



The proposed project consists of a two-story single-family prefabricated modular home with an attached site-built garage and site-built decks. Given the careful selection of materials and overall siting of the proposed home, the project relates well to the surrounding neighborhood, complementing it while still maintaining its own individual character. The proposed natural and earth-tone materials relate well to both the surroundings and other nearby homes.

The house is sited parallel with the street and at a distance from the street which corresponds to the adjacent houses. Being a two-story home, the proposed design fits well into a neighborhood which is composed predominantly of two-story homes. The scale of the house is also similar to that of the surrounding houses, thus fitting into the existing scale and bulk of the area.

The proposed design was carefully sited to relate to the existing grade of the hill it sits on. It should be noted that the proposed home is a modular prefabricated design which requires a stem-wall foundation. This system also requires its footprint to be flat and cannot be stepped up hill. With that in mind, the house was pushed away from the street while the site-built garage was placed in front (downslope), creating a staggered massing which steps up from the street, thus minimizing the overall visual impact.

The proposed retaining walls have also been designed to respect the natural topography and to respond to human scale by following the existing slope of the lot, avoiding large, blank, uninterrupted vertical surfaces. This minimizes their visual impact on the site, while still serving their function of tucking-in the rear of the house into the hillside.

The house is a steel-frame factory-built modular structure that is produced in Southern California by Connect Homes. Most of the construction (90% approximately) is completed at the factory, leaving the time required for site work to only 3 months, compared to a 1.5-year build schedule for traditional construction. This not only is a benefit to the client/owner but also to the neighbors and community, since the construction disturbance is kept to a minimum.

PROJECT DESCRIPTION:

PROPOSED 2-STORY SINGLE FAMILY RESIDENCE WITH AN ATTACHED 2-CAR GARAGE ON A VACANT LOT.

PROJECT INFORMATION:

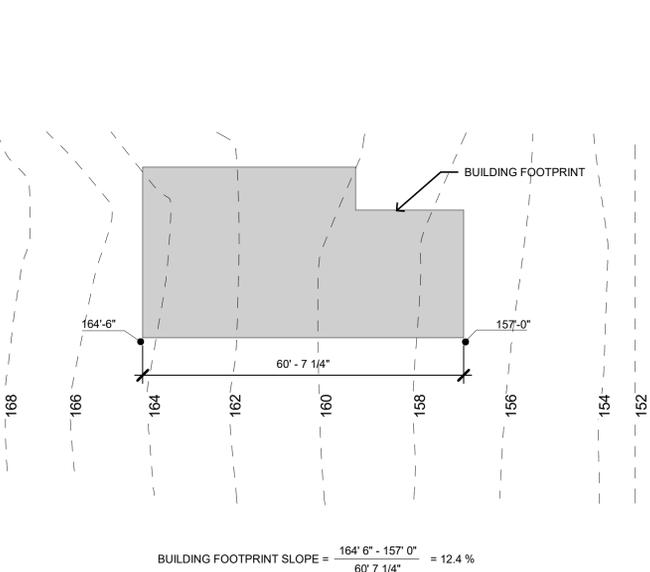
SITE ADDRESS:	VACANT LOT, SIERRA STREET, MOSS BEACH, CA 94038
ASSESSOR'S ID NUMBER:	037-147-030
ZONING:	R-1/S-17/DR/CD
FRONT SETBACK:	20 FT
REAR SETBACK:	20 FT
SIDE SETBACK:	15 FT COMBINED TOTAL, MIN. 5 FT ON ANY SIDE
LOT SIZE:	5,738.7 SF
MAX. PARCEL COVERAGE: (BLDG., DECKS, ETC., 18" ABOVE GRADE)	35% OF 5,738.7 SF = 2,008.5 SF
PROPOSED PARCEL COVERAGE:	1,969 SF
MAX. BUILDING FLOOR AREA:	0.53 x 5,738.7 SF = 3,041.5 SF
PROPOSED TOTAL BUILDING FLOOR AREA:	2,466 SF = 0.43
1ST LEVEL FLOOR AREA:	960 SF
2ND LEVEL FLOOR AREA:	960 SF
GARAGE FLOOR AREA:	546 SF
MAX. BUILDING HEIGHT: (UP TO 30% SLOPE)	28 FT (PROJECTED NATURAL GRADE)
PROPOSED BUILDING HEIGHT:	27 FT, 1 IN
BUILDING FOOTPRINT SLOPE:	12.2%
MAX. IMPERVIOUS SURFACE AREA:	10% OF 5,738.7 SF = 573.9 SF
PROPOSED IMPERVIOUS SURFACE AREA:	453 SF
PARKING:	2 SPACES, COVERED
CONSTRUCTION TYPE:	TYPE V-B
CLIMATE ZONE:	3
OCCUPANCY TYPE:	R3
WUI:	NON-VHFHSZ

PERSPECTIVE AND NOTE OF CONFORMITY TO DESIGN REVIEW STANDARDS NO SCALE 6

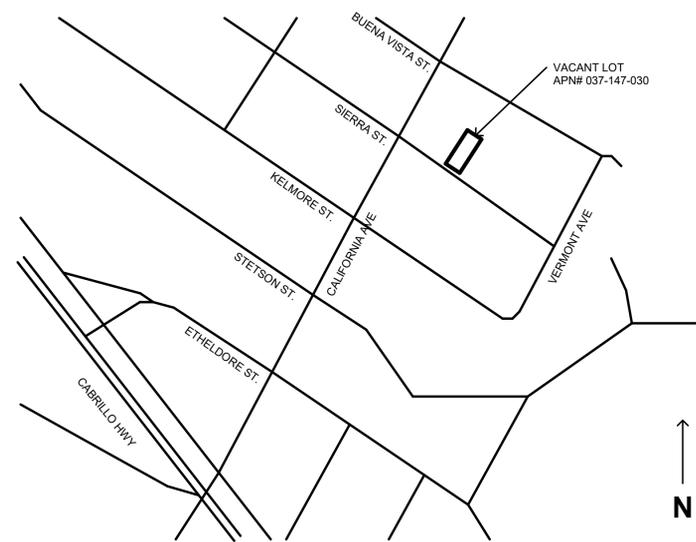
PROJECT INFORMATION NO SCALE 3

THE BUILDING WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM.

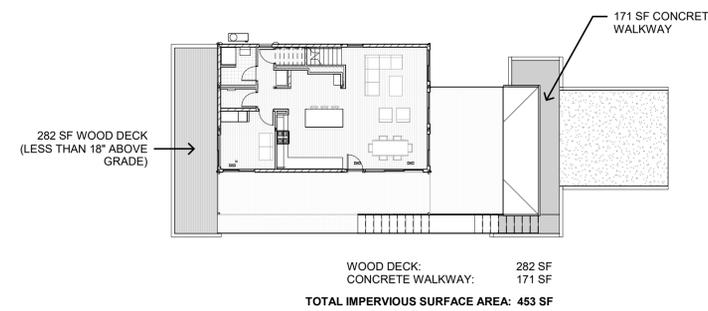
COASTSIDE FIRE PROTECTION DISTRICT NOTES 9



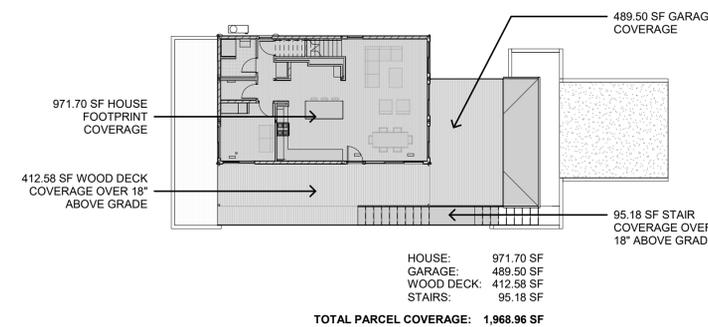
BUILDING FOOTPRINT SLOPE DIAGRAM 8



LOCATION MAP 7



IMPERVIOUS SURFACE AREA 1/16" = 1'-0" 5



PARCEL COVERAGE 1/16" = 1'-0" 4

D-SHEET INDEX

Sheet Number	Sheet Name
D-0.1	TITLE SHEET
D-0.2	SAMPLE PROJECTS FROM CONNECT HOMES
D-0.3	COLORS AND MATERIALS
D-0.4	SITE PHOTOS
D-1.0	SITE SURVEY
D-1.1	SITE PLAN
D-1.2	TREE PLAN
D-2.0	FLOOR PLANS
D-2.1	FLOOR AND ROOF PLANS
D-3.0	EXTERIOR ELEVATIONS
D-3.1	EXTERIOR ELEVATIONS
D-3.2	BUILDING SECTIONS

SHEET INDEX NO SCALE 2

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info@connect-homes.com

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San Bernardino, CA 92408

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8th St. Construction @ Consulting
619 906 0202 TEL
reza@8thstreets.com

CIVIL ENGINEER:
Upright Engineering
3641 Mt. Diablo Blvd., #1841
Lafayette, CA 94549
925 275 5304 TEL
austin@uprightengineering.com

GEOTECHNICAL ENGINEER:
Haro, Kasunich & Associates
116 East Lake Ave
Watsonville, CA 95076
831 722 4175 TEL

SURVEYOR:
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1206 S. Amphlett Blvd., Suite 3
San Mateo, CA 94402
650 212 1030 TEL
www.bgtsurveying.com
bgtinfo@bgtsurveying.com

ARBORIST:
Precision Tree Care
PO Box 410
Pacifica, CA 94044
650 355 1277 TEL

GENERAL CONTRACTOR:
TBD

OWNER:
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Monica Yuan
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jrodriguez0331@yahoo.com



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MODEL HOME
CONNECT 6T

SHEET SET
DESIGN REVIEW

SHEET TITLE
TITLE SHEET

SHEET, SHEET / MODEL / SET NUMBER HOME
D-0.1

PROJECT DIRECTORY NO SCALE 1

Family Ties

In Santa Monica, a couple go all in on a prefab home that's flexible and accessible and unabashedly part of their neighborhood.



Universal Design and affordable housing apartment in the hills of T.J. Hill and Jay Helmerman when they asked David Levy and Gordon Stott of Connect Homes to replace their cramped bungalow with a modern

prefab. Since the firm's previous job 15 feet wide, but the architects used the remaining space for a deck, creating a flexible and accessible front-floor plan.



T.J. and Jay's daughter, Chloe, color of an American Home fabric from Anthropologie (left). The dining area features a custom Euro Swivel table for Knoll and vintage Arne Jacobsen chairs by Fritz Hansen (above left). Richard's appliances.



Since launching their Los Angeles-based prefab company Connect Homes, David Levy and Gordon Stott have worked with scores of modern-design lovers to build their dream homes. But when they received a query from prospective clients complete with concept drawings rendered to look as though they'd been picked from the architect's own canon, an incredulous Stott emailed back asking, "Who are you?"

The couple—disability rights attorney and mental health advocate T.J. Hill and Emmy-winning production designer Jay Helmerman—had clearly done their homework. And their dilemma was one that many of Stott and Levy's clients share: Their older home was ripe for replacement, but they had neither the budget nor the time for a ground-up custom build. Moving wasn't an option. They loved

their Santa Monica neighborhood—an established enclave on the border of Venice—but the charm had worn off the 850-square-foot house they had purchased in 2000. They'd coped with the limited square footage, the water damage, even the termite that raised down from the ceiling, but the steep entry stairs, narrow doorways, and cramped interior presented significant obstacles to T.J.'s younger sister, >



"We always knew we wanted to do prefab—here it is something interesting and beautiful that adds to the character of the street," says T.J. (in deck, below, with Jay, left, and Chloe). "There weren't many options for staying in the area with a growing family," notes Stott.



In the living room, a vintage Danish chair from a well-known upholsterer in Knoll fabric (above). The Nelson Ball clock is from Vitra and the three pillows include a Jonathan



Adler Seashore design. Acacia flooring from Shaw's Hardwood Flooring was used throughout. A George Nelson bubble lamp hangs in the stairwell (right).

Melissa, who has cerebral palsy and uses a wheelchair, when she visited from Florida. Things reached a breaking point when the couple's household expanded to include their daughter, Chloe. "There were lots of things about the house that didn't work," says T.J., who also serves on the City of Santa Monica Disabilities Commission. "Those barriers are highlighted every day when you have a child and you're just trying to get a stroller in and out." Rebuilding was in order, but the couple wondered if they could construct a house that not only was accessible, affordable, and environmentally friendly, but would adapt to their needs in the coming years. "More and more of our clients are fitting this mold," Levy explains. "They own homes that were designed for consumer



In the living room, a vintage Danish chair from a well-known upholsterer in Knoll fabric (above). The Nelson Ball clock is from Vitra and the three pillows include a Jonathan

Adler Seashore design. Acacia flooring from Shaw's Hardwood Flooring was used throughout. A George Nelson bubble lamp hangs in the stairwell (right).



Hill-Helmerman House
 ARCHITECT: Connect Homes
 LOCATION: Santa Monica, California



have a bedroom on the ground floor," notes Stott. "But T.J. and Jay knew exactly how they would make it fit for their program and lifestyle needs." Similarly, the couple's desire for expansive windows translates to rooms flooded with light and opens up the house to the street. "Garden and Jared kept asking, 'Are you sure you want this many windows?'" Jay recalls. Continues T.J. "At night, you can see us living in our house. We're making dinner. Chloe is reading a book. A lot of our neighbors have said, 'But we can see into the house. We have sun shades, but when we were thinking about the house, we were thinking about really being part of the neighborhood. We did something that breaks molds for the neighborhood and for what people think about modern and indoor/outdoor living.'"

Levy and Stott are delighted that they could give their clients a home that will meet their needs for the long run. "The core of the business is trying to make architecture more accessible for everybody," says Stott. "And that's truly at the bottom of the modernist idea. Better design doesn't have to be expensive. That was the idea more than a hundred years ago, and it's the same idea now."

A Curtis Jew sculpture hangs above a bed from CB2 in the upstairs bedroom (above). The Land of Nod (below) chair is by Phillip Stark for Kartell. The vintage glass table in the room (left). The vintage wall tie

is from Cuffie. The floor tie is by a Eileen Gray bed and nightstand from The Land of Nod (below). The roller blinds throughout are from Steve's Blinds and Wallpaper.



