/or; (2) protect vegetation which enhances microclimate, stabilizes slopes or reduces surface water runoff, erosion or sedimentation; and/or (3) protect historic and scenic trees.

No vegetation or soil removal is proposed for the two (2) additions. One addition will occur on top of the existing building, and the other within the grassed area adjacent to the building. This project has been conditioned to

provide tree protection and erosion control measures during the building permit stage as included in Attachment A.

Visual Resource Policies

Policy 4.15 (*Appearance of New Development*) regulates development to promote and enhance good design, site relationships and other aesthetic considerations. Policy 4.22 (*Scenic Corridors*) protects and enhances the visual quality of scenic corridors by managing the location and appearance of structural development.

This property is in the La Honda Road County Scenic Corridor and the proposed additions would increase the height of the building when viewed from the road. The second-floor addition would mostly be behind the existing facade, which would be replaced with a new facade that is approximately 5 feet taller and mimics the existing style. The tool storage room addition would not be visible from the road.

Policy 4.49 (*Scale Design*) requires structures which are compatible in size and scale with their building site and surrounding environment, including adjacent man-made or natural features. Policy 4.52 (*Colors and Materials*) Depending on the design problems of the site, use colors and materials which: (1) blend with or complement the surrounding natural environment, (2) do not dominate or overpower the site, (3) are compatible with the size, scale, and architectural style of the structure, and (4) with the exception of greenhouses, are not highly reflective.

The scale and architectural style of the proposed additions is compatible with the surrounding environment and with the existing building. The additions will be conditioned to match the neutral cream tone of the existing building.

Rural Land Use Policies

Policy 9.23 (*Land Use Compatibility in Rural Lands*) encourages compatibility of land uses in order to promote the health, safety, and economy and to maintain the scenic and harmonious nature of the rural lands. Policy 9.42 (*Development Standards for Land Use Compatibility in General Open Space Lands*) locates development in areas of parcels which cause the least disturbance to scenic resources and best retain the open space character of the parcel, and where possible, locates development in areas that are free from hazardous conditions, including but not limited to, steep slopes, unstable soils, and areas of special flood hazard.

The proposed additions do not change the existing land use on the parcel, which has received use permits in this location since 1967, demonstrating the uses' long-term compatibility. The additions are proposed in locations that will cause the least disturbance to scenic resources and minimize the visual intrusion from the public right of way. The development is not located in a special flood hazard or on steep slopes or unstable soils.

Utility Policies

Policy 10.15 (*Water Suppliers in Rural Areas*) considers the following as appropriate methods of water supply in rural areas: systems and wells. Policy 11.10 (*Wastewater Management in Rural Areas*) considers the following as appropriate methods of wastewater management in rural areas individual sewage disposal systems.

This project has been reviewed by and received conditional approval from the Cuesta La Honda Guild water supplier and the County's Environmental Health Services. The addition will require both fire sprinklers and septic tank evaluation at the building permit stage.

3. Conformance with the Zoning Regulations

The subject parcel is located in the A-1/S-3 Zoning District. The proposal is in conformance with all applicable development standards as shown below, with the exception of lot coverage. The maximum lot coverage for the S-3 zone is 30 percent, or 3,000 sq. ft. for this property. However, the owners applied for and received approval to increase the lot coverage to 33 percent, or 3,300 sq. ft., in order to build create an emergency operations center, classroom, and equipment maintenance space. This approval was granted in 2007 through PLN 2006-00136. This proposal requests further lot coverage relief, bringing the lot coverage to 36.9 percent, or 3,689 sq. ft.

	Minimum Required	Proposed
Front Yard Setback	20'	20.21'
Right Side Yard Setback	5'	16.57'
Left Side Yard Setback	5'	10.93'
Rear Yard Setback	20'	27.12'
Maximum Height	36'	23'
Lot Coverage	Maximum of 33% or 3,300 sq. ft. (approved through PLN2006-00136)	36.9% or 3,689 sq. ft.

4. Conformance with Use Permit Findings

The Zoning Hearing Officer must make the following findings in order to approve the Use Permit Renewal:

- a. **That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.**

This facility has been in operation since the late 1960's and, to date, no complaints have been received regarding this operation. Additionally, the applicant has complied with the past conditions of approval and the Cuesta Lo Honda Guild Home Owners Association indicated that they did not have any comments. Therefore, staff has determined that allowing the continued operation and expansion of this firehall will not adversely affect the welfare of the neighborhood. Further, the project will not impact coastal resources since it is not located in the coastal zone.

- b. **That the proposed project is necessary for the public health, safety, convenience or welfare.**

Staff has determined that the continued use and expansion of this firehall will provide enhanced fire protection services to those served by the La Honda Fire Brigade, thereby supporting public health and safety.

B. ENVIRONMENTAL REVIEW

This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15301, Class 1, additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 sq. ft., whichever is less.

C. REVIEWING AGENCIES

Home Owners Association
Environmental Health Services
Cal Water – Bear Gulch
Cuesta La Honda Water Service

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Project Plans

KGL:cmc – KGLEE0335_WCU.DOCX



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT A

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2020-00053 Hearing Date: September 17, 2020

Prepared By: Kelsey Lang

For Adoption By: Zoning Hearing Officer

RECOMMENDED FINDINGS

Regarding the Use Permit Amendment, Find:

1. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood as it has been in operation since the late 1960's and supports the safety of the La Honda community.
2. That the proposed project is necessary for the public health, safety, convenience or welfare as it will increase the ability for the La Honda Fire Brigade to provide services to the surrounding area.

Regarding the Environmental Review, Find:

3. That this project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15301, Class 1, additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 sq. ft., whichever is less.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal, documents and plans described in this report and materials approved by the Zoning Hearing Officer on September 17, 2020. The Community Development Director may approve minor revisions or modifications to the project if they are consistent with the intent of and in substantial conformance with this approval.

2. This permit shall be valid for one year from the date of approval by which time a valid building permit shall have been issued. Any extension of this permit shall require submittal of an application for permit extension and payment of applicable permit extension fees at least sixty days prior to expiration.
3. The roofing material and painting of the addition shall match that of the existing structure.
4. Prior to a final sign-off by the Current Planning Section, the applicant shall submit photos to Current Planning to verify the addition was painted to match the existing firehouse and the roof was constructed with matching roofing material.
5. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section as well as Environmental Health Services requirements.
6. This permit does not allow for the removal of any trees. Removal of any trees with a diameter equal to or greater than twelve inches as measured 4.5 feet above the ground shall require a separate tree removal permit.
7. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site. A separate tree protection plan may also be required as part of the building permit. Species and size of trees shall be indicated on the plan (size shall be measured by diameter at breast height (dbh) method).
8. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360). Noise levels produced by construction activities shall not exceed the 80-dBA level at any one moment.
9. The applicant shall implement the following basic construction measures at all times:
 - a. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxic Control Measure, Title 13, Section 2485 of the California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.

- b. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
- c. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person, or his/her designee, shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

Environmental Health Services

- 10. At building permit stage, applicant shall have septic tank pumped/evaluated and dispersal field water tested by a San Mateo County certified pumper. A list of pumpers can be found on the website at <https://www.smchealth.org/landuse>. Pumper report shall be supplied to Planning/Building Department to be routed to Environmental Health for review. The site plan shall call out septic system materials eg. redwood septic tank.

Building Inspection Section

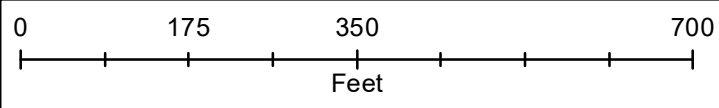
- 11. This project requires a building permit.

