

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** February 26, 2020

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** EXECUTIVE SUMMARY: Consideration of a Grading Permit and an Architectural Review Exemption, to allow for the construction of an 860 sq. ft. addition to an existing single-family residence. The project involves 62.2 cubic yards of grading in order to complete the project. The subject property is located at 55 Big Tree Way in the unincorporated Woodside area of San Mateo County.

County File Number: PLN 2019-00365

**PROPOSAL**

The applicant, Aurelie De La Broise, has submitted an application to allow for the construction of an 860 sq. ft. addition to an existing single-family residence. The project site is located in Skyline State Scenic Corridor at 55 Big Tree Way, unincorporated Woodside area. The project also includes the replacement of the existing septic tank and installation of new piping. In order to complete the proposed work, the project requires 62.2 cubic yards of grading activity. In the 1970's the Planning Commission adopted a set of standards for architectural and site control within the Skyline State Scenic Corridor. These standards require a grading permit if 25 cubic yards or more of earth are to be moved for a development project. The County's grading regulations establish the Planning Commission as the decision making authority for all grading permits located in State or County Scenic Corridors.

**RECOMMENDATION**

That the Planning Commission approve the Grading Permit and Architectural Review Exemption, County File Number PLN 2019-00365, by adopting the required findings and conditions of approval listed in Attachment A.

**SUMMARY**

The project proposes an 860 sq. ft. addition to an existing single-family residence. The project also proposes to relocate and enlarge the existing septic tank. The proposed grading quantity of 62.2 cubic yards is necessary to complete the project as proposed.

While the subject parcel is within the Skyline State Scenic Corridor, the proposed project's impacts are minimal given that the project is not visible from the scenic roadway. The proposed project scope and location also allows for the majority of the parcel to remain undisturbed in its natural state, which is consistent with the goals of the State of California Scenic Highways program.

The project is further consistent with the development standards detailed in the S-10 Zoning District. This includes compliance with minimum setbacks, maximum height, and maximum allowable lot coverage. The project is also in compliance with the objectives of the architectural review exemption as the proposed residence will not be visible from the scenic roadway due to topography, distance, and existing vegetation. Furthermore, the project utilizes colors and materials that blend with the natural environment. The project complies with the County's Grading Ordinance as the project, as proposed and conditioned, will not have an adverse environmental impact and conforms to the County's General Plan.

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**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** February 26, 2020

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** Consideration of a Grading Permit, pursuant to Section 9287 of the County Ordinance Code and an Architectural Review Exemption, pursuant to the State of California Streets and Highways Code, to permit an 860 sq. ft. addition to an existing single-family residence located at 55 Big Tree Way in the Unincorporated North Skyline area of San Mateo County.

County File Number: PLN 2019-00365

**PROPOSAL**

The applicant, Aurelie De La Broise, has submitted an application to allow for the construction of an 860 sq. ft. addition to an existing single-family residence. The project also includes the replacement of the existing septic tank and installation of new piping. In order to complete the proposed work, the project requires 62.2 cubic yards (c. y.) of grading activity. The project site is located in the Skyline State Scenic Corridor. In the 1970s the Planning Commission adopted a set of standards for architectural and site review for development proposed within the Skyline State Scenic Corridor. These standards require a grading permit if 25 cubic yards or more of earth are to be moved for a development project. The County's grading regulations establish the Planning Commission as the decision making authority for all grading permits located in State or County Scenic Corridors.

**RECOMMENDATION**

That the Planning Commission approve the Grading Permit and Architectural Review Exemption, County File Number PLN 2019-00365, by adopting the required findings and conditions of approval listed in Attachment A.

**BACKGROUND**

Report Prepared By: Angela Chavez, Project Planner

Applicant: Aurelie De La Broise

Owner: Aurelie and Josselin De La Broise

Location: 55 Big Tree Way, North Skyline

APN: 075-181-010

Size: 20,400 sq. ft.

Existing Zoning: R-E/S-10 (Residential Estates/20,000 sq. ft. Minimum Parcel Size)

General Plan Designation: Low Density Residential

Sphere-of-Influence: Town of Woodside

Existing Land Use: Developed with an existing single-family residence and detached garage.

Water Supply: The property is currently served by a municipal water connection provided by Sky Londa Mutual Water Company. There is no proposed change to this service.

Sewage Disposal: The property is currently served by a private onsite water treatment system. While the relocation and replacement of the existing septic tank is proposed as part of this project the property will continue to be served by an onsite water treatment system. This portion of the project has been reviewed by the County's Environmental Health Services and has received conditional approval.

Flood Zone: Zone X (Areas defined as an area of minimal flood hazard risk). FEMA Community Panel Number: 06081C0294E, dated October 16, 2012.