"While we're aging in place, our needs are constantly changing. This house is adaptable and responsive to those changes."
 T.J. HILL, RESIDENT

ARTICLE IN DWELL MAGAZINE ON 1600SF SANTA MONICA CONNECT 4+2 JULY/AUG 2017



VIEW THROUGH CONNECT 10 2



DOUBLE HEIGHT SPACE IN CONNECT 10 3



LIVING ROOM/DINING ROOM IN CONNECT 10 4



CONNECT 10 KITCHEN (FROM COVERED DECK) 5



CONNECT 10 FROM REAR OF HOUSE 6



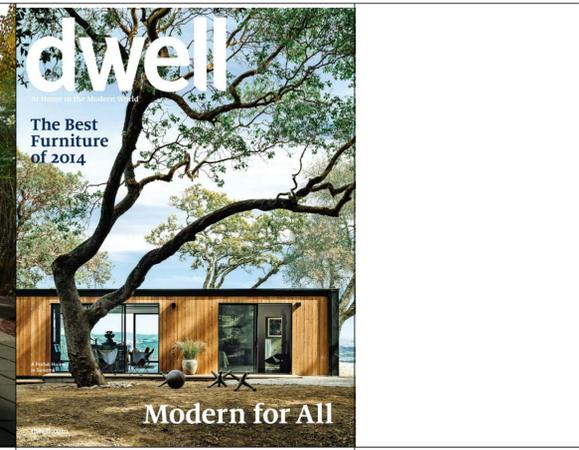
CONNECT 5 IN MENDOCINO 7



UPCOMING CONNECT 6 AND CONNECT 2 PROJECT IN TEXAS 8



UPCOMING CONNECT 8 IN PALO ALTO 9



1ST CONNECT HOME ON COVER OF DWELL 10



UPCOMING CONNECT 4 PROJECT IN SANTA YNEZ 11



UPCOMING CONNECT 8 PROJECT IN PALO ALTO 12



DWELL COVER 2012 13



MENDOCINO PREFAB PROJECT MASTER BEDROOM 14

706 S. HILL STREET, STE. 1060
 LOS ANGELES, CA 90014
 t: 310.622.9271
 e: info@connect-homes.com

CONNECT 6T: RODRIGUEZ
 RESIDENCE
 VACANT LOT, SIERRA STREET
 MOSS BEACH, CA 94605

DATE ISSUED
 03.26.20

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MODEL HOME
 CONNECT 6 - TWO STORY
 SHEET SET
 DESIGN REVIEW

SHEET TITLE
 SAMPLE PROJECTS FROM CONNECT HOMES

SHEET, SHEET / MODEL SET NUMBER HOME

D-0.2

connect-homes

PROPOSED WOOD SIDING: STK CEDAR WITH SHERWIN WILLIAMS SEMI-TRANSPARENT STAIN "CEDAR BARK" SW 3511

PROPOSED WOOD SIDING: STK CEDAR WITH SHERWIN WILLIAMS SEMI-TRANSPARENT STAIN "CHARWOOD" SW 3541

PROPOSED METAL AWNINGS/GUTTERS/DOWNDRAINS: METAL SALES "MATTE BLACK" 106

PROPOSED DOOR AND WINDOW ALUMINUM FRAMES: DARK BRONZE ANODIZED



EXTERIOR SIDING MATERIALS NO SCALE 7

Metal Sales COLOR GUIDE

PVDF (Kynar 500®) Paint System

Standard Stacked Colors

Standard White (01)	Glacier White (02)	Almond (03)	Desert Tan (04)
Sandstone (05)	Leaves White (06)	Sandstone (07)	Weathered Copper (08)
Dark Bronze (09)	Khaki (10)	Classic Green (11)	Old Zinc Gray (027)
Colonial Red (025)	Terra Cotta (022)		

Standard Non-Stocked Colors

Paintwork (074)	Tape (17)	Medium Bronze (14)	Maroon Brown (13)	Matte Black (18)
Appl Copper (6)	Palms Green (054)	Redwood Green (06)	Foli Green (054)	True Teal (5)
Ash Gray (25)	Old Zinc Gray (025)	Slate Gray (028)	Patrol Red (7)	Burgundy (19)
Teal Blue (071)	Green Blue (26)	Royal Blue (023)	Champagne Metals (154)	Antique Patina (87)

45 Year Paint Warranty

22 GAUGE

METAL SIDING NO SCALE 5

STANDARD COLORS

CUSTOM PAINT OPTION

COLOR BLAST

Color Blast offers more than 1,500 Sherwin-Williams® color options to complement your home. This double top-part paint system has been thoroughly tested and is backed by a five-year warranty.

ADDITIONAL FEATURES

- Tongue-and-groove section joints help seal out wind, rain and snow.
- Replaceable vinyl bottom weatherseal in a rust-resistant aluminum retainer helps seal out the elements.
- Patented Side-Tighten® helps prevent annual injury that could occur if the bottom bracket were removed with the garage door closed and under tension.
- Color-matched exterior step plate/handle handles are durable and allow for easy opening and closing of your door.
- 2" thick polystyrene doors and all IntellCore® doors comply with 2015 IECC air infiltration requirements of 0.16 CFM50 or less (ICC Section C402.2.5).
- See your Clippy Dealer for IntellCore® door availability. IntellCore® doors are not available in all markets.

ULTRA-GRAIN® PAINT OPTION

Ultra-Grain® paint finishes your door with a natural wood-grain texture to create a more natural appearance.

HEAVY-DUTY HARDWARE

2" thick polystyrene doors and all IntellCore® doors come standard with 10 ball nylon rollers and heavy-duty 14 gauge steel hinges.

WARRANTIES

LIFE | 10 YR | 3 YR

MODEL AVAILABILITY

DOOR DESIGNS

DOOR DESIGN	1" POLYURETHANE	2" POLYURETHANE	2" POLYURETHANE	2" POLYURETHANE	2" POLYURETHANE
WOOD GRAIN	9002	9102	4302	4302	4302
MODERN GROOVED	9001	9101	4301	4301	4301
MODERN GROOVED	9003	9103	4303	4303	4303
MODERN GROOVED	9005	9105	4305	4305	4305
MODERN GROOVED	9009	9109	4309	4309	4309

MODERN STEEL™ collection

Modern Steel™ Collection garage doors complement contemporary and mid-century modern home styles. Doors are available with or without windows and with or without grooves in the panels. All are available in multiple panel and Ultra-Grain® finishes to create the perfect look for your home.

AVAILABLE WITH intellicore® insulation technology

WARMER Energy efficient polystyrene insulation reduces year-round comfort.

QUIETER Dense insulating material reduces noise by up to 10 dB.

STRONGER Enhanced strength means easy-to-use and long-lasting.

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LOS ANGELES, CA 90014
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e: info@connect-homes.com

connect-homes

GARAGE DOOR NO SCALE 3

HINKLEY & R.

ATLANTIS 9640R-LED

DEPTH	5 1/2"
HEIGHT	4 1/2"
WIDTH	12 1/2"
FINISH	EXTRUDED ALUMINUM
GLASS	EXTRUDED GLASS LENS
DRIVE	TRIPLE MOTOR
DRIVE	YES
LED INFO	LED
LED	LED
COLOR TEMP	3000K
CRI	90
BEAM ANGLE	100°
INSTALLATION	RECESSED
NOTE	THIS IS A DIMENSIONAL DRAWING. FOR MORE INFORMATION, PLEASE CONTACT OUR CUSTOMER SERVICE DEPARTMENT.
EXTENSION	4 1/2"
FINISH	EXTRUDED ALUMINUM
CERTIFICATION	CUSTOMER BUILT
WARRANTY	5 YR
LED	9640R-LED

Sherwin-Williams Stain Color

WoodScape Exterior Polyurethane Semi-Transparent House Stain - Sherwin-Williams

Select a Color

SW 1001 Redwood Exterior	SW 1002 Mahogany Exterior	SW 1003 White Oak Exterior
SW 1004 Chestnut Exterior	SW 1005 Tobacco Exterior	SW 1006 Espresso Exterior
SW 1007 Espresso Exterior	SW 1008 Espresso Exterior	SW 1009 Espresso Exterior
SW 1010 Espresso Exterior	SW 1011 Espresso Exterior	SW 1012 Espresso Exterior
SW 1013 Espresso Exterior	SW 1014 Espresso Exterior	SW 1015 Espresso Exterior

Sherwin-Williams Stain Color

WoodScape Exterior Polyurethane Semi-Transparent House Stain - Sherwin-Williams

SW 1016 Espresso Exterior	SW 1017 Espresso Exterior	SW 1018 Espresso Exterior
SW 1019 Espresso Exterior	SW 1020 Espresso Exterior	SW 1021 Espresso Exterior
SW 1022 Espresso Exterior	SW 1023 Espresso Exterior	SW 1024 Espresso Exterior
SW 1025 Espresso Exterior	SW 1026 Espresso Exterior	SW 1027 Espresso Exterior
SW 1028 Espresso Exterior	SW 1029 Espresso Exterior	SW 1030 Espresso Exterior

CONNECT 6T: RODRIGUEZ RESIDENCE
VACANT LOT, SIERRA STREET
MOSS BEACH, CA 94038

GARAGE MAN DOOR NO SCALE 6

OUTDOOR LIGHTING NO SCALE 4

WOOD SIDING AND DECKING NO SCALE 2

ALL WEATHER ARCHITECTURAL ALUMINUM

THE SERIES 5000 WINDOW SYSTEM

The Series 5000 protected window is our most affordable thermally broken product, offering a four-paned design thermal break, the 5000s four most cost-effective way of securing energy efficient custom window without sacrificing performance or aesthetics. With non-sag equal leg comp. channel and integral recessed pointing frame options, this window system provides the best of both worlds: performance and weather-tight.

Our Series 8000 Low-E insulated glass hardened aluminum that boasts a 1-4" rating for strength and durability. This is a window built to last with a well-thickness that meets or exceeds commercial window standards.

Economical, durable and beautiful, the series 5000 finds the sweet spot where functionality meets elegance. You can just call it "Gorgeous Practicality."

FEATURES

- 2" Frame, Milled Corners
- Four-paned Thermally Broken Frame
- Panel, Casement, Awning & Tugger
- Outside Glass

FRAME OPTIONS

- Standard Inset On
- Pointing Inset On
- Equal Leg / Comp Channel
- 2" Inset

GLAZING OPTIONS

- 1" CA Insulated Units
- True divided lite - 2 1/4"

HARDWARE OPTIONS

- Bolt operator with built hinges
- Cam handle friction hinge
- Multi-point lock with bolt operator

FINISH OPTIONS

- Clear Anodized, Class I (Standard)
- Bronze Anodized, Class I (Standard)
- Kynar Paint (Color Matching Available)

MARKET & CERTIFICATION

- AIAA Certified Product
- Commercial Rating C50
- Acoustically Rated

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ALL WEATHER ARCHITECTURAL ALUMINUM

THE SERIES 7000 HINGED DOOR SYSTEM

With the 7000 hinged door, structural excellence and the latest technology unite to keep you comfortable, safe and secure. Showcasing sublime European design, this magnificent door is equally suited for use in everything from historic town centers to contemporary commercial buildings and residential architecture.

Our Series 7000 doors ensure high thermal insulation performance, offer excellent acoustic insulation, water tightness and resistance to noise control. With outstanding durability, energy savings and a multi-point locking system, simply calling them "tossamint" does not even come close.

FEATURES

- 3 1/2" Frame, Inset or Overlaid Outside
- Max door panel size 48" W x 42" H (6'6" max H) (2" or Standard 55" H) (3'6" max W)
- Inset or Overlaid Outside
- Thermally Broken Frame - Thermal Break System

FRAME OPTIONS

- Nail On, Pointing or Equal Leg

GLAZING OPTIONS

- 1" CA Insulated Glass
- True Divided Lite - 2 1/4"

HARDWARE OPTIONS

- Multi-point lock - Keyed lock available

FINISH OPTIONS

- Clear Anodized, Class I (Standard)
- Bronze Anodized, Class I (Standard)
- Kynar Paint (Color Matching Available)
- Split Finishes

MARKET & CERTIFICATION

- AIAA Certified Product
- Commercial Rating

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ALL WEATHER ARCHITECTURAL ALUMINUM

THE SERIES 8000 SLIDING DOOR SYSTEM

Innovative and energy efficient, the 8000 sliding door is ideal for both residential and commercial applications. Held to the highest standards of quality and performance, the 8000 boasts top-to-bottom operation, robust build quality, and a look that will evoke admiration and envy... especially in our massive 8 panel, 12' tall configurations.

The use of multiple thermal breaks help make this door a juggernaut against the elements. With 3" stainless steel rollers and flush mount or pull handles, operation is a breeze. And with keyed or thumb turn locking options you will always feel secure.

Whether you need a simple sliding patio door or an entire wall that opens on your world, the 8000 is a perfect choice.

FEATURES

- Thermally broken frame - Thermal Break System
- Max panel size @ 80 sq. ft.
- 3" Stainless Steel Rollers

FRAME OPTIONS

- Nail on or Equal Leg (Max 1 1/2" max leg on side)

GLAZING OPTIONS

- 1" CA Insulated Glass
- True Divided Lite - 2 1/4"
- Enhanced Noise Reduction

HARDWARE OPTIONS

- Flush mount or standard handle (keyed lock available)
- 3" Stainless Steel Rollers

FINISH OPTIONS

- Clear Anodized, Class I (Standard)
- Bronze Anodized, Class I (Standard)
- Kynar Paint (Color Matching Available)
- Split Finishes

MARKET & CERTIFICATION

- AIAA Certified Product
- Commercial Rating

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ALL WEATHER ARCHITECTURAL ALUMINUM

THE SERIES 8000 SLIDING DOOR SYSTEM

Smooth Operation | Durable Elegance

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Smooth Operation | Durable Elegance

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THE SERIES 8000 SLIDING DOOR SYSTEM

Smooth Operation | Durable Elegance

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Licensed Architect
JARED LEVY
C-33217
08/31/2021
RENEWAL DATE
STATE OF CALIFORNIA