KGL:cmc – KGLEE0335_WCU.DOCX



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



Project Site

083014040
A-1/S-9

STATE HIGHWAY 84

REDWOOD

R-1/S-10

VENTURA

VUELTA

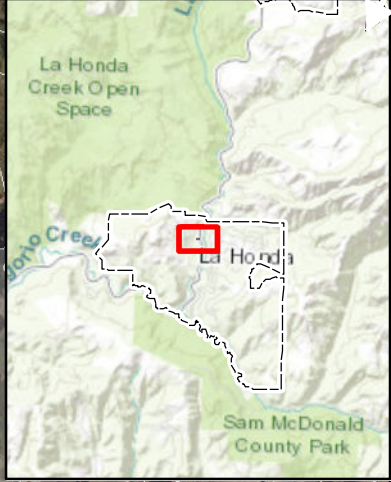
RM

SEARS RANCH

H-1/S-10

H-1/S-10

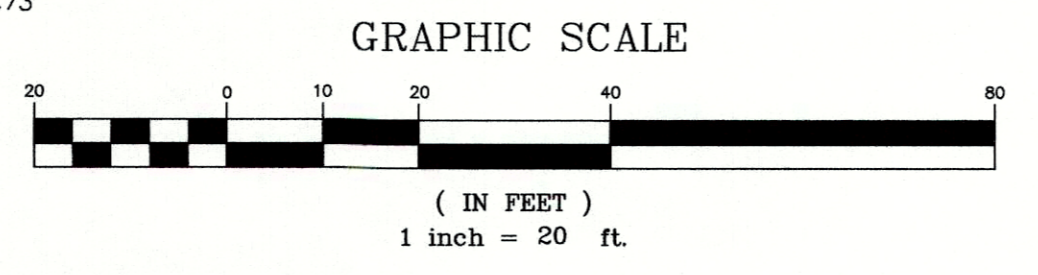
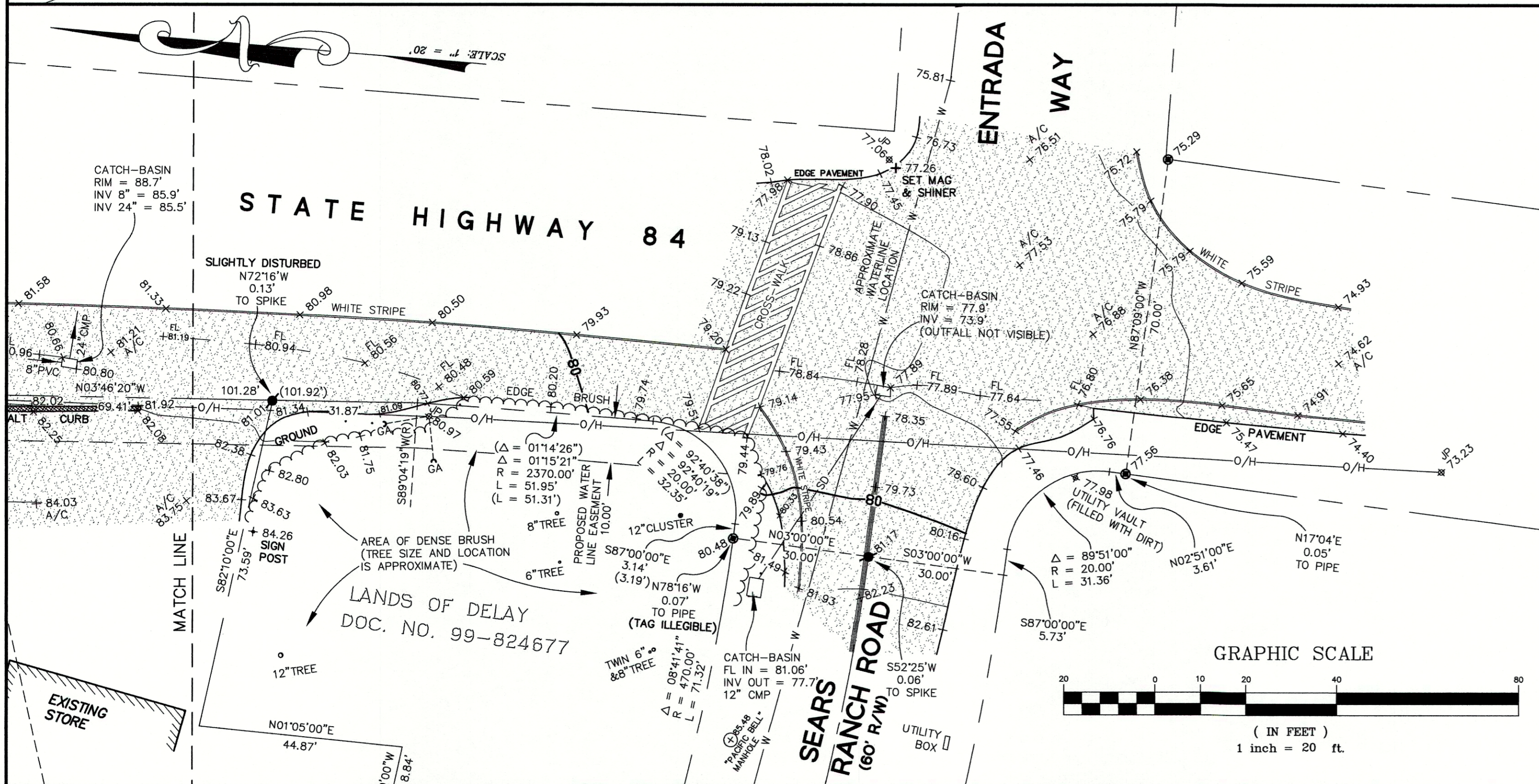
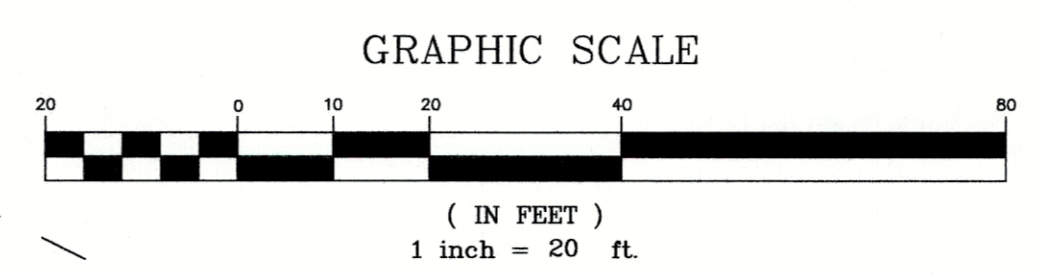
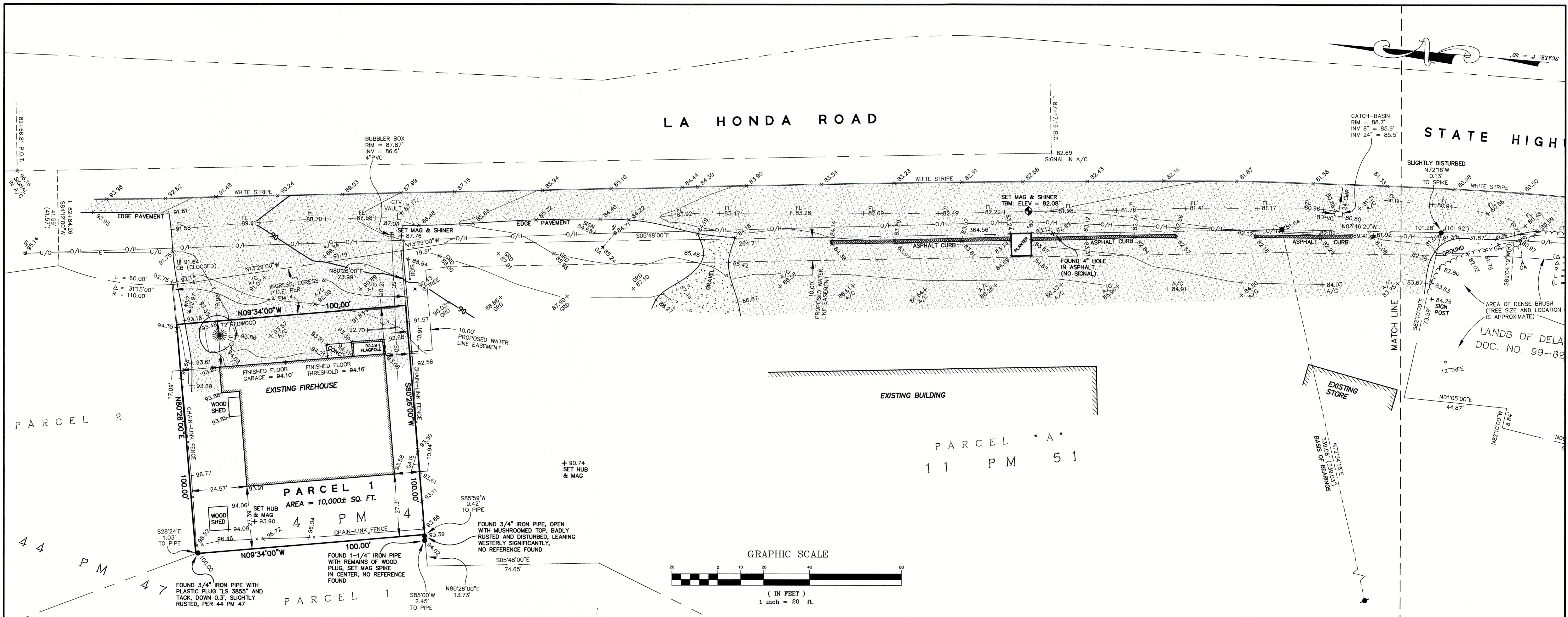
VICINITY MAP





COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C



- LEGEND:**
- FOUND IRON PIPE, AS NOTED
 - ⊙ FOUND 1-1/2" IRON PIPE WITH CONCRETE PLUG 1/1-1/4" BRASS TAG "SMC 90476.49"
 - ⊙ FOUND 60D NAIL IN ASPHALT, DOWN 0.1' PER 11 PM 51
 - A/C ASPHALTIC CONCRETE
 - BW BACK OF WALK
 - CB CATCH BASIN
 - CIP CAST IRON PIPE
 - CONC CORRUGATED METAL PIPE
 - CONC CONCRETE
 - CO CLEAN-OUT
 - DI DROP INLET
 - EM ELECTRIC METER
 - FL FLOW LINE
 - FL FINISHED FLOOR
 - GM HANDICAP RAMP
 - GRD GROUND
 - HR HORIZONTAL
 - INV INVERT
 - IP IRON PIPE
 - JP JOINT POLE
 - LAT. LATERAL
 - LG LIP OF GUTTER
 - O/H OVERHEAD
 - P.U.E. PUBLIC UTILITIES EASEMENT
 - RCP REINFORCED CONCRETE PIPE
 - RET. WALL RETAINING WALL
 - R/W RIGHT OF WAY
 - SSCO SANITARY SEWER CLEAN-OUT
 - SSMH SANITARY SEWER MANHOLE
 - SDMH STORM DRAIN MANHOLE
 - T/B TOP BACK OF CURB
 - T/W TOP OF WALL
 - U/G UNDERGROUND
 - VCP VITRIFIED CLAY PIPE
 - WV WATER VALVE
 - WM WATER METER BOX
 - CTV- CABLE TELEVISION LINE
 - E- ELECTRICAL LINE
 - G- GAS LINE
 - SS- SANITARY SEWER LINE
 - SD- STORM DRAIN LINE
 - T- TELEPHONE LINE
 - W- WATER LINE

UTILITY NOTE:
THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

BASIS OF ELEVATIONS:
ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.
TBM: SET MAG NAIL AND SHINER ALONG LA HONDA ROAD, AS SHOWN. ELEVATION = 82.08'

BASIS OF BEARINGS:
THE CALCULATED BEARING N72°34'18"E BETWEEN TWO FOUND NAILS, AS SHOWN ON THAT CERTAIN PARCEL MAP FILED IN VOLUME 11 OF PARCEL MAPS AT PAGE 51, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BOUNDARY NOTE:
MONUMENTS WILL BE SET AT THE PROPERTY CORNERS AND A RECORD OF SURVEY OR CORNER RECORD WILL BE FILED WITH THE COUNTY OF SAN MATEO.



BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY

PARCEL 1
"RESUBDIVISION OF THE LANDS OF THE LA HONDA FIRE BRIGADE..."
VOLUME 4 OF PARCEL MAPS AT PAGE 4
ASSESSOR'S PARCEL NUMBER: 083-014-040
(8945 LA HONDA ROAD, LA HONDA)

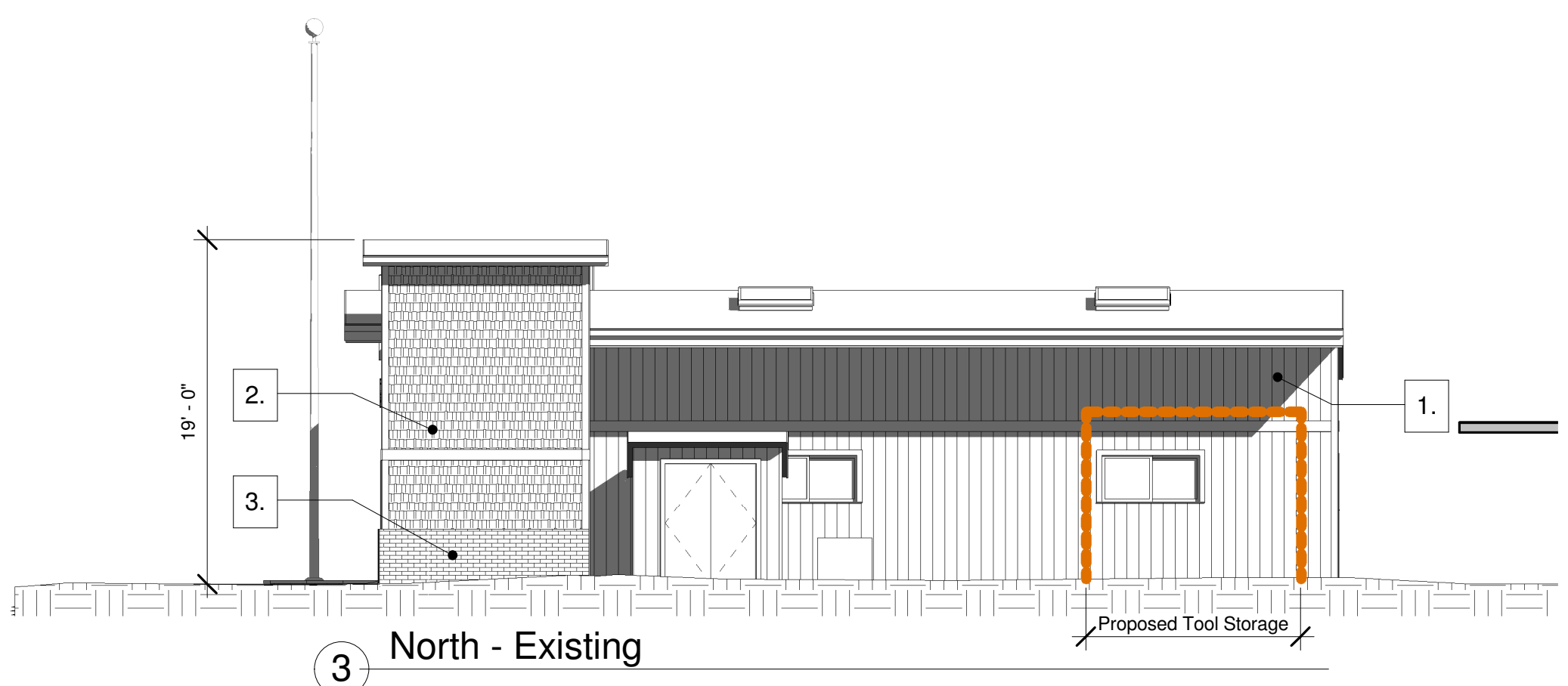
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 20' OCTOBER, 2018

B & H SURVEYING, INC.
PROFESSIONAL LAND SURVEYING
901 WALTERMIRE ST.
BELMONT, CA 94002
OFFICE (650) 637-1590
FAX (650) 637-1059