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MODEL HOME
CONNECT 6T

SHEET SET
DESIGN REVIEW

SHEET TITLE
COLORS AND MATERIALS

SHEET, SHEET / MODEL / SHEET NUMBER / HOME

D-0.3

WINDOWS AND SLIDING DOORS NO SCALE 1



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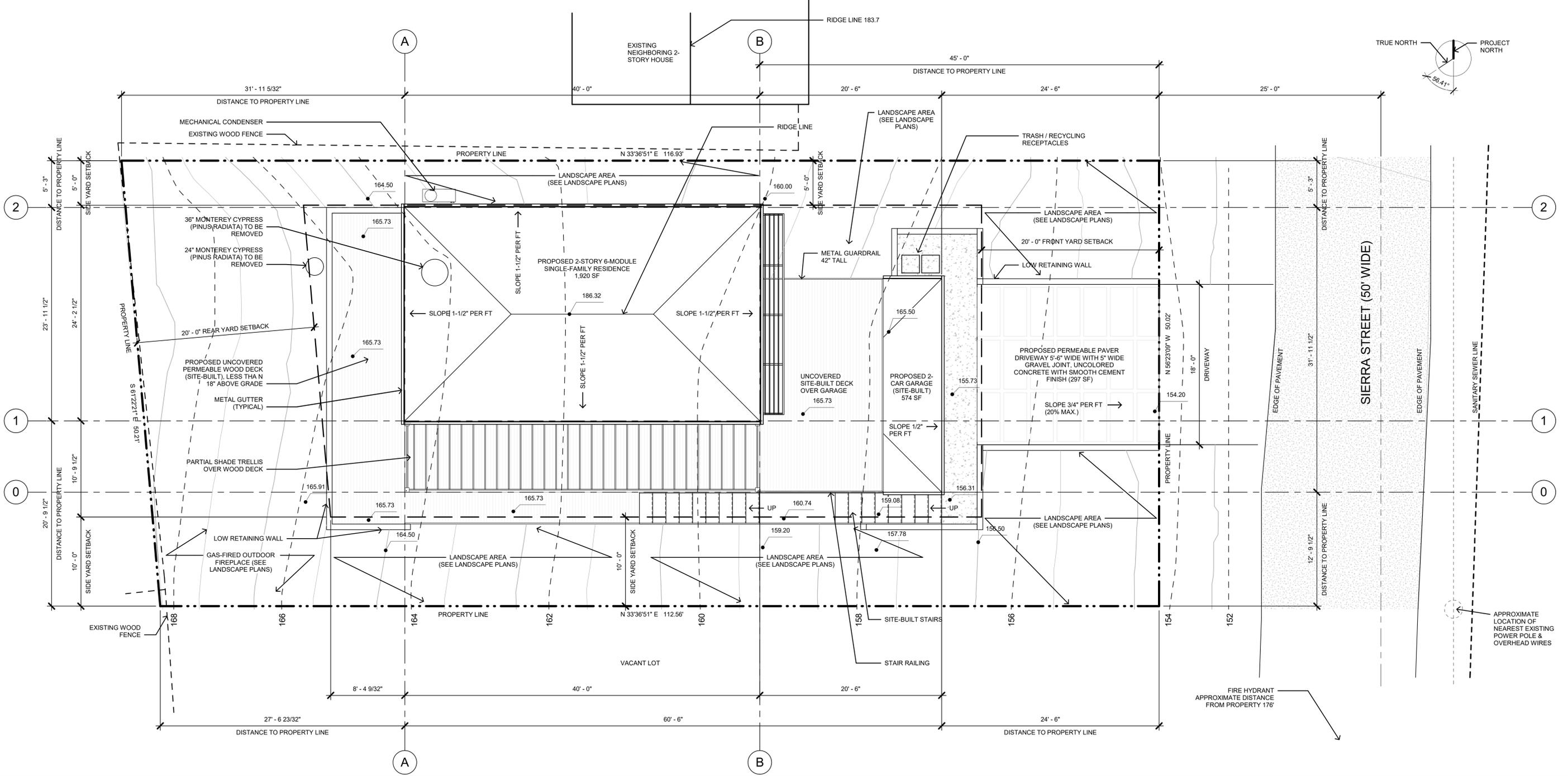
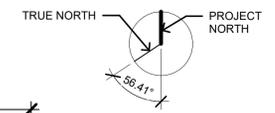
MODEL HOME
CONNECT 6T

SHEET SET
DESIGN REVIEW

SHEET TITLE
SITE PLAN

SHEET, SHEET / MODEL
SET NUMBER HOME

D-1.1

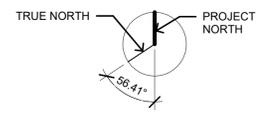
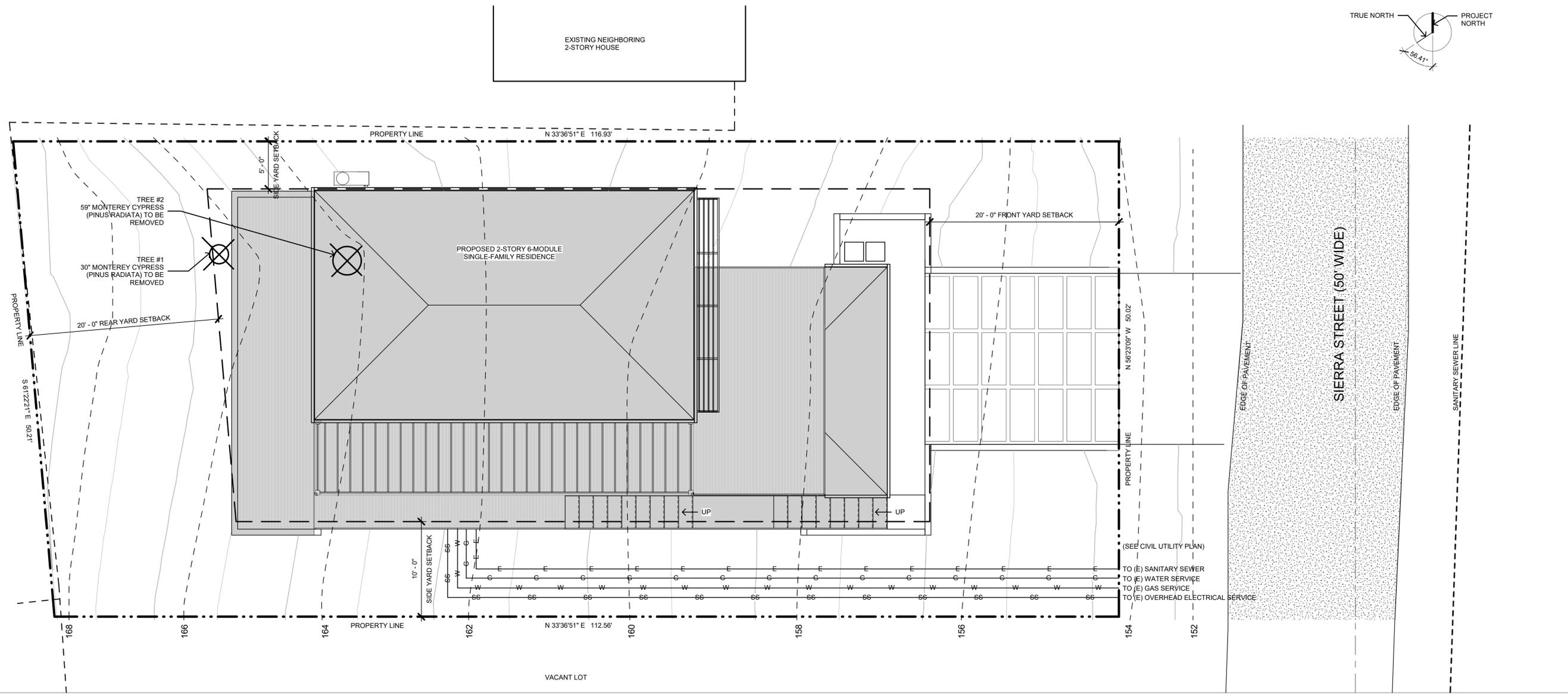


SITE PLAN
3/16" = 1'-0" 2

- COASTSIDE FIRE PROTECTION DISTRICT NOTES:**
- SMOKE DETECTORS WHICH ARE HARD WIRED: AS PER THE CALIFORNIA BUILDING CODE, STATE FIRE MARSHAL REGULATIONS, AND COASTSIDE FIRE DISTRICT ORDINANCE 2016-01, THE APPLICANT IS REQUIRED TO INSTALL STATE FIRE MARSHAL APPROVED AND LISTED SMOKE DETECTORS WHICH ARE HARD WIRED, INTERCONNECTED, AND HAVE BATTERY BACKUP. THESE DETECTORS ARE REQUIRED TO BE PLACED IN EACH NEW AND RECONSTRUCTION SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN EXISTING SLEEPING ROOMS, AREAS MAY HAVE BATTERY POWERED SMOKE ALARMS. A MINIMUM OF ONE DETECTOR SHALL BE PLACED ON EACH FLOOR. SMOKE DETECTORS SHALL BE TESTED AND APPROVED PRIOR TO THE BUILDING FINAL. DATE OF INSTALLATION MUST BE ADDED TO EXTERIOR OF THE SMOKE ALARM AND WILL BE CHECKED AT FINAL.
 - SMOKE ALARM/DETECTOR ARE TO BE HARDWIRED, INTERCONNECTED, OR WITH BATTERY BACK-UP. SMOKE ALARMS TO BE INSTALLED PER MANUFACTURERS INSTRUCTION AND NFPA 72.
 - ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. 5.0 SQ. FT. ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR. (CFC 1030).
 - IDENTIFY RESCUE WINDOWS IN EACH BEDROOM AND VERIFY THAT THEY MEET ALL REQUIREMENTS.
 - NEW RESIDENTIAL BUILDINGS SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING. THE LETTERS/NUMERALS FOR PERMANENT ADDRESS SIGNS SHALL BE 4 INCHES IN HEIGHT WITH 1/2-INCH STROKE. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. WHERE BUILDINGS ARE LOCATED REMOTELY TO THE PUBLIC ROADWAY, ADDITIONAL SIGNAGE AT THE DRIVEWAY/ROADWAY ENTRANCE LEADING TO THE BUILDING AND/OR ON EACH INDIVIDUAL BUILDING SHALL BE REQUIRED BY THE COASTSIDE FIRE DISTRICT. THIS REMOTE SIGNAGE SHALL CONSIST OF A 6 INCH BY 18 INCH GREEN REFLECTIVE METAL SIGN WITH 3 INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).
 - AS PER COASTSIDE FIRE DISTRICT ORDINANCE 2016-01, THE ROOF COVERING OF EVERY NEW BUILDING OR STRUCTURE, AND MATERIALS APPLIED AS PART OF A ROOF COVERING ASSEMBLY, SHALL HAVE A MINIMUM FIRE RATING OF CLASS "B" OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE.

- VEGETATION MANAGEMENT (LRA): THE COASTSIDE FIRE DISTRICT ORDINANCE 2016-01, THE 2016 CALIFORNIA FIRE CODE 304.1.2 A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES. TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO THE ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY. REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPP OR IS WITHIN 5' OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.
- FIRE ACCESS ROADS - THE APPLICANT MUST HAVE A MAINTAINED ASPHALT SURFACE ROAD FOR INGRESS AND EGRESS OF FIRE APPARATUS. THE CITY OF HALF MOON BAY DEPARTMENT OF PUBLIC WORKS, SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS, THE COASTSIDE FIRE DISTRICT ORDINANCE 2016-01, AND THE CALIFORNIA FIRE CODE SHALL SET ROAD STANDARDS. AS PER THE 2016 CFC, DEAD-END ROADS EXCEEDING 150 FEET SHALL BE PROVIDED WITH A TURNAROUND IN ACCORDANCE WITH COASTSIDE FIRE DISTRICT SPECIFICATIONS. AS PER THE 2016 CFC, SECTION APPENDIX D, ROAD WIDTH SHALL NOT BE LESS THAN 20 FEET. FIRE ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO COMBUSTIBLES BEING PLACED ON THE PROJECT SITE AND MAINTAINED DURING CONSTRUCTION. APPROVED SIGNS AND PAINTED CURBS OR LINES SHALL BE PROVIDED AND MAINTAINED TO IDENTIFY FIRE ACCESS ROADS AND STATE THE PROHIBITION OF THEIR OBSTRUCTION. IF THE ROAD WIDTH DOES NOT ALLOW PARKING ON THE STREET (20 FOOT ROAD) AND ON-STREET PARKING IS DESIRED, AN ADDITIONAL IMPROVED AREA SHALL BE DEVELOPED FOR THAT USE.
- AS PER 2016 CFC, APPENDIX B AND C, A FIRE DISTRICT APPROVED FIRE HYDRANT (CLOW 960) MUST BE LOCATED WITHIN 500 FEET OF THE PROPOSED SINGLE-FAMILY DWELLING UNIT MEASURED BY WAY OF DRIVABLE ACCESS. AS PER 2016 CFC, APPENDIX B THE HYDRANT MUST PRODUCE A MINIMUM FIRE FLOW OF 500 GALLONS PER MINUTE AT 20 POUNDS PER SQUARE INCH RESIDUAL PRESSURE FOR 2 HOURS. CONTACT THE LOCAL WATER PURVEYOR FOR WATER FLOW DETAILS.

- AUTOMATIC FIRE SPRINKLER SYSTEM: (FIRE SPRINKLER PLANS WILL REQUIRE A SEPARATE PERMIT), AS PER SAN MATEO COUNTY BUILDING STANDARDS AND COASTSIDE FIRE DISTRICT ORDINANCE NUMBER 2016-01, THE APPLICANT IS REQUIRED TO INSTALL AN AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE PROPOSED OR IMPROVED DWELLING AND GARAGE. ALL ATTIC ACCESS LOCATIONS WILL BE PROVIDED WITH A PILOT HEAD ON A METAL UPRIGHT. SPRINKLER COVERAGE SHALL BE PROVIDED THROUGHOUT THE RESIDENCE TO INCLUDE ALL BATHROOMS, GARAGES, AND ANY AREA USED FOR STORAGE. THE ONLY EXCEPTION IS SMALL LINEN CLOSETS LESS THAN 24 SQUARE FEET WITH FULL DEPTH SHELVING. THE PLANS FOR THIS SYSTEM MUST BE SUBMITTED TO THE SAN MATEO COUNTY PLANNING AND BUILDING DIVISION OR THE CITY OF HMB. A BUILDING PERMIT WILL NOT BE ISSUED UNTIL PLANS ARE RECEIVED, REVIEWED AND APPROVED. UPON SUBMISSION OF PLANS, THE COUNTY OR THE CITY WILL FORWARD A COMPLETE SET TO THE COASTSIDE FIRE DISTRICT FOR REVIEW.
- EXTERIOR BELL AND INTERIOR HORN/STROBE: ARE REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON YOUR FIRE SPRINKLER SYSTEM. THE BELL, HORN/STROBE AND FLOW SWITCH, ALONG WITH THE GARAGE DOOR OPERNER ARE TO BE WIRED INTO A SEPARATE CIRCUIT BREAKER AT THE MAIN ELECTRICAL PANEL AND LABELED.



TREE PLAN
 3/16" = 1'-0" 1

Tree #2 has good vigor in the canopy. Heavy moss is present. Tree is 12' from property line with several lower limbs crossing and extending over neighbor's roof. This tree is in fair/good health.

Sincerely,

 R. Doleschal
 Certified Arborist WE-4284



Precision Tree Care
 PO Box 410
 Pacifica, CA 94044
 Lic. # 907593
 Insured & Bonded

September 7, 2018
 Juan Rodriguez
 Sierra St.
 Moss Beach, CA 94038

Re: Inspection of 2 Monterey Pine trees "*Pinus radiata*" located on Sierra St., Moss Beach

Dear Juan,

At your request I visited the above site for the purpose of inspecting and commenting on the heritage trees on the property.

Method:
 Each tree is given an identification number. The trees are measured at 54 inches above ground level (DBH or Diameter at Breast Height). A condition rating of 1 to 100 is assigned to each tree representing form and vitality on the following scale.