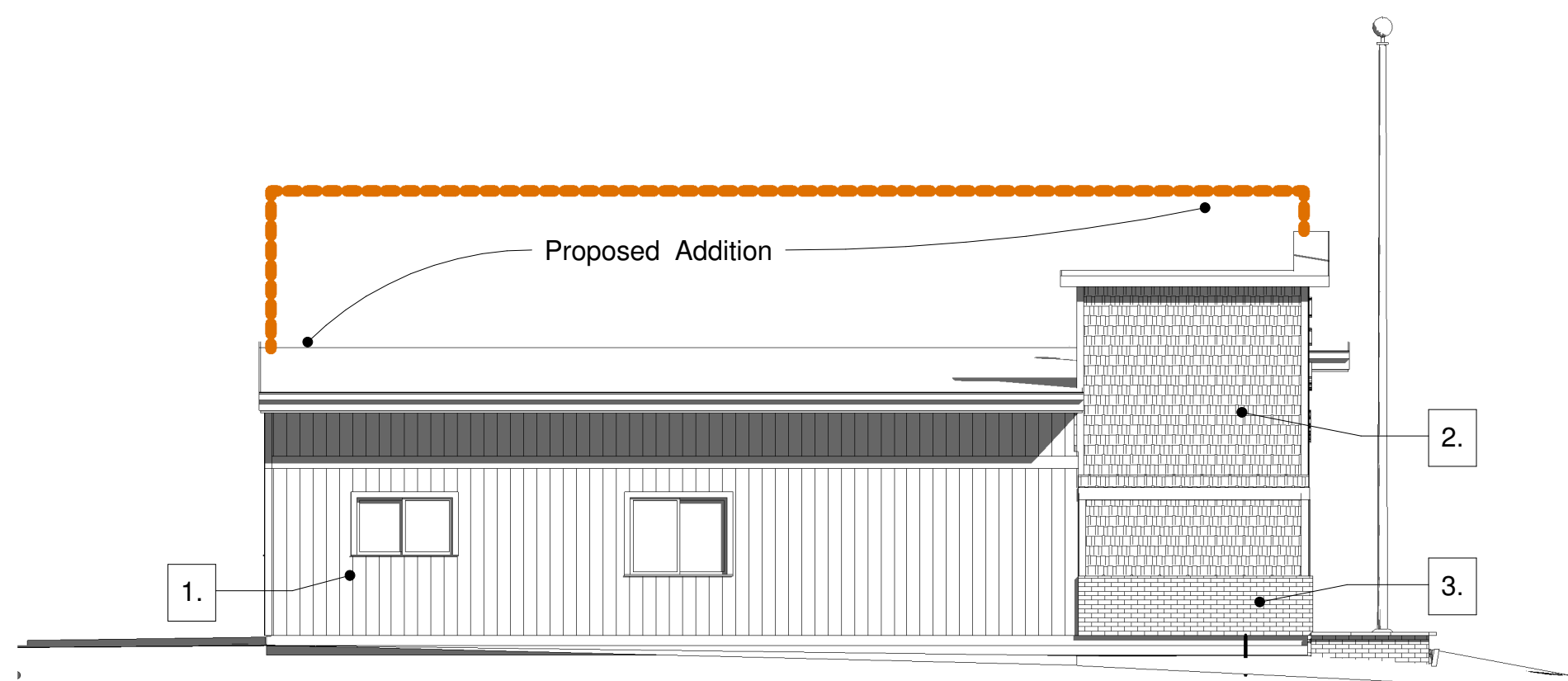
- △ REVISION: 04/21/20 - ADD BUILDING FOOT PRINT
- △ REVISION: 12/6/2018 - ADD PROPOSED EASEMENT



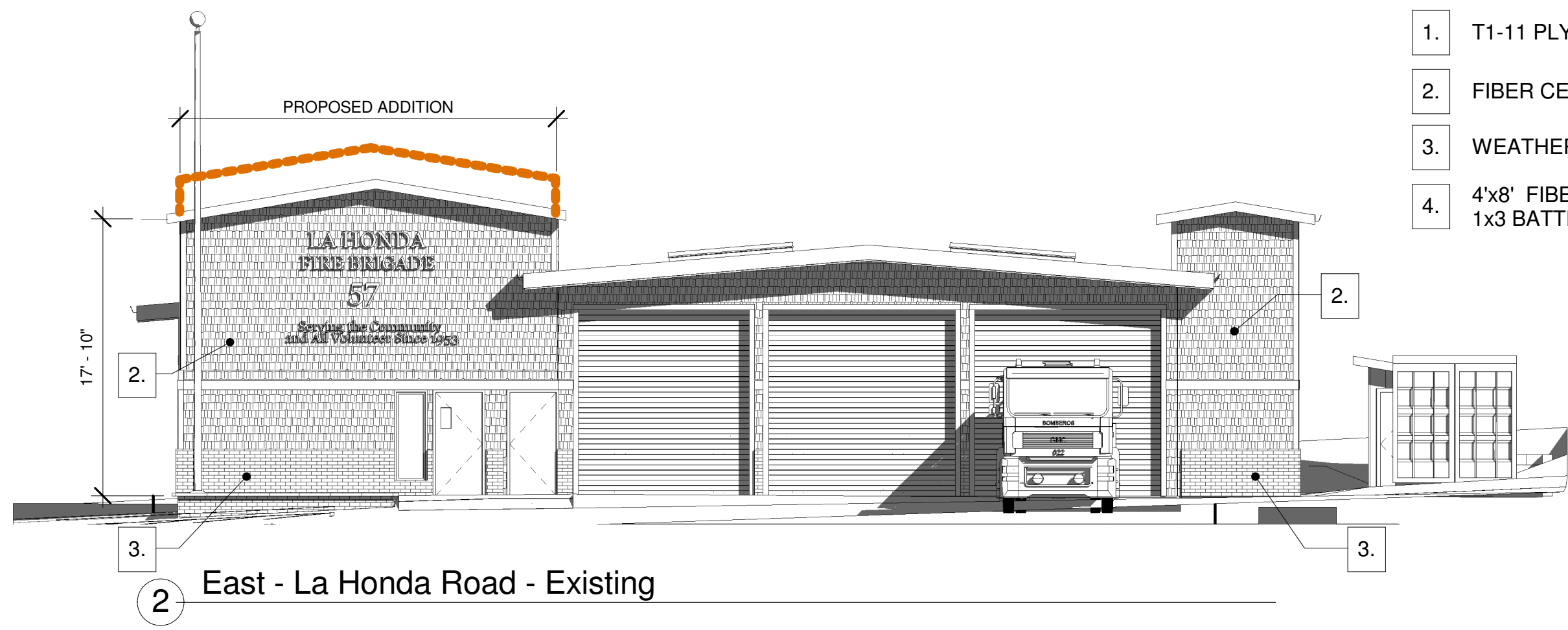
5 West - Existing



3 North - Existing



4 South - Existing



2 East - La Honda Road - Existing



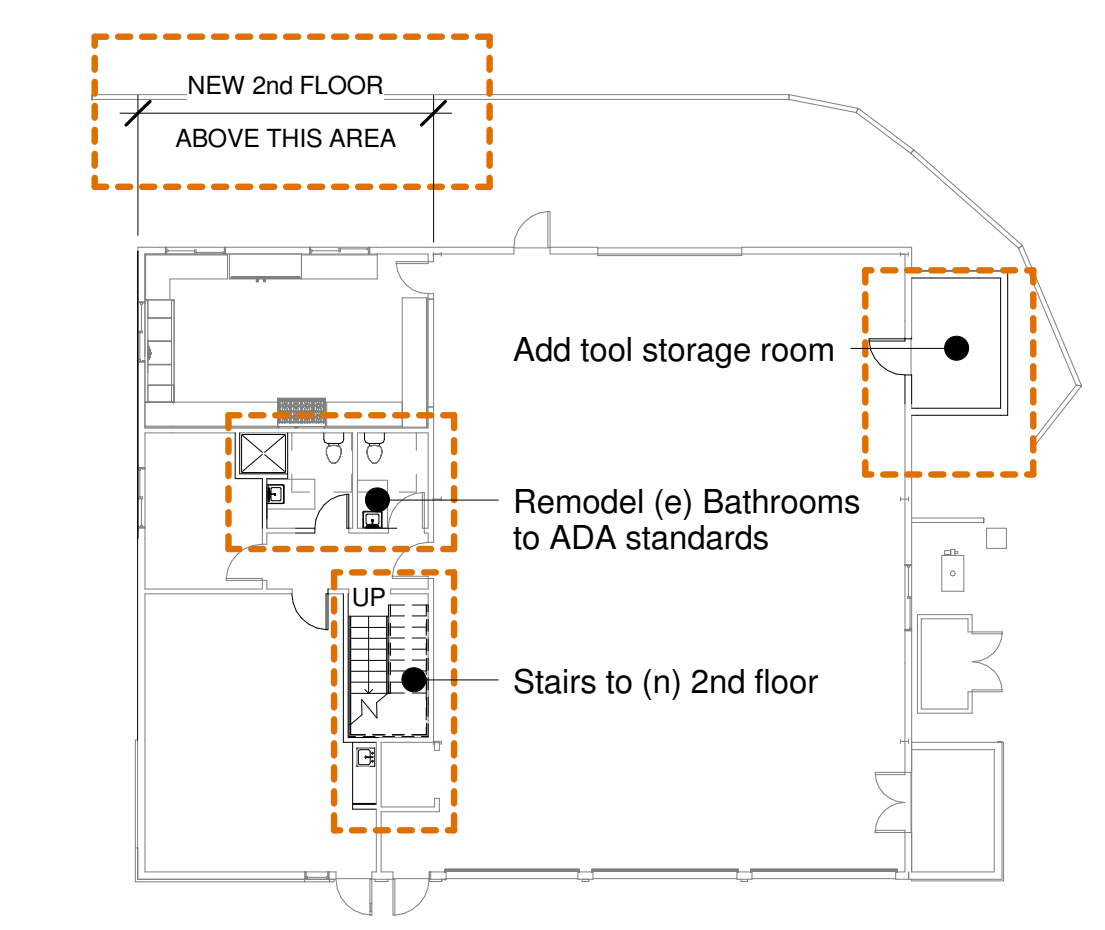
8 La Honda Street South



7 La Honda Street - East

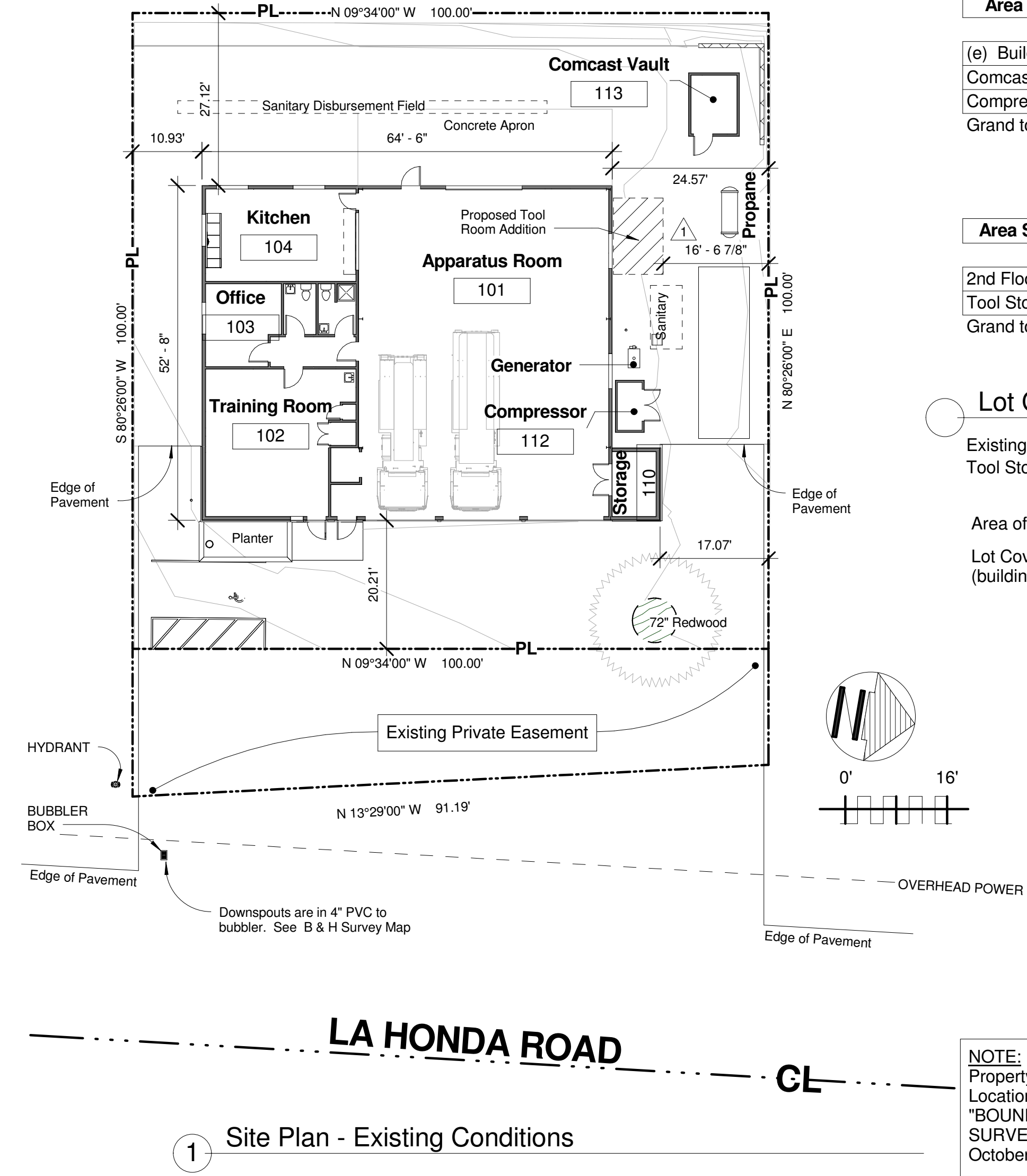
EXTERIOR MATERIALS KEY

1. T1-11 PLYWOOD - PAINTED
2. FIBER CEMENT SHINGLE - PAINTED
3. WEATHERED EDGE STONE VENEER.
4. 4"x8" FIBER CEMENT SIDING w/ 1x3 BATTEN at 12" CENTER



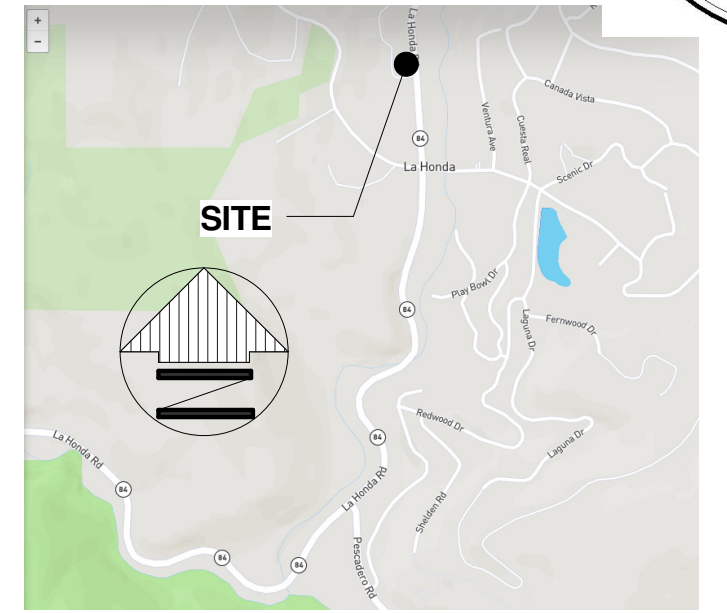
SCOPE OF PROPOSED NEW WORK

1. ADD 2nd FLOOR STORAGE ABOVE EXISTING OFFICES AND KITCHEN.
2. ADD NEW STAIR TO 2nd FLOOR.
3. REMODEL EXISTING BATHROOMS TO ADA STANDARDS.
4. ADD TOOL & STORAGE ROOM AT GROUND FLOOR.
5. ADD WET STANDPIPE FIRE SPRINKLER SYSTEM.



1 Site Plan - Existing Conditions

VICINITY MAP



PROJECT DATA

ASSESSORS PARCEL NUMBER: 083-014-040
SITE AREA: 10,000 S.F.
TYPE OF CONSTRUCTION: V-N
OCCUPANCY CATEGORY: B & S

Area Schedule - Existing Building

(e) Building Ground Floor	3482 SF
Comcast Vault	80 SF
Compressor	38 SF
Grand total: 3	3599 SF