- 1 to 29..... Very Poor
- 30 to 49..... Poor
- 50 to 69..... Fair
- 70 to 89..... Good
- 90 to 100..... Excellent

The height and spread of each tree is estimated. A Comments section is provided for any significant observations affecting the condition rating of the tree.

If you have any further questions, please feel free to call me at any time.

Tree Survey-Specifications

Tree #	Species	DBH	Ht/Sp	Condition Rating
1	Monterey Cypress <i>Pinus radiata</i>	30"	33'/10-15'	46
2	Monterey Cypress <i>Pinus radiata</i>	59"	57'/48-55'	72

Comments
 Tree #1 has poor balance. This tree has 6 live branches, all on the east side of the tree.

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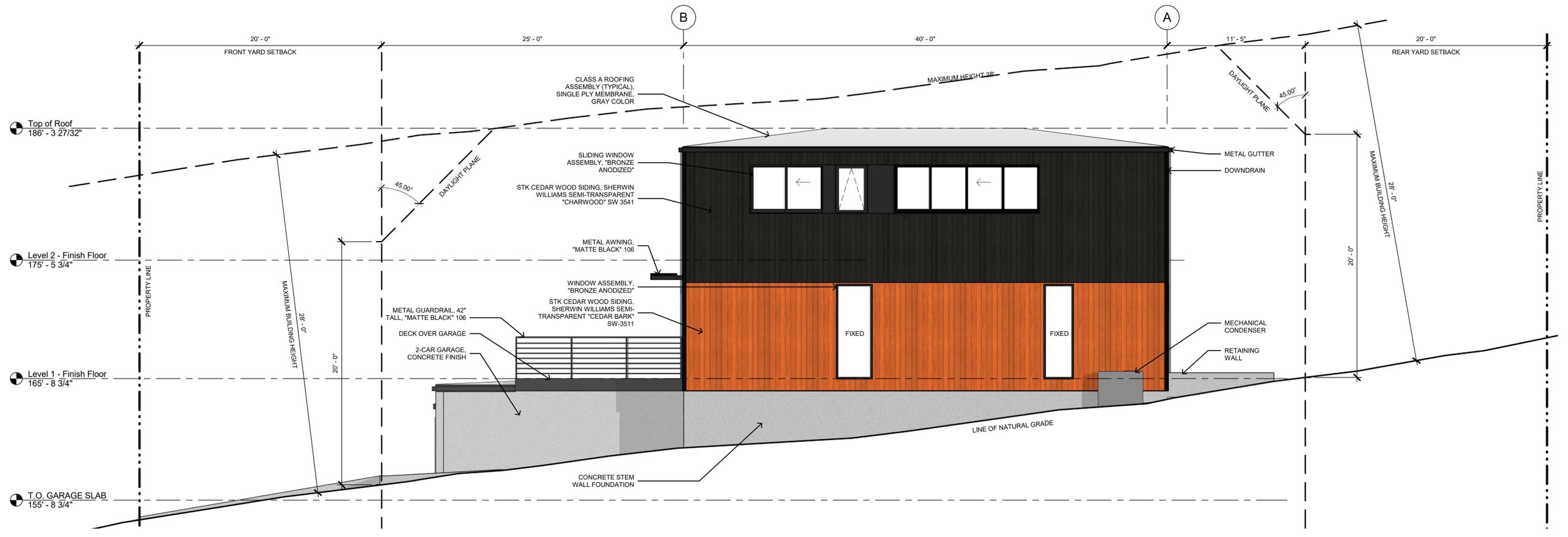
MODEL HOME
 CONNECT 6T

SHEET SET

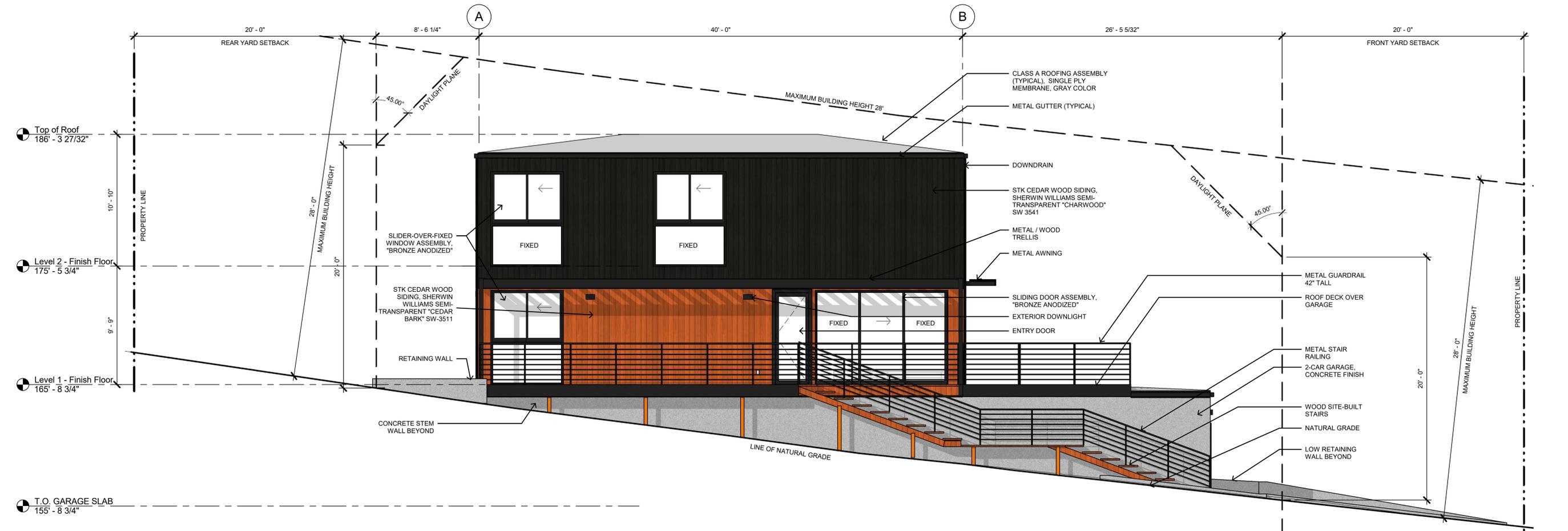
SHEET TITLE
 TREE PLAN

SHEET, SHEET / MODEL /
 SET, NUMBER / HOME /

D-1.2



NORTH ELEVATION
1/4" = 1'-0" 2



SOUTH ELEVATION
1/4" = 1'-0" 1

706 S. HILL ST, STE. 1060
LOS ANGELES, CA 90014
t: 310.622.9271
e: info@connect-homes.com

CONNECT 6T: RODRIGUEZ
RESIDENCE
VACANT LOT, SIERRA STREET
MOSS BEACH, CA 94038

03.26.20



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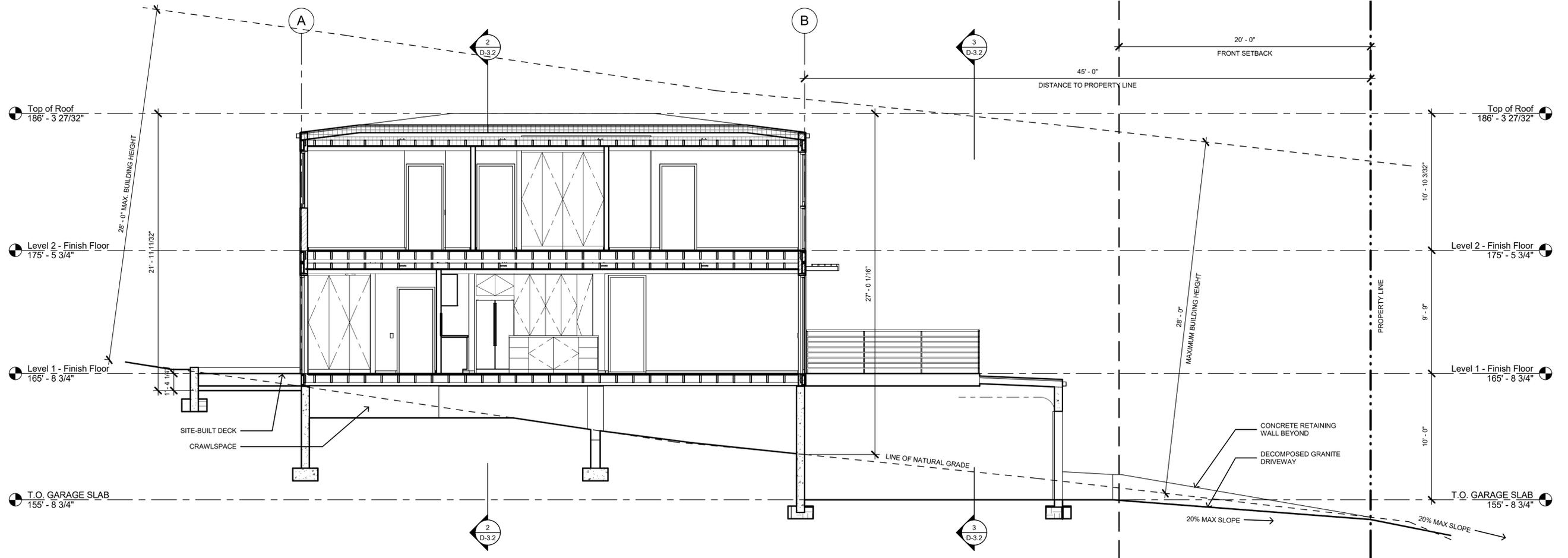
MODEL HOME
CONNECT 6T