Area Schedule - New Construction

2nd Floor Addition	1296 SF
Tool Storage	100 SF
Grand total: 2	1396 SF

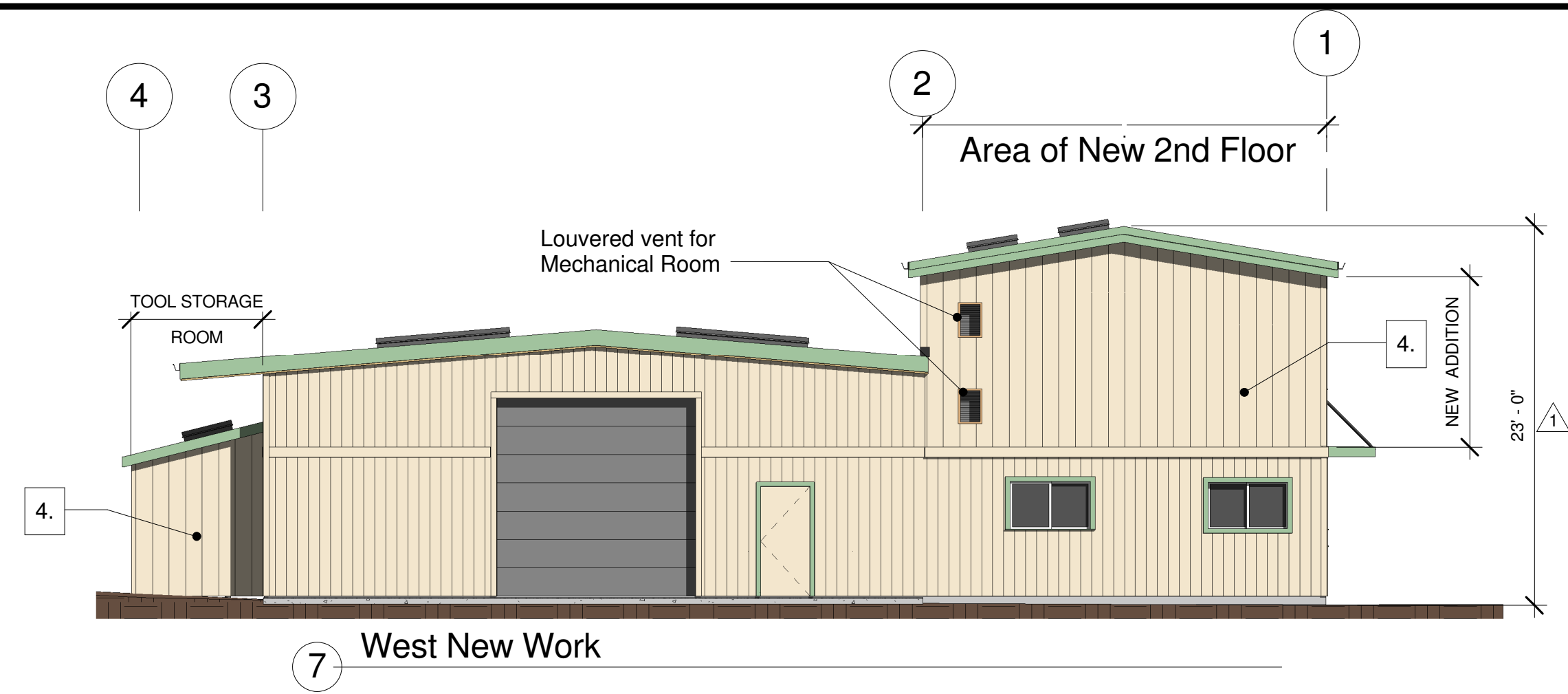
Lot Coverage

Existing Buildings Area	3,599 sf
Tool Storage Room Addition	99 sf
Total	3,698 sf
Area of Site:	10,000 sf
Lot Coverage (building area/site)	37%

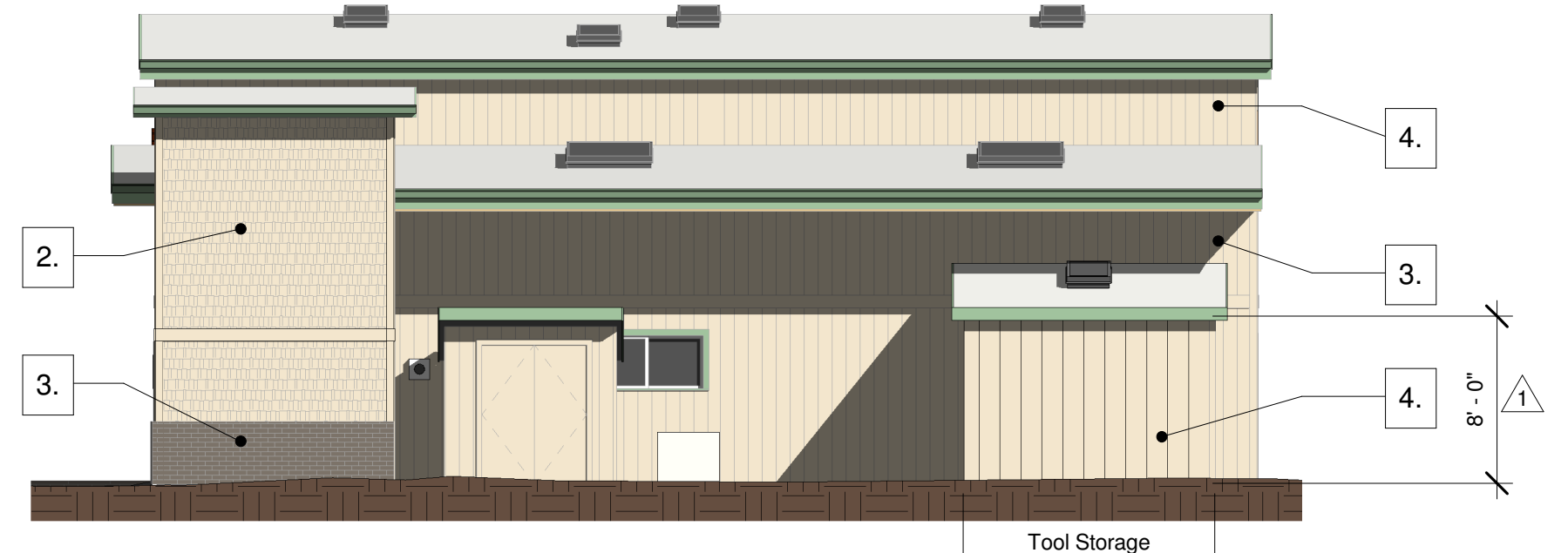
Drawing List

- upa 1 Existing Conditions & Scope of Proposed Work
- upa 2 Floor Plans & Elevations NEW WORK
- upa 3 Site Existing Sanitary System B&H Boundary & Partial Survey

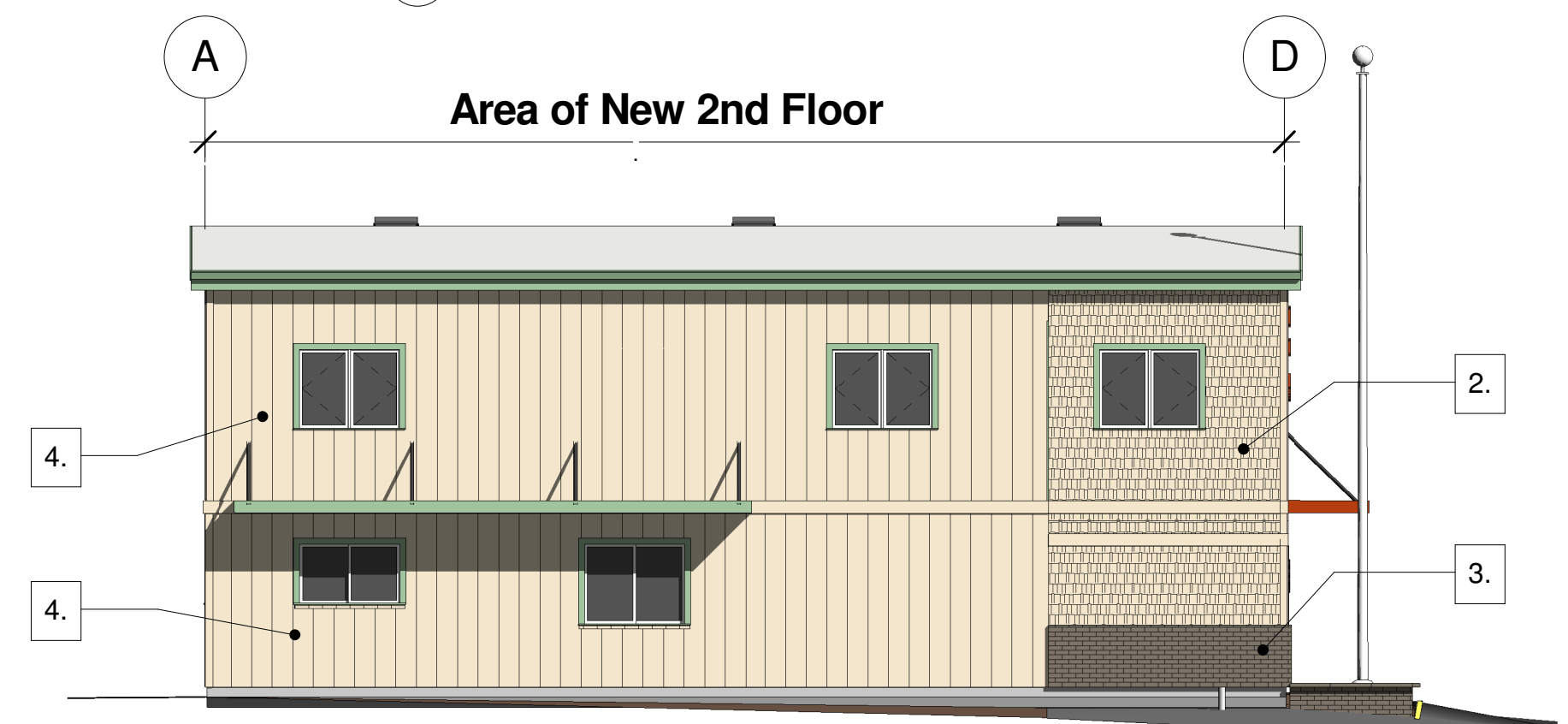
NOTE: Property Line, Site Topography, Building Location data referenced from the "BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY" by B&H SURVEYING, dated October, 2018.



7 West New Work



8 North - New Work

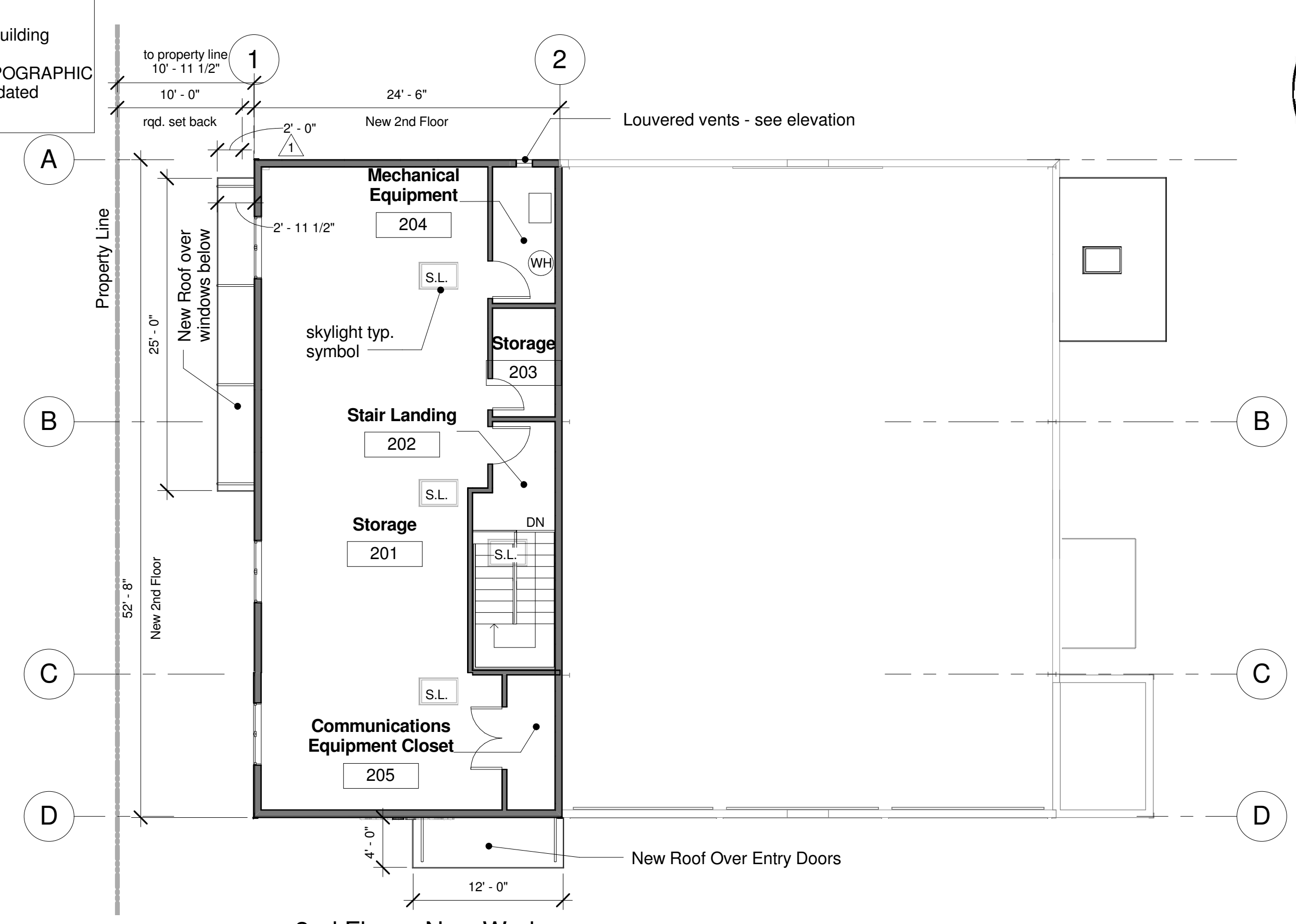


5 South New Work

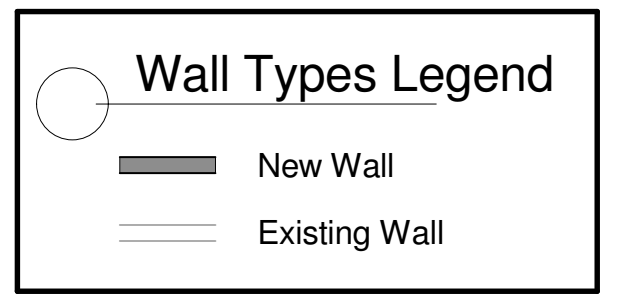


6 East (Street) - New Work

NOTE:
Property Line, Site Topography, Building
Location data referenced from the
"BOUNDARY AND PARTIAL TOPOGRAPHIC
SURVEY" by B&H SURVEYING, dated
October, 2018.