SHEET SET
DESIGN REVIEW

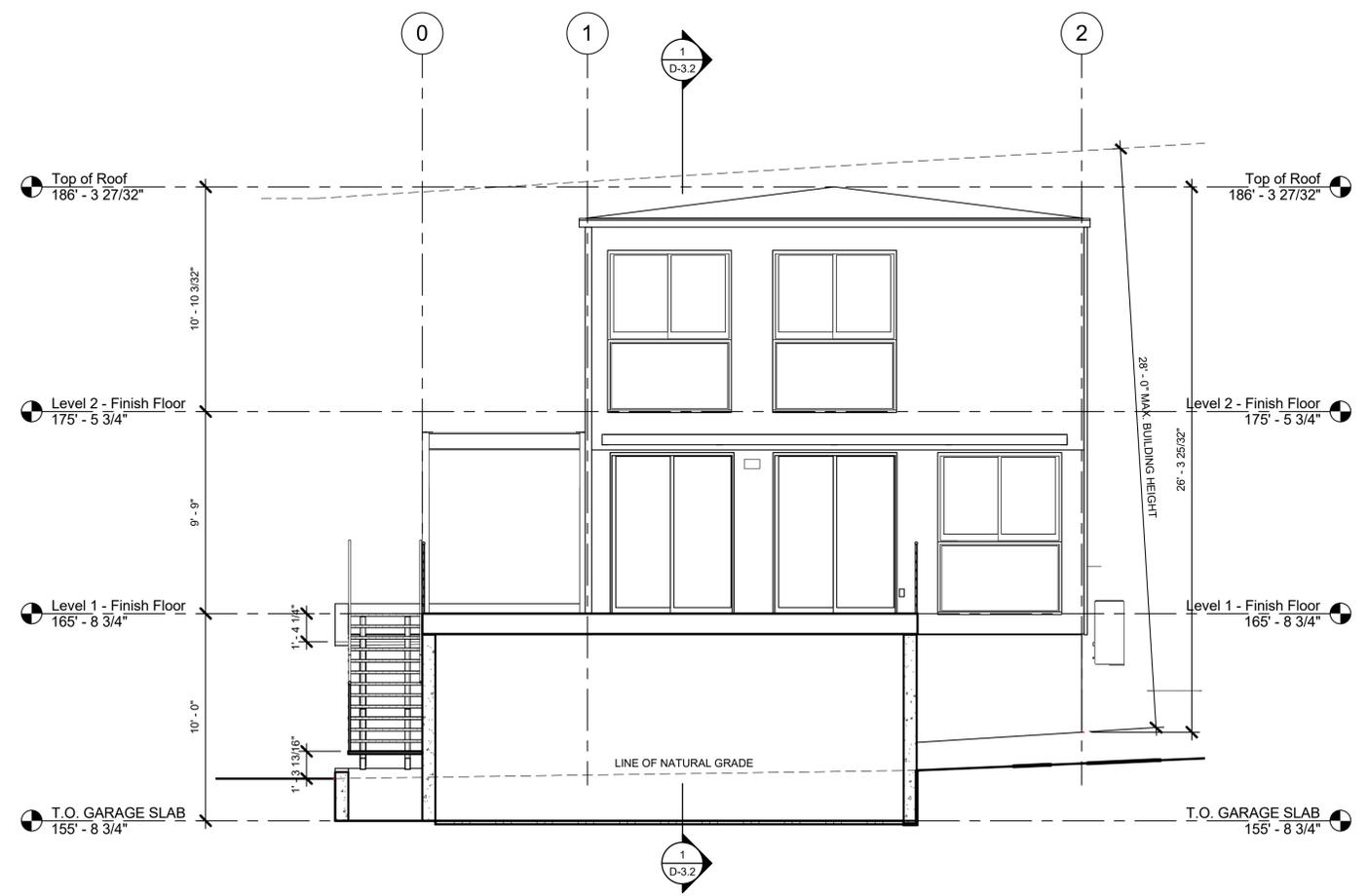
SHEET TITLE
EXTERIOR ELEVATIONS

SHEET, SHEET / MODEL SET NUMBER HOME

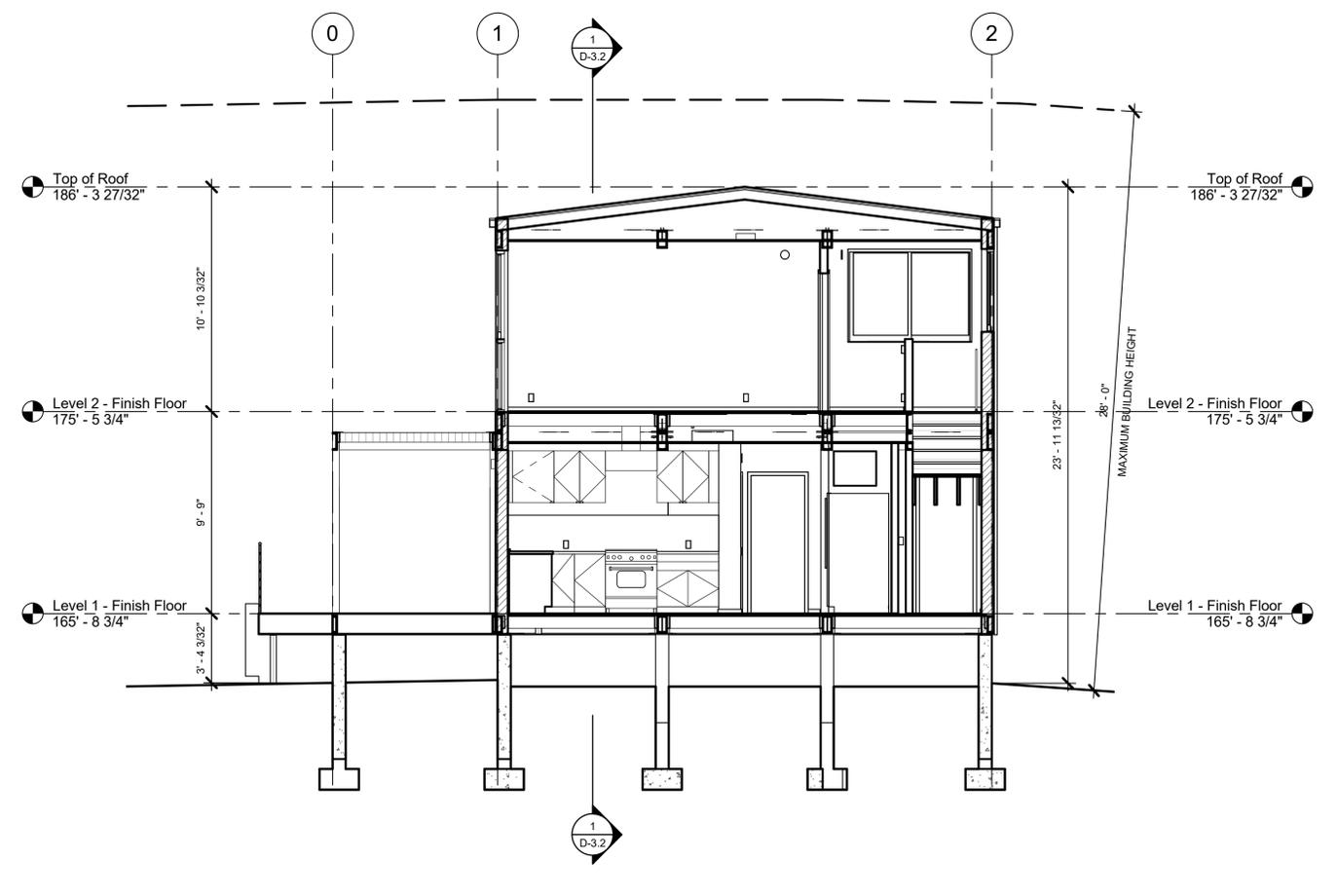
D-3.0



D-LONGITUDINAL SECTION 1
1/4" = 1'-0"



D-TRANSVERSE SECTION @ GARAGE 3
1/4" = 1'-0"



D-TRANSVERSE SECTION 2
1/4" = 1'-0"

Rodriguez Residence

Landscape Plan

Sierra St. Moss Beach, CA

PROJECT DIRECTORY:

OWNER:
 Juan Rodriguez
 Monica Yuan
 4243 Shelter Creek Ln
 San Bruno, CA 94066
 tel. 415.706.4429
 jrodriguez0331@yahoo.com

LANDSCAPE DESIGN:
 Keith Michael Snyder, Architect
 608 Portsmouth Lane
 Foster City, CA 94404
 tel. 650.799.6431

CONTRACTOR:
 Justin Vargas - Metrofolio
 Half Moon Bay, CA
 tel. 650.339-2983

ARCHITECT:
 Jared Levy (Home Ec, Inc.)
 706 S. Hill St. #706
 Los Angeles, CA 90014
 tel. 323.697.2386
 info@connect-homes.com

No.	Date	Revisions / Submissions
△	07-14-2019	PRELIMINARY LANDSCAPE PLAN
△	02-05-2020	PERMIT COMMENTS RESPONSE

APPLICABLE CODES:

2016 CBC - CA UNIFORM BUILDING CODE
 2016 CRC - CA RESIDENTIAL BUILDING CODE
 2016 CEC - CA ELECTRICAL CODE
 2016 CMC - CA MECHANICAL CODE
 2016 CPC - CA PLUMBING CODE
 2016 CFC - CA FIRE CODE
 2016 T-24 - CA TITLE 24 ENERGY CODE
 2016 CA GREEN BUILDING STANDARDS CODE

ALL COUNTY OF SAN MATEO ORDINANCES & CODES
 ALL CITY OF MOSS BEACH, CA ORDINANCES & CODES

DESCRIPTION OF PROPERTY:

1. Vacant Lot Between Another Vacant Lot and an (E) Single-Family Residence.

SCOPE OF WORK:

1. Provide Landscaping for New Single-Family Residence, Including All Hardscape, Planting, Irrigation, Low-Voltage Lighting, and Associated Landscape Work.

INDEX OF SHEETS:

L - 1 = COVER SHEET, REFERENCE SITE PLAN
 L - 2 = LANDSCAPE & LIGHTING/ IRRIGATION PLAN

Assessor's Parcel Number
037-147-030

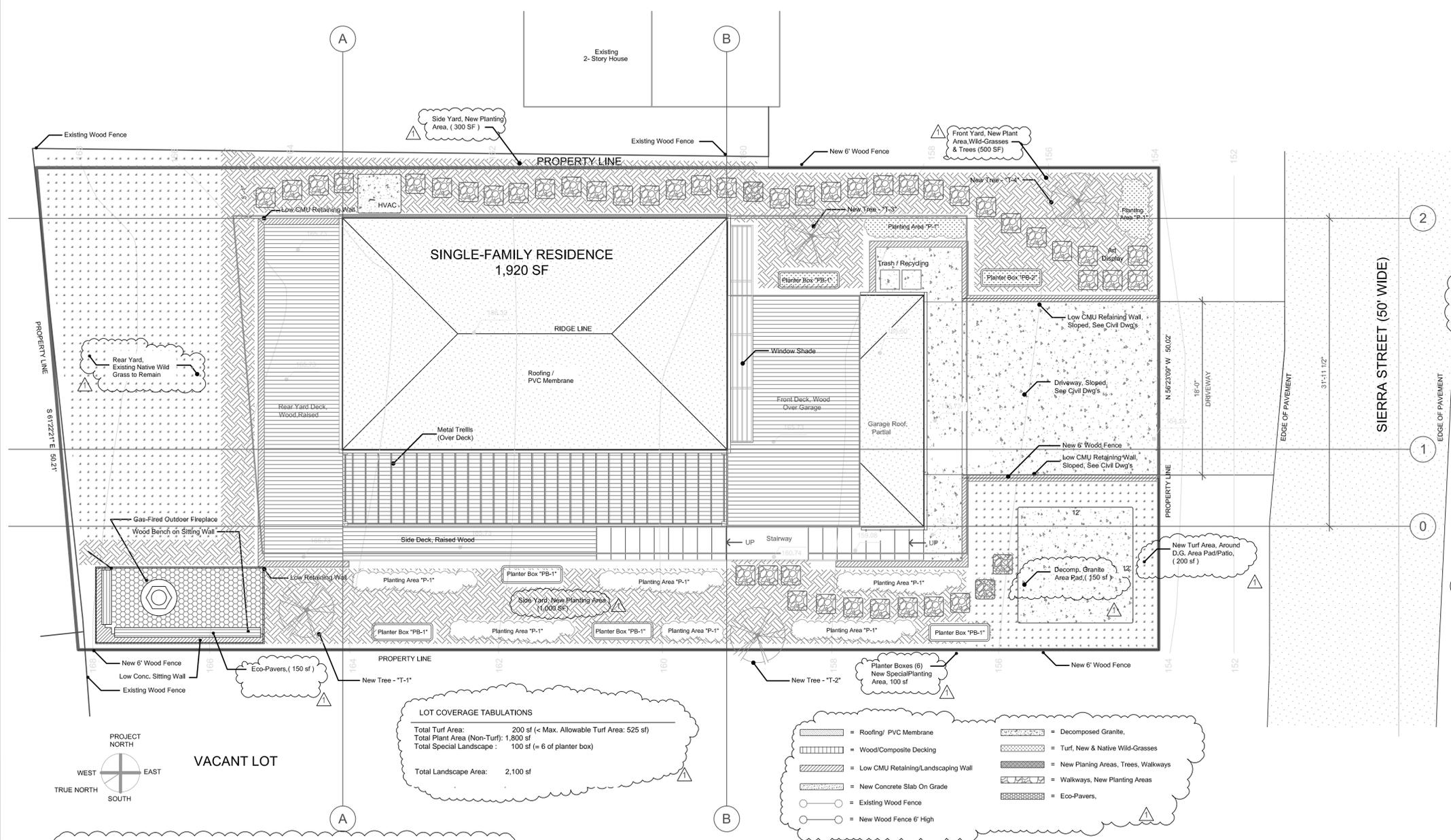
1. Vacant Lot Between Another Vacant Lot and an (E) Single-Family Residence.

Keith The Architect
 Keith Michael Snyder
 608 Portsmouth Lane
 Foster City, CA 94404
 tel. (650) 799-6431
 keith.michael.architect@gmail.com

RODRIGUEZ RESIDENCE
LANDSCAPE PLAN
 SIERRA ST.
 MOSS BEACH, CA
 SITE PLAN

Scale AS NOTED

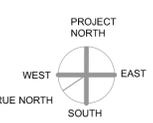
Drawing No.



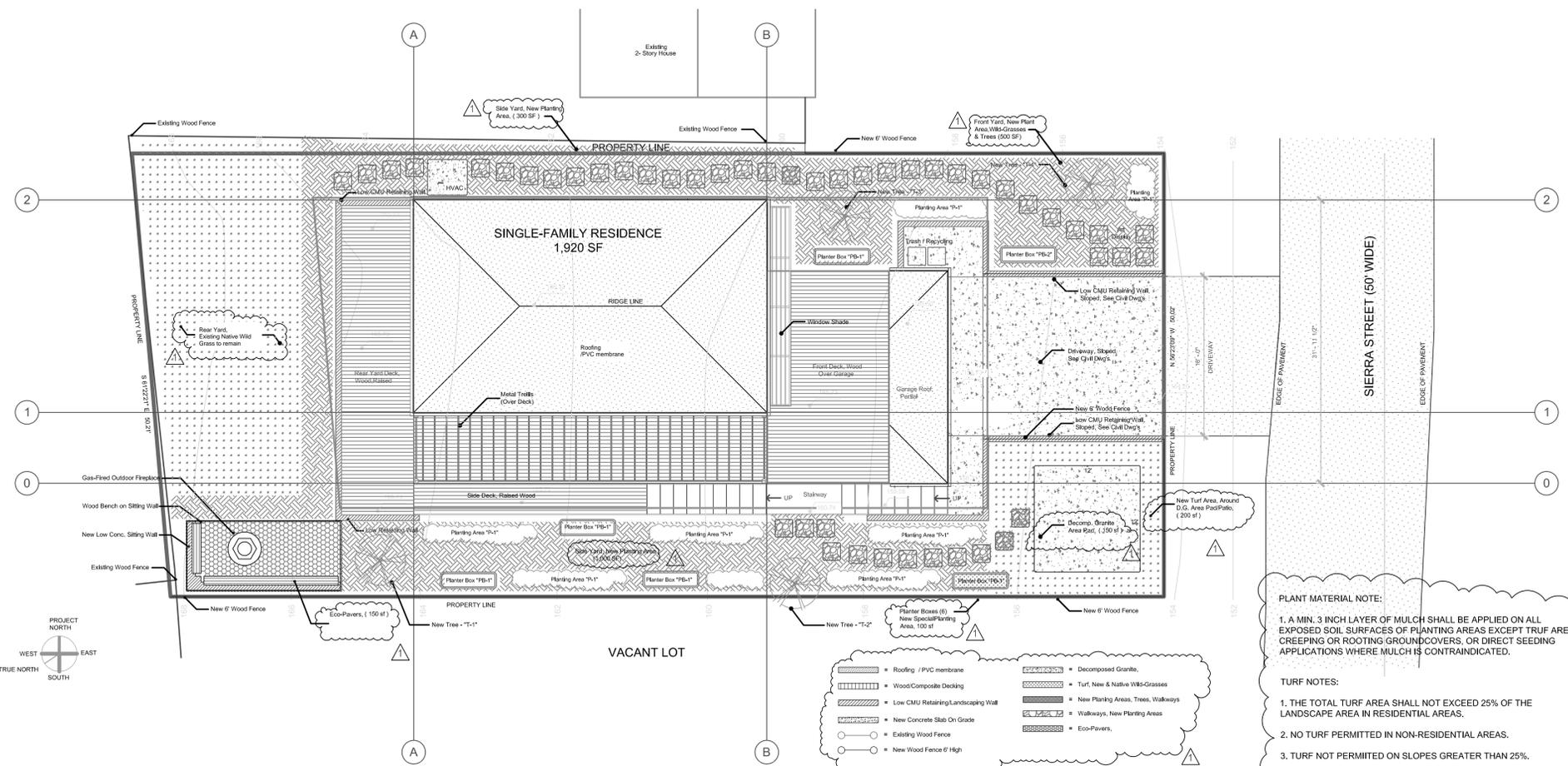
LOT COVERAGE TABULATIONS

Total Turf Area:	200 sf (= Max. Allowable Turf Area: 525 sf)
Total Plant Area (Non-Turf):	1,800 sf
Total Special Landscape:	100 sf (= 6 of planter box)
Total Landscape Area:	2,100 sf

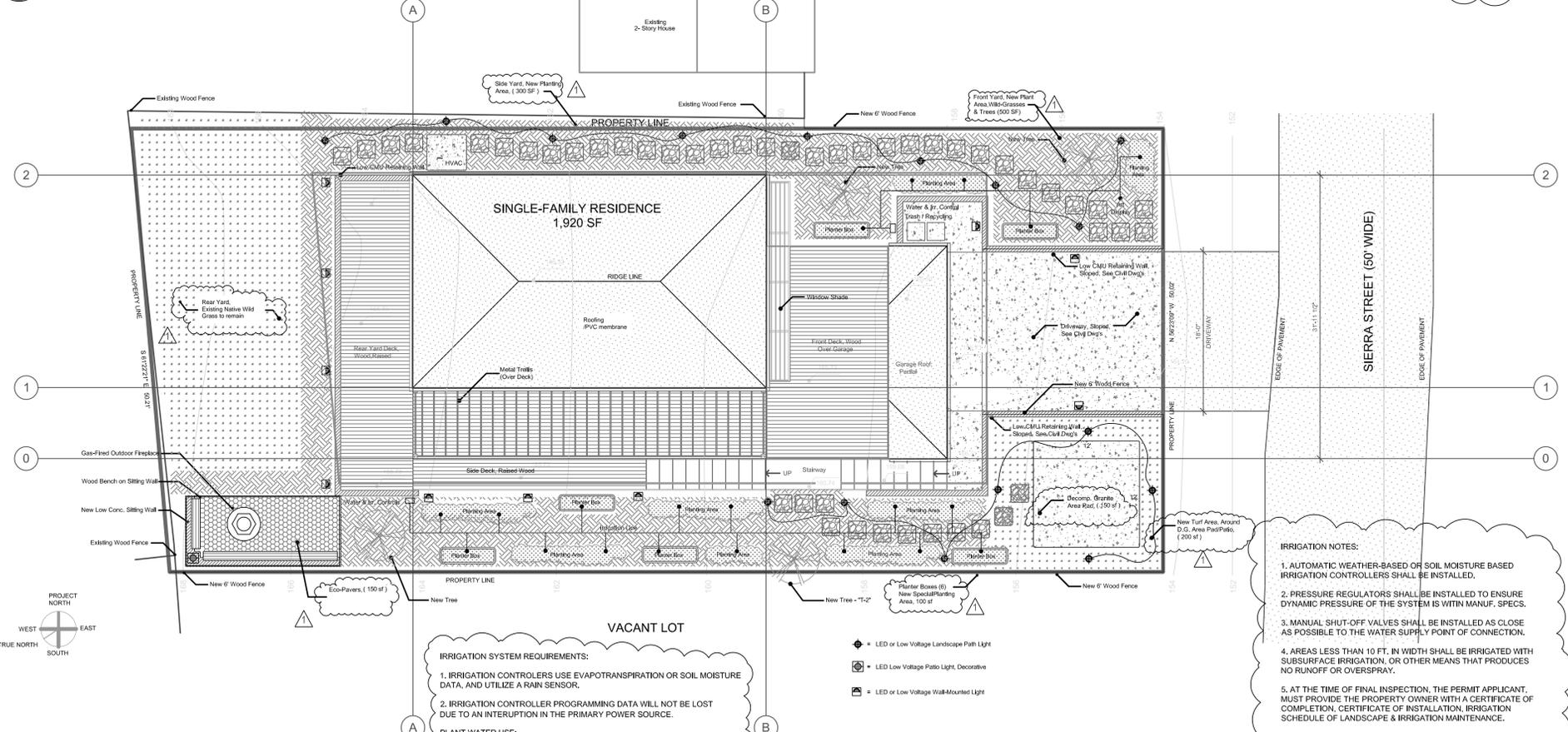
- [Pattern] = Roofing/ PVC Membrane
- [Pattern] = Wood/Composite Decking
- [Pattern] = Low CMU Retaining/Landscaping Wall
- [Pattern] = New Concrete Slab On Grade
- [Pattern] = Existing Wood Fence
- [Pattern] = New Wood Fence 6' High
- [Pattern] = Decomposed Granite
- [Pattern] = Turf, New & Native Wild-Grasses
- [Pattern] = New Planting Areas, Trees, Walkways
- [Pattern] = Walkways, New Planting Areas
- [Pattern] = Eco-Pavers



1 SITE PLAN - LOT COVERAGE
 Scale - 3/32" = 1'-0"



1 Landscape Plan - Trees & Plants
Scale - 1/8" = 1'-0"



2 Landscape Lighting & Irrigation Plan
Scale - 1/8" = 1'-0"

PLANT LIST - PLANTING BED AREAS:

TYPE	COMMON NAME	BOTANICAL NAME	LOCATION	WATER USE	QTY.
P - 1	Bamboo(Phyllostachys)	Phyllostachys spp.	Along Plant	L	7
P - 2	Bamboo(Bambusa)	Bambusa Spp.	Along Fence	L	1
P - 3	Golden Privet	Ligustrum x vicaryi	Planter Bed	L	1
P - 4	Agave	Agave Americana	Planter Bed	VL	1
P - 5	Peegee Hydrangea	Hydrangea Paniculata Hybrids	Planter Bed	M	1
P - 6	Blue Fescue	Festuca Glauca	Planter Bed	L	1
P - 7	Wisteria	Wisteria Spp	Climbing Trellis	M	1

- Project Hardiness Zone: 9-10 (MOSS BEACH, CA 94038)
- Average WUCOLS factor: $[(1 \times 0.1) + (10 \times 0.2) + (2 \times 0.5)] / 13$ (Total number plant) = 0.24

TREE PLANTING LIST :

TYPE	COMMON NAME	BOTANICAL NAME	LOCATION	WATER USE	QTY.
T - 1	Flowering Plum	Prunus Spp. Plum	See Plan	L	1
T - 2	Plum	Prunus Spp. Edible	See Plan	L	1
T - 3	American Persimmon	Diospyros Virginiana	See Plan	L	1
T - 4	Avocado	Persea Americana	See Plan	VL	1

- Project Hardiness Zone: 9-10 (MOSS BEACH, CA 94038)
- Average WUCOLS factor: $[(1 \times 0.1) + (3 \times 0.2)] / 4$ (Total number plant) = 0.18

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE: MWEL

SHORT FORM PRESCRIPTIVE COMPLIANCE
TOTAL LANDSCAPE AREA = 2,100 sf (T.L.A.)
TOTAL TURF AREA = 200 SF (Max. Allowed = 525 sf or 25% of T.L.A.)
NON-TURF PLANT AREA = 1,800 sf
SPECIAL LANDSCAPE AREA = 100 sf
WATER TYPE = POTABLE
NAME OF WATER PURVEYOR = Montara Water and Sanitary District

PRESCRIPTIVE APPROACH REQUIREMENTS:

PLANT MATERIAL (Title 23, Chapter 2.7, Appendix D (b) (3)
75% OF LANDSCAPE, EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER, SHALL CONSIST OF PLANTS THAT AVERAGE A WUCOLS PLANT FACTOR OF 0.3

WATER FEATURES ARE INCLUDED IN LANDSCAPE SF AREAS.
THE FOLLOWING WUCOLS PLANT FACTORS SHALL BE USED; VERY LOW = 0.1, LOW = 0.2, MODERATE = 0.5, HIGH = 0.85

THE FOLLOWING FORMULA SHALL BE USED TO CALCULATE THE WUCOLS FACTOR:
 $[(\# V. LOW PLANTS \times 0.1) + (\# LOW PLANTS \times 0.2) + (\# MOD. PLANTS \times 0.5) + (\# HIGH PLANTS \times 0.85)] / \text{TOTAL \# PLANTS} = \text{WUCOLS AVERAGE FACTOR FOR THE PROJECT.}$

INCLUDE A LANDSCAPE & IRRIGATION PLAN FOR THE PROJECT.
INCLUDE AREAS (SF) OF NEW LANDSCAPING & REHABILITATED LANDSCAPING.

INCLUDE A PLANT LIST ON THE LANDSCAPE PLAN THAT IDENTIFIES ALL PLANT MATERIAL BY BOTANICAL NAMES & COMMON NAMES, WUCOL FACTOR, SUNSET AND/OR USDA HARDEST ZONE, AND THE TOTAL QTY. OF EA. PLANT.

THE AVERAGE SPREAD SPREAD OF EA. TREE SHALL BE NOTED ON THE PLANT LIST.
TURF (Title 23, Chapter 2.7, Appendix D (b) (4)

TURF IS CONSIDERED LIVING PLANT MATERIAL. MWEL REGULATIONS DO NOT APPLY TO ARTIFICIAL TURF.
NOTE THE AREAS (SF) OF EXISTING (E) & NEW (N) TURF ON THE PLANS.

IRRIGATION (Title 23, Chapter 2.7, Appendix D (b) (5)

THE IRRIGATION PLANS, AT A MINIMUM, SHALL CONTAIN THE FOLLOWING;
1. LOCATION & SIZE OF WATER METERS FOR LANDSCAPE (IF SEPARATE PROVIDED)
2. LOCATION, TYPE & SIZE OF ALL COMPONENTS OF THE IRRIGATION SYSTEM, INCLUDING, AT A MINIMUM, MAIN & LATERAL LINES.

PLANT MATERIAL NOTE:
1. A MIN. 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TRUFF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
TURF NOTES:
1. THE TOTAL TURF AREA SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA IN RESIDENTIAL AREAS.
2. NO TURF PERMITTED IN NON-RESIDENTIAL AREAS.
3. TURF NOT PERMITTED ON SLOPES GREATER THAN 25%.
4. TURF IS PROHIBITED IN PARKWAYS LESS THAN 10 FT. WIDE.

IRRIGATION NOTES:
1. AUTOMATIC WEATHER-BASED OR SOIL MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED.
2. PRESSURE REGULATORS SHALL BE INSTALLED TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN MANUF. SPECS.
3. MANUAL SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE WATER SUPPLY POINT OF CONNECTION.
4. AREAS LESS THAN 10 FT. IN WIDTH SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION, OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
5. AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT, MUST PROVIDE THE PROPERTY OWNER WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE & IRRIGATION MAINTENANCE.
6. UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF 4 CU. YDS. PER 1,000 SF OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6 IN. INTO THE SOIL.

No.	Date	Revisions / Submittals
07-14-2019	PRELIMINARY LANDSCAPE PLAN	
02-05-2020	PERMIT COMMENTS RESPONSE	

TYPE	COMMON NAME	BOTANICAL NAME	LOCATION	WATER USE	QTY.
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T - 3	American Persimmon	Diospyros Virginiana	See Plan	L	1
T - 4	Avocado	Persea Americana	See Plan	VL	1

037-147-030

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RODRIGUEZ RESIDENCE
LANDSCAPE PLAN
SIERRA ST
MOSS BEACH, CA
SITE PLAN

AS NOTED

L - 2

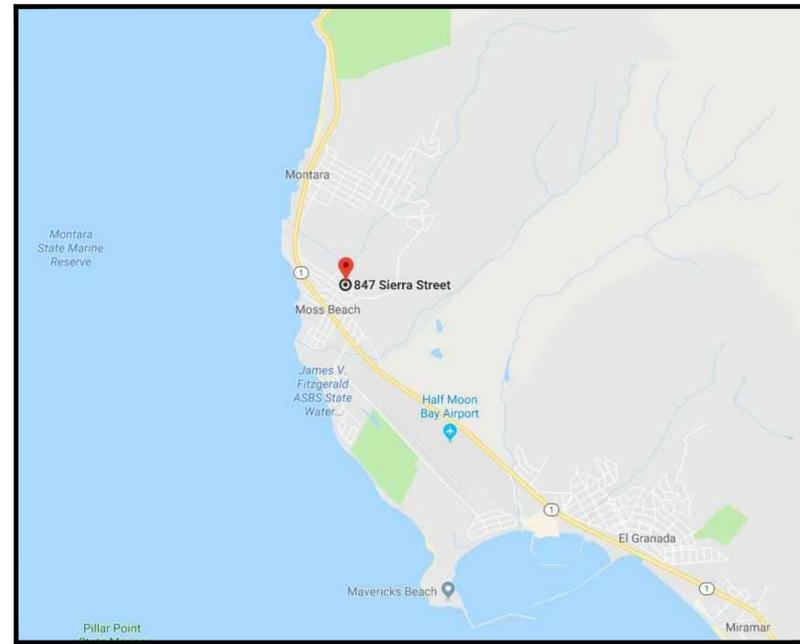
RODRIGUEZ RESIDENCE

VACANT LOT, SIERRA ST, MOSS BEACH, CA

APN# 037-147-030

GRADING & DRAINAGE PLAN

LOCATION MAP



NOT TO SCALE

SURVEY DATUM

Topographic survey was provided by BGT Land Surveying per the Boundary and Topographic Survey dated June, 2018.

MAP DATA

Contour Interval: 2 Foot (existing contours), 1 Foot (proposed contours)

Aerial Photo: None

SHEET INDEX

- | | |
|---|---------------|
| 1 | COVER SHEET |
| 2 | GRADING PLAN |
| 3 | DRAINAGE PLAN |
| 4 | UTILITY PLAN |
| 5 | DETAILS |

GENERAL NOTES

- THESE ENGINEERING DRAWINGS ARE BASED ON CONDITIONS AT THE TIME OF DESIGN AND FROM INFORMATION PROVIDED BY THE OWNER. FUTURE MODIFICATIONS TO GRADING AND SITE DEVELOPMENT COULD CAUSE EROSION AND LATERAL MOVEMENT OF THE GRADING.
- ALL GRADING SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL AND/OR THE PROJECT SOIL ENGINEER.
- OBSERVATION OF THE CONSTRUCTION BY THE ENGINEER DOES NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY TO COMPLETE THE CONSTRUCTION IN CONFORMANCE WITH THE PROJECT DOCUMENTS AND GENERALLY ACCEPTED STANDARDS OF PRACTICE. THE PURPOSE OF THE ENGINEERS VISITS WILL BE TO BECOME GENERALLY FAMILIAR WITH THE PROGRESS AND QUALITY OF THE CONTRACTOR'S WORK AND DETERMINE IF THE WORK IS PROGRESSING IN GENERAL CONFORMANCE WITH OUR DESIGN INTENT.

GENERAL STORMWATER NOTES

- STOCKPILES:** ALL STOCKPILES ASSOCIATED WITH THE PROJECT SHALL BE COVERED WITH PLASTIC SHEETING PRIOR TO ANY PRECIPITATION EVENT TO PREVENT RUNOFF OF SEDIMENT. SHEETING SHALL BE FIRMLY HELD IN PLACE WITH SANDBAGS OR OTHER WEIGHTS PLACED NO MORE THAN 10FT APART. SEAMS SHALL BE TAPED OR WEIGHTED DOWN THEIR ENTIRE LENGTH AND THERE SHALL BE AT LEAST A 12 INCH OVERLAP.
- DUST CONTROL:** BEST MANAGEMENT PRACTICES SHALL BE USED THROUGHOUT ALL PHASES OF CONSTRUCTION. THIS INCLUDES ANY SUSPENSION OF WORK, ALLEVIATION OR PREVENTION OF ANY FUGITIVE DUST NUISANCE AND THE DISCHARGE OF SMOKE OR ANY OTHER AIR CONTAMINANTS INTO THE ATMOSPHERE IN SUCH QUANTITY AS WILL VIOLATE ANY REGIONAL AIR POLLUTION CONTROL RULES, REGULATIONS, ORDINANCES, OR STATUTES. WATER SHALL BE APPLIED AS REQUIRED. DUST NUISANCE SHALL ALSO BE ABATED BY CLEANING, VACUUMING AND SWEEPING OR OTHER MEANS AS NECESSARY.
- INTERIM EROSION AND SEDIMENT CONTROL:** THIS PLAN INCLUDES INTERIM EROSION AND SEDIMENTATION CONTROL MEASURES TO BE TAKEN DURING WET SEASONS UNTIL PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES CAN ADEQUATELY MINIMIZE EROSION, EXCESSIVE STORM WATER RUNOFF AND SEDIMENTATION. THIS PLAN INCLUDES THE MINIMUM NECESSARY MEASURES TO BE TAKEN TO PREVENT EXCESSIVE STORM WATER RUNOFF OR CARRYING BY STORM WATER RUNOFF OF SOLID MATERIALS ON TO LANDS OF ADJACENT PROPERTY OWNERS, PUBLIC STREETS, OR TO WATERCOURSES AS A RESULT OF CONDITIONS CREATED BY GRADING OPERATIONS. ADDITIONAL MEASURES MAY BE REQUIRED IF DETERMINED BY THE CONTRACTOR, THE CITY, THE COUNTY, OR THE ENGINEER AS CHANGING CONDITIONS OCCUR. GRADING SHALL NOT TAKE PLACE DURING THE RAINY SEASON WITHOUT THE IMPLEMENTATION OF ADDITIONAL BMP'S TO PREVENT EROSION AND RUNOFF.
- PERMANENT EROSION AND SEDIMENT CONTROL:** PERMANENT EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED BY LANDSCAPING OF DISTURBED AREAS OF THE PROJECT SITE. LANDSCAPING SHALL CONSIST OF SOME OR AL THE FOLLOWING: SPREADING OF MULCH, SEEDING, AND PLANTING OF CONTAINER PLANTS. ANTICIPATED TIME UNTIL ESTABLISHMENT FOR THESE 3 LANDSCAPING METHODS IS AS FOLLOWS: IMMEDIATE, 3 MONTHS, 1 MONTH (RESPECTIVELY, ASSUMING APPROPRIATE IRRIGATION IS PROVIDED. DOWNSPOUTS SHALL BE DIRECTED INTO THE UNDERGROUND DRAINAGE SYSTEM AS INDICATED ON THE DRAINAGE PLAN OR AWAY FROM STRUCTURES.
- PROJECT SHALL CONFORM TO THE SAN MATEO COUNTY "DRAINAGE MANUAL DRAFT" DOCUMENT DATED DECEMBER 2019.
- THIS PROJECT WILL DISPERSE ALL RUNOFF FROM ROOFS AND HARDSCAPE AREAS TO APPROPRIATE LOCATIONS AND AS SHOWN ON THE PLANS.
- STORMWATER DISCHARGE ADJACENT TO FOUNDATIONS AND OTHER STRUCTURES IS NOT PERMITTED.