3 2nd Floor - New Work

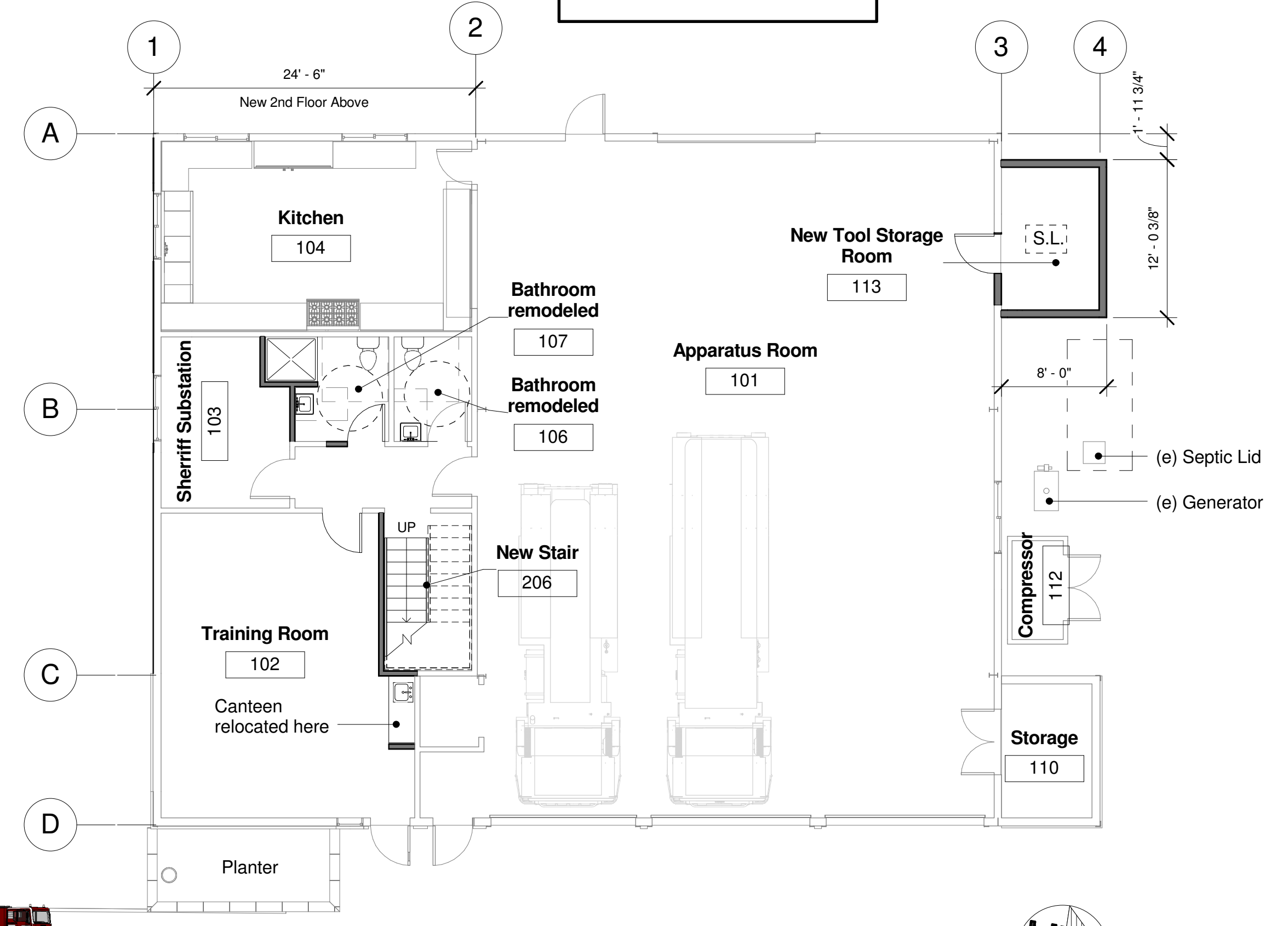


EXTERIOR MATERIALS KEY

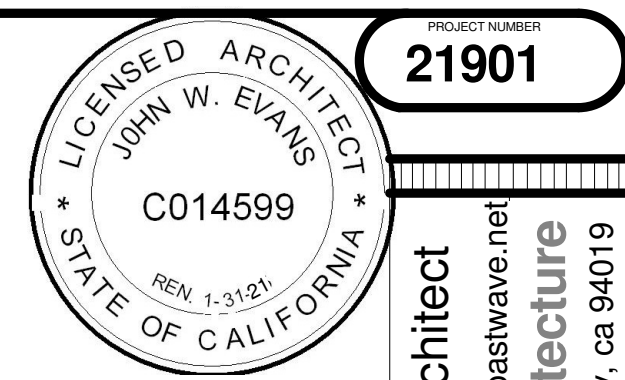
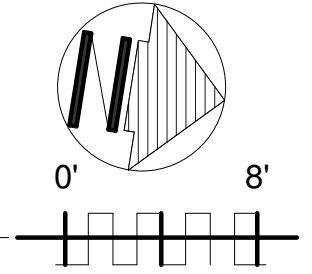
- 1. T1-11 PLYWOOD - PAINTED
- 2. FIBER CEMENT SHINGLE - PAINTED
- 3. WEATHERED EDGE STONE VENEER.
- 4. 4x8" FIBER CEMENT SIDING w/
1x3 BATTEN at 12" CENTER



1 View from South on 84



4 Ground Floor - New Work



PROJECT NUMBER
21901

John W. Evans architect
650 726 5855 evansjmb@coastwave.net
environmental architecture
827 Purissima St. Half Moon Bay, ca 94019

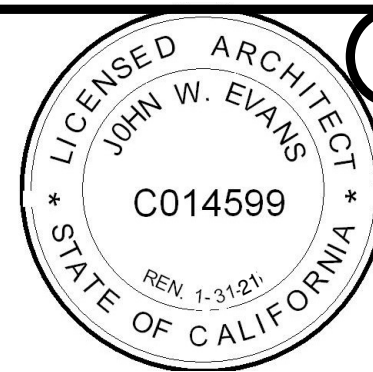
FIRE HOUSE add 2nd FLOOR
La Honda Fire Brigade
8945 La Honda Rd. La Honda Ca. 94020

Date: February 4, 2020
Action: Use Permit Amendment
Planning Review Comments
Date: 11 May, 2020

Sheet Issue Date: 5/12/2020 10:26:55 AM
Floor Plans & Elevations
NEW WORK

Sheet Number:





PROJECT NUMBER
21901

John W. Evans architect
650 726 5855 evanshmb@coastwave.net
environmental architecture
627 Purissima St. Half Moon Bay, ca 94019



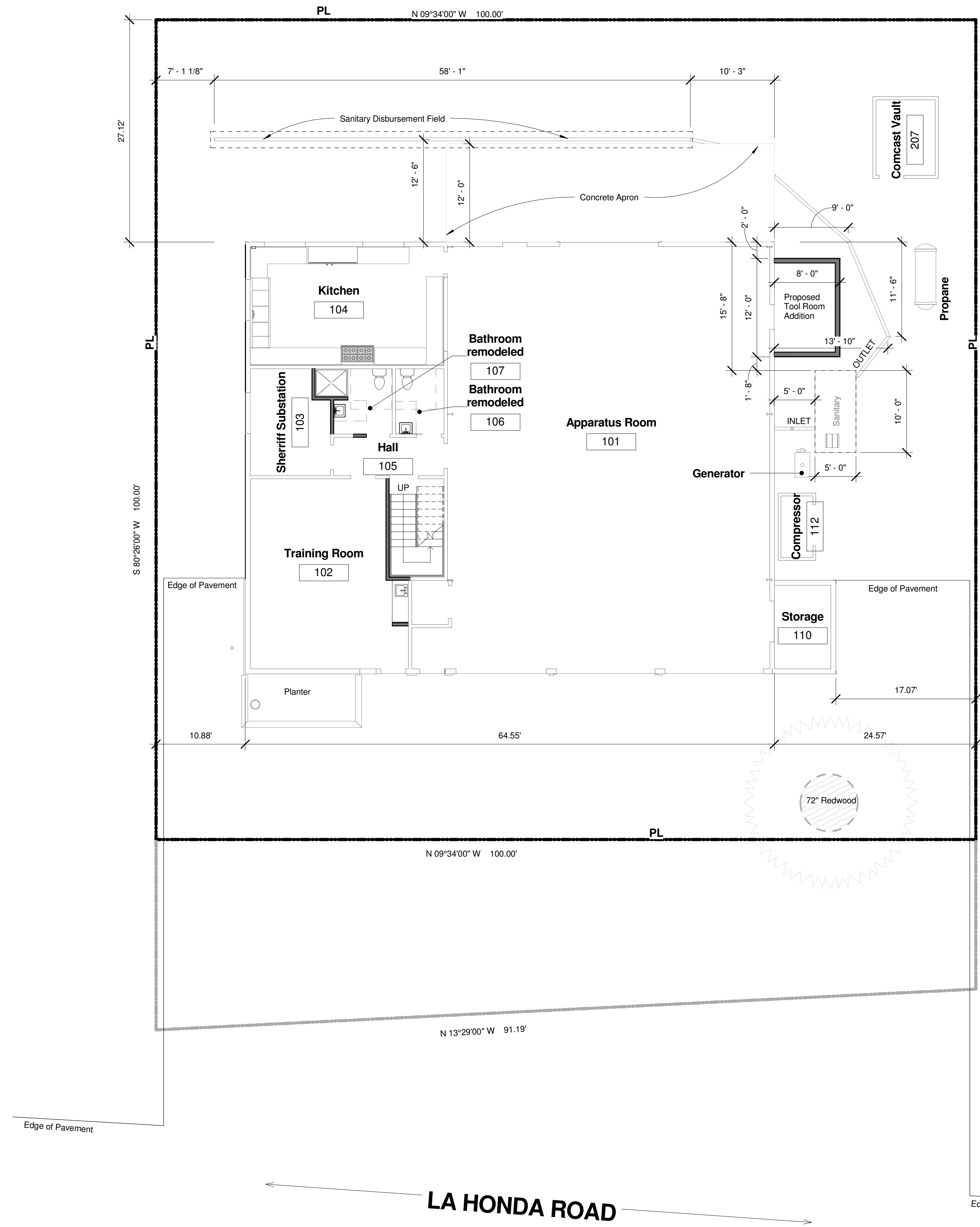
FIRE HOUSE add 2nd FLOOR
La Honda Fire Brigade
8945 La Honda Rd. La Honda Ca. 94020

Action: Use Permit Amendment
Planning Review Comments
Date: February 4, 2020
11 May, 2020

Sheet Issue Date: 5/12/2020 10:28:11 AM

Sheet Number:

upa 3



1 Site Plan - Existing Sanitary System

LA HONDA ROAD