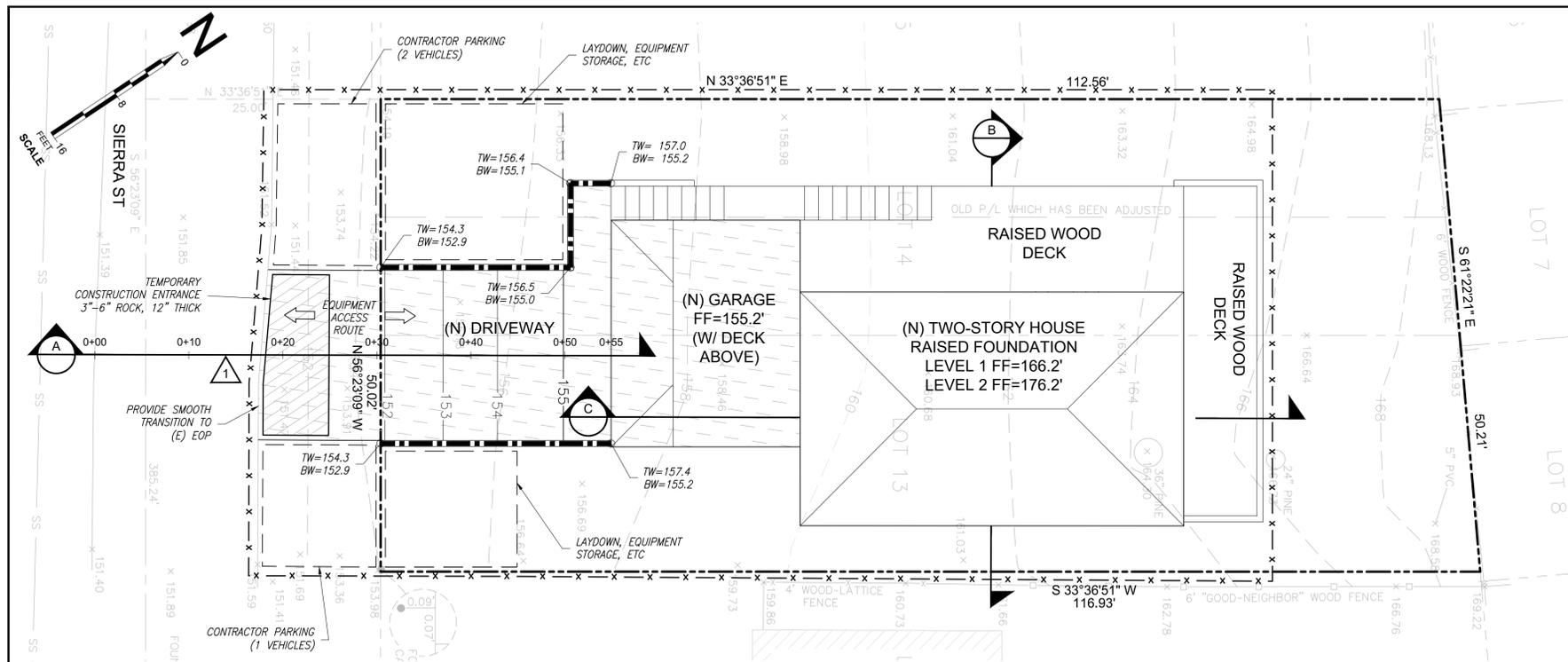


REV. NO.	DESCRIPTION	DATE	APPROVED
1	ADDRESSED COMMENTS FROM COUNTY DPW 8-6-2020	8/13/2020	
2	REVISED DRAINAGE AND STORMWATER BMP'S	4/24/2020	
3	ADDRESSED COMMENTS FROM COUNTY 10/25/2019	11/5/2019	



DATE: 8/13/2020	DESIGNED BY: AP
RODRIGUEZ RESIDENCE APN# 037-147-030 SIERRA ST, MOSS BEACH, CA	DRAWN BY: AP
	SURVEYED BY: BGT
	CHECKED BY: AP
	SHEET NO.
COVER SHEET	1 OF 5

PERMIT SET



LEGEND AND KEY

- EXISTING MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING TOPO POINTS
 - PROPOSED FILL
 - PROPOSED CUT
 - PROPERTY LINE
 - PROPOSED STRAW WATTLE PER DETAIL 1 THIS SHEET
 - PROPOSED LANDSCAPE WALL
- FL = FLOW LINE
 TC = TOP OF CURB
 BW = BACK OF SIDEWALK
 FG = FINISHED GRADE
 EOP = EDGE OF PAVEMENT
 VIF = VERIFY IN FIELD
 (E) = EXISTING
 (N) = PROPOSED

CUT/FILL TABLE			
ELEMENT	FILL (CY)	CUT (CY)	NET (CY)
DRIVEWAY	0	-40	-40
HOUSE	0	-60	-60
NET	0	-100	-100

TOTAL DISTURBED AREA: 5,600 SF

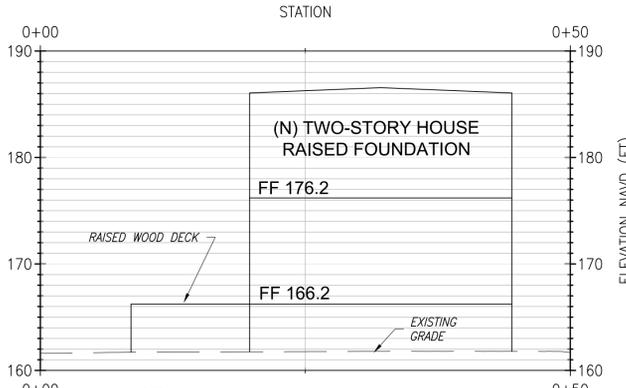
GRADING NOTES

1. LOCATION OF CUTS AND FILLS ARE APPROXIMATE. CONTRACTOR TO VERIFY GRADING EXTENTS IN THE FIELD.
2. ALL GRADING SHALL BE PERFORMED PER THE RECOMMENDATIONS IN THE GEOTECHNICAL STUDY AND STRUCTURAL DRAWINGS.
3. CONTRACTOR SHALL CONSTRUCT DRAINAGE IMPROVEMENTS PRIOR TO GRADING TO PREVENT RUN-ON TO WORK AREA. IF IT IS NOT FEASIBLE TO CONSTRUCT DRAINAGE PRIOR TO GRADING, TEMPORARY DRAINAGE FACILITIES SHALL BE PROVIDED BY THE CONTRACTOR.
4. MAXIMUM FILL SLOPE SHALL BE 2:1 (HORIZ:VERT)
5. MAXIMUM CUT SLOPE SHALL BE 1.5:1 (HORIZ:VERTICAL)

CONSTRUCTION STORMWATER BEST MANAGEMENT PRACTICES (BMP) NOTES:

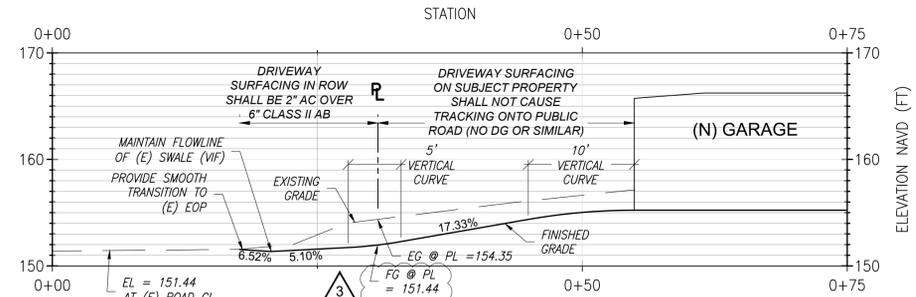
1. EROSION CONTROL POINT OF CONTACT:
 - NAME: _____
 - TITLE/QUALIFICATION: _____
 - EMAIL: _____
 - PHONE NUMBER: _____
2. CLEARING AND EARTH-MOVING ACTIVITIES SHALL ONLY BE PERFORMED DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
3. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. ALL DENUDED AREAS SHALL BE STABILIZED AND EROSION CONTROL MEASURES CONTINUOUSLY MAINTAINED BETWEEN OCTOBER 1 AND APRIL 30.
4. CONSTRUCTION MATERIALS AND WASTES SHALL BE PROPERLY STORED, HANDLED, AND DISPOSED OF, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
5. THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES SHALL BE CONTROLLED AND PREVENTED TO STORM DRAINS AND WATERCOURSES.
6. SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT SHALL BE USED WHEN DEWATERING SITE AND REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) SHALL BE OBTAINED AS NECESSARY.
7. CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE SHALL NOT BE PERMITTED, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
8. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
9. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
10. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
11. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
12. PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS ARE REQUIRED ON WEEKENDS AND DURING RAIN EVENTS: PER EROSION CONTROL PLAN.
13. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
14. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
15. DUST CONTROL IS REQUIRED YEAR-ROUND.
16. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
17. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30 IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
18. TREE PROTECTION SHALL BE IN PLACE BEFORE ANY DEMOLITION, GRADING, EXCAVATING OR GRUBBING IS STARTED.

1 GRADING PLAN



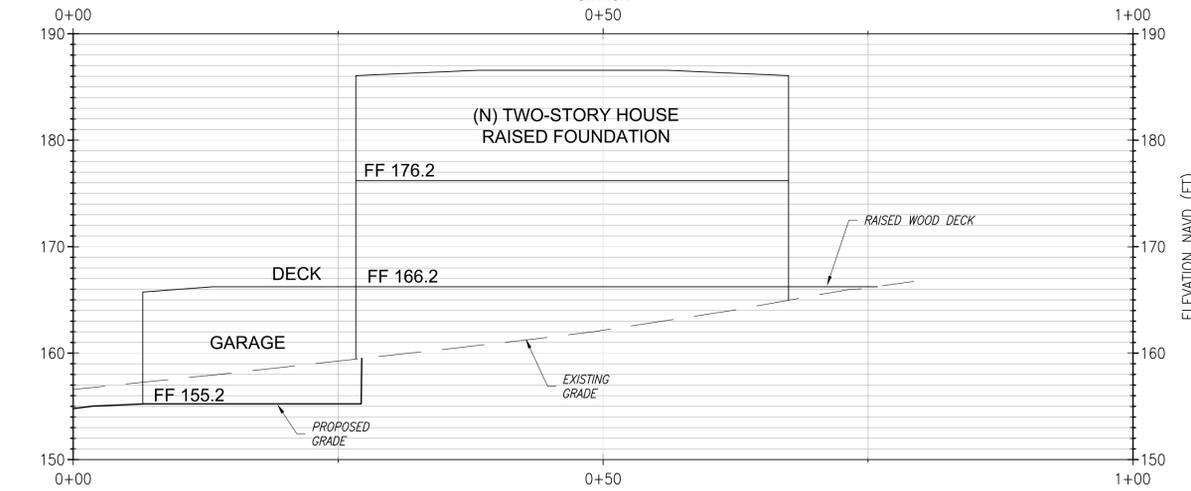
B TYPICAL SECTION
SCALE: 1"=8'

1 A DRIVEWAY CL SECTION

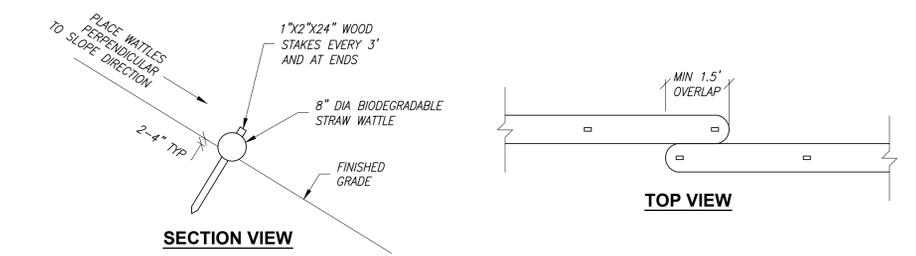


A DRIVEWAY CL SECTION
SCALE: 1"=8'

1 C TYPICAL SECTION



C TYPICAL SECTION
SCALE: 1"=8'



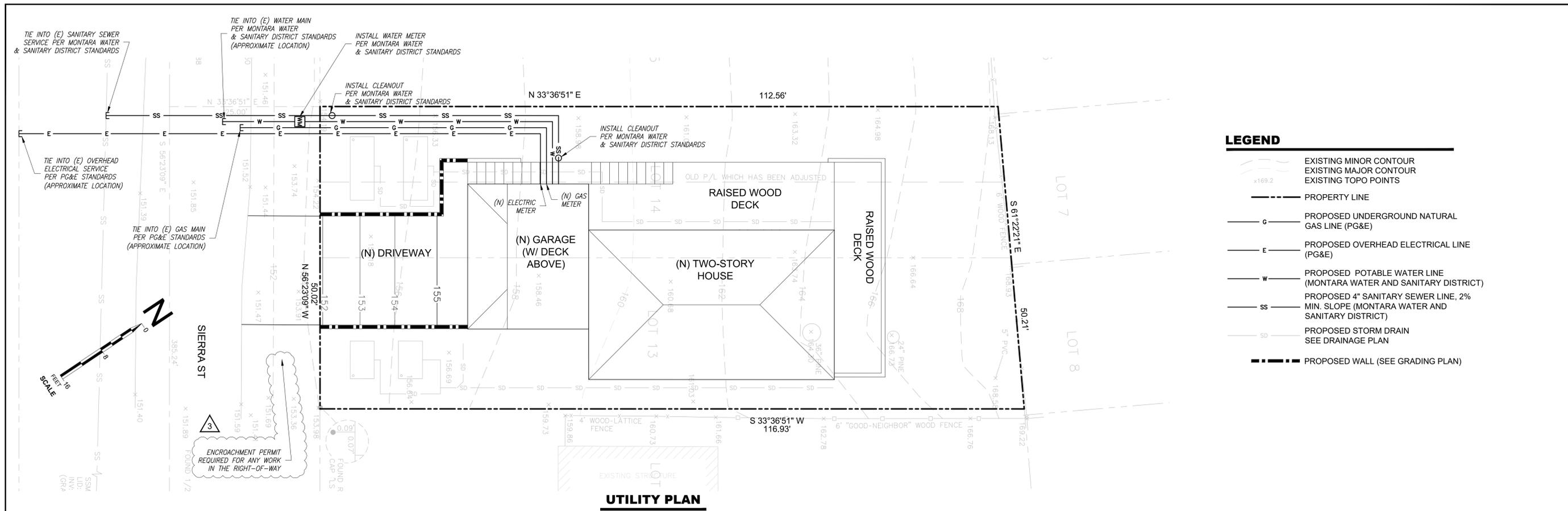
1 STRAW WATTLE DETAILS
NOT TO SCALE



REV. NO.	DESCRIPTION	DATE	APPROVED
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DATE: 8/13/2020	DESIGNED BY: AP
RODRIGUEZ RESIDENCE	DRAWN BY: AP
APN# 037-147-030	SURVEYED BY: BGT
SIERRA ST, MOSS BEACH, CA	CHECKED BY: AP
GRADING AND	SHEET NO.
EROSION CONTROL PLAN	2 OF 5



LEGEND

- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING TOPO POINTS
- PROPERTY LINE
- PROPOSED UNDERGROUND NATURAL GAS LINE (PG&E)
- PROPOSED OVERHEAD ELECTRICAL LINE (PG&E)
- PROPOSED POTABLE WATER LINE (MONTARA WATER AND SANITARY DISTRICT)
- PROPOSED 4" SANITARY SEWER LINE, 2% MIN. SLOPE (MONTARA WATER AND SANITARY DISTRICT)
- PROPOSED STORM DRAIN SEE DRAINAGE PLAN
- PROPOSED WALL (SEE GRADING PLAN)

UTILITY PLAN

- GENERAL UTILITY NOTES:**
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY OBSTRUCTION PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY.
 - UTILITY LOCATIONS ARE APPROXIMATE AND SHALL BE FINALIZED BY THE CONTRACTOR IN THE FIELD.
 - ALL UNDERGROUND AND ABOVEGROUND UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH ALL STATE, REGIONAL, AND LOCAL CODES AND REQUIREMENTS.
 - MINIMUM BURIAL DEPTH SHALL BE 18" FOR ALL UTILITIES.
 - ALL UTILITIES SHALL BE BURIED WITH DETECTABLE UNDERGROUND MARKING TAPE MEETING APWA STANDARDS. TAPE SHALL BE BURIED 12" ABOVE TOP OF UTILITY.
 - PULL BOXES FOR ELECTRICAL AND COMMUNICATIONS UTILITIES SHALL BE SIZED AND SPACED PER CURRENT CALIFORNIA BUILDING CODE REQUIREMENTS.
 - ELECTRICAL AND COMMUNICATION UTILITIES SHALL UTILIZE RACEWAYS WITH BENDS CONFORMING TO CURRENT CALIFORNIA BUILDING CODE REQUIREMENTS.
 - UTILITIES SHALL MAINTAIN 3FT MIN CLEARANCE FROM ALL CONCRETE FOOTINGS, SLABS, AND BUILDING FOUNDATIONS.
 - UTILITY TRENCH BACKFILL SHALL CONFORM TO THE REQUIREMENTS OF THE GEOTECHNICAL INVESTIGATION, THE UTILITY COMPANY, AND AS FOLLOWS:
 - UTILITY TRENCH BACKFILL UNDER DRIVEWAYS SHALL BE CLASS II AB COMPACTED TO 95% RELATIVE COMPACTION AT NEAR OPTIMUM MOISTURE CONTENT. BACKFILL SHALL BE PLACED IN 6" LIFTS, WETTED, AND COMPACTED USING A VIBRATING PLATE OR JUMPING JACK. CARE SHOULD BE TAKEN NOT TO HARM UTILITIES DURING PRELIMINARY BACKFILL.
 - UTILITY TRENCH BACKFILL NOT UNDER DRIVEWAYS SHALL BE NATIVE FILL FREE FROM ROCKS THAT COULD DAMAGE THE PIPE OR CONDUIT. IN THE EVENT THAT NATIVE FILL IS UNSUITABLE FOR TRENCH BACKFILL, CLASS II AB SHALL BE USED. BACKFILL SHALL BE PLACED IN 6" LIFTS, WETTED, AND COMPACTED USING A VIBRATING PLATE OR JUMPING JACK. CARE SHOULD BE TAKEN NOT TO HARM UTILITIES DURING PRELIMINARY BACKFILL.
 - THE FOLLOWING APPLIES TO THE PROPOSED PRIVATE SEWER LATERALS (PSL):
 - ALL SEWER LINES AND ASSOCIATED STRUCTURES, CLEANOUTS, BACKFLOW DEVICES, OVERFLOW PROTECTION DEVICES AND POINT OF CONNECTION TO THE SEWER MAIN SHALL COMPLY WITH MONTARA WATER AND SANITARY DISTRICT (MWSD) STANDARDS.
 - THE PSL(S) TO THE PROPERTY SHALL BE TESTED BEFORE FINAL BUILDING INSPECTION. ALL REPAIRS OR REPLACEMENTS NECESSARY TO BRING A PSL INTO COMPLIANCE SHALL BE PERFORMED. INSPECTION SHALL BE PERFORMED BY A CONTRACTOR LICENSED WITH THE STATE OF CALIFORNIA. IF THE LINE IS NOT COMPLIANT WITH CITY OF OAKLAND STANDARDS, A LICENSED CONTRACTOR SHALL PERFORM THE REQUIRED REPAIRS OR REPLACE THE LATERAL SUCH THAT IT MEETS THE REQUIREMENTS SET FORTH BY MWSD.
 - PROPERTY OWNERS SHALL MAINTAIN ALL PSLs ASSOCIATED WITH THEIR PARCELS TO THE EXTENT NECESSARY TO ENSURE THE PSLs MEET THE STANDARDS AND REQUIREMENTS OF MWSD. PROPERTY OWNERS SHALL PERFORM ANY REPAIR OR REPLACEMENT NECESSARY TO ENSURE THE PSL MEETS THOSE STANDARDS AND REQUIREMENTS. THE PROPERTY OWNER IS ALSO RESPONSIBLE FOR THE CONNECTION OF THE PSL TO THE SEWER MAIN.
 - THE PSL SHALL BE KEPT FREE FROM ROOTS, GREASE DEPOSITS, AND OTHER SOLIDS WHICH MAY IMPEDE OR OBSTRUCT THE FLOW.
 - ALL JOINTS SHALL BE TIGHT AND ALL PIPES SHALL BE SOUND AND FREE FROM STRUCTURAL DEFECTS, CRACKS, BREAKS, OPENINGS, AND MISSING PORTIONS TO PREVENT EX-FILTRATION BY WASTE OR INFILTRATION BY GROUND WATER OR STORM WATER.
 - THE GRADE OF EVERY PSL SHALL BE UNIFORM WITHOUT SAGS OR OFFSETS.
 - THE PSL SHALL HAVE A TWO-WAY CLEANOUT LOCATED AT OR NEAR THE STRUCTURE. ALL CLEANOUTS SHALL BE SECURELY CAPPED AT ALL TIMES.
 - THE PSL SHALL BE EQUIPPED WITH A BACKFLOW DEVICE/OVERFLOW DEVICE.
 - THERE SHALL BE NO NON-SANITARY SEWER CONNECTIONS TO THE PSL PLUMBING THAT CONNECTS THERETO.
 - THE PROPERTY OWNER SHALL PROVIDE CONNECTIONS TO THE SANITARY SEWER SYSTEM IN ACCORDANCE WITH ALL SECTIONS OF THE MWSD CODE.
 - PROPERTY OWNERS SHALL REPORT WASTEWATER THAT IS RELEASED FROM A PSL TO THE SURFACE RESULTING IN A SANITARY SEWER OVERFLOW OR SPILL TO MWSD.

MINIMUM UTILITY SEPARATION REQUIREMENTS

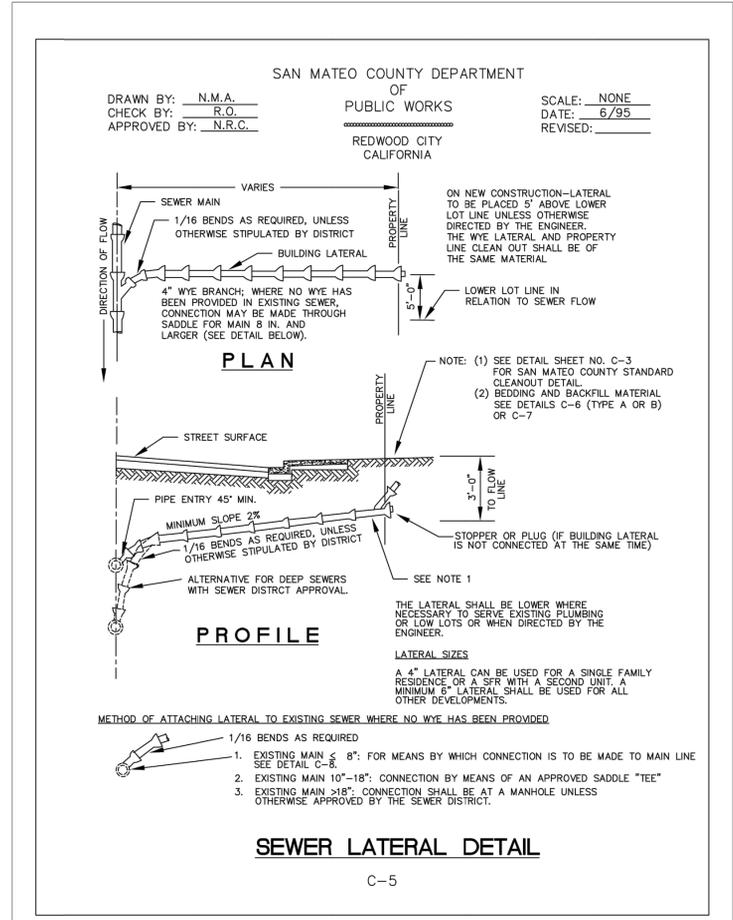
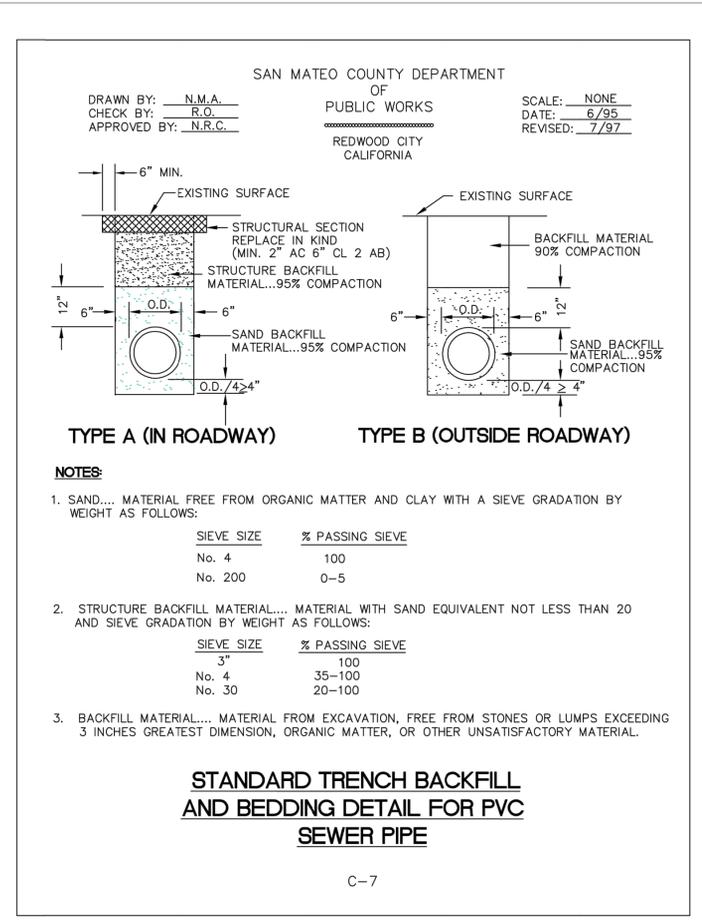
UTILITY	POTABLE WATER*	STORM WATER	SANITARY SEWER	GAS	ELECTRIC	COMM
POTABLE WATER	-	12"	12"	0"	12"	12"
STORM WATER	12"	-	12"	0"	24"	12"
SANITARY SEWER	12"	12"	-	0"	24"	12"
GAS	0"	0"	0"	-	24"	12"
ELECTRIC	12"	24"	24"	24"	-	12"
COMM	12"	12"	12"	12"	12"	-

* WHEN POTABLE WATER SHARES A JOINT TRENCH OR CROSSES SEWER AND/OR STORMWATER, POTABLE WATER SHALL ALWAYS BE ABOVE.



PERMIT SET

REVISIONS				DATE	APPROVED	 <small>3641 MT. DIABLO BLVD #1841 LAFAYETTE, CA 94549 925-275-5363, info@uprightengineering.com</small>	DATE: 8/13/2020	DESIGNED BY: AP
REV. NO.	DESCRIPTION							
1	ADDRESSED COMMENTS FROM COUNTY DPW 8-6-2020			8/13/2020			SURVEYED BY: BGT	
2							CHECKED BY: AP	
3							SHEET NO.	
4							UTILITY PLAN	



3

3



PERMIT SET

REV. NO.	DESCRIPTION	DATE	APPROVED
1			
2	ADDRESSED COMMENTS FROM COUNTY DPW 8-6-2020	8/13/2020	
3			
4			



DATE: 8/13/2020
RODRIGUEZ RESIDENCE
APN# 037-147-030
SIERRA ST, MOSS BEACH, CA

DESIGNED BY: AP
 DRAWN BY: AP
 SURVEYED BY: BGT
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 SHEET NO.
5 OF 5

DETAILS