Environmental Evaluation: Categorically exempt per Section 15301, Class 1 of the California Environmental Quality Act Guidelines for additions to existing structures where an addition does not result in an increase of more than 50 percent of the existing floor area or 2,500 sq. ft., whichever is less.

Setting: The subject parcel is located approximately .2 of a mile from the intersection of Skyline Boulevard (CA-35) and Elk Tree Road. The project parcel is developed with a single-family residence and detached garage. The neighboring parcels are developed with low-density residential development.

Chronology:

<u>Date</u>	<u>Action</u>
September 13, 2019	- Application Received
December 17, 2019	- Project Deemed Complete

**DISCUSSION**

A. **KEY ISSUES**

1. **Conformance with General Plan**

Staff has reviewed the project for conformance with all applicable General Plan Policies. The policies applicable to this project include the following:

Policy 1.24 (*Protect Vegetative Resources*) calls for, in part, the regulation of development to ensure the minimization of the removal of vegetative resources and the protection of scenic trees. The subject parcel is located in a heavily wooded low-density residential subdivision east of Skyline Boulevard. The addition as proposed will be located in an area between the existing residence and the detached garage. This location helps to cluster development and avoid previously undisturbed areas. This location also avoids the mature trees in the vicinity of the residence. The project does not involve the removal of any trees or any significant vegetation.

Policy 2.17 (*Minimize Soil Erosion and Sedimentation*) calls for the regulation of development to minimize soil erosion and sedimentation. The parcel slopes downward from Big Tree Way and the proposed addition follows topography of the site. The proposed grading activity is minimal and preserves the overall topography of the site. The overall proposed grading involves approximately 53.1 cubic yards of cut and 9.1 cubic yards of fill. In other locations, projects that do not exceed 250 cubic yards of grading activity do not require grading permits; in scenic corridors, however, the Architectural Review standards apply and require a grading permit for any grading activity that exceeds 25 cubic yards. However, given the overall size of the parcel and the limited area impacted by the project improvements, the project minimizes the amount of grading by focusing the proposed activities to areas that are adjacent to areas previously disturbed.

Policy 4.21 (*Scenic Corridors*) calls for the protection and enhancement of the visual quality of scenic corridors by managing the location and appearance of structural development. The subject property is located within the Skyline State Scenic Corridor. The subject property is buffered from public viewpoints of Skyline Boulevard by the existing mature vegetation, topography, and distance. Given the existing site conditions, the addition to the existing single-family residence will not be visible from Skyline Boulevard. Further, the proposed development does not require the removal of any trees and the structure utilizes natural materials and colors

which aid in blending it with the natural environment and minimizing any impacts to visual resources.

Policies 4.24 and 4.25 (*Location of Structures and Earthwork Operations*) call for the regulation of the location of development to minimize the impacts of noise, light, glare and odors on adjacent properties and roads. These policies also call for the proposed development to conform to the natural vegetation, landforms, and topography of the existing site while keeping grading or earth-moving operations to a minimum. As discussed previously, the proposed addition is located between the existing residence and the existing detached garage and will follow the downward sloping topography of the site. Therefore, the proposed site disturbance is limited to areas immediately adjacent to previously disturbed and/or developed areas. The grading for the house has been designed to conform to the topography of the site and results in relatively minor changes. The proposed natural colors and materials proposed for the addition aid in minimizing the impact of glare as they help the proposed structure blend in with the surrounding environment. Given the overall size of the parcel and the focused areas of the proposed development, the applicant has preserved the scenic nature of the parcel.

## 2. Conformance with the Grading Ordinance

The proposed grading activities for this project involve cut and fill activities in order to construct an addition and complete the associated site improvements. Approximately 53.1 cubic yards will be excavated, and 9.1 cubic yards of fill placed in order to construct the proposed project. Generally, projects which involve 250 cubic yards of grading activity or less do not require a separate grading permit. However, the Architectural Review standards, which apply in this instance due to the project's location, require a grading permit for any grading activity that exceeds 25 cubic yards.

Staff has reviewed the proposal against the required findings for the issuance of a grading permit and concluded that the project conforms to the criteria for review contained in Section 9296 of the Grading Ordinance (i.e., standards for erosion and sediment controls and submittal of a geotechnical report). Given that the areas proposed for improvement are focused and contained, the project ensures that the majority of the parcel will remain in its natural state. In order to approve this project, the Planning Commission must make the required findings. Staff concludes that the findings can be made, as described below:

- a. **That the project will not have a significant adverse effect on the environment.**

The project will have a less than significant impact on the environment. The project site is located in an existing developed area and the site improvements are limited to areas which have either previously been disturbed or are immediately adjacent to existing development. The grading proposed is minor in nature and preserves the majority of the parcel in its current condition. The project also does not require the removal of any trees.

**b. That the project conforms to the criteria of the San Mateo County Grading Ordinance and is consistent with the General Plan.**

The project, as proposed, does conform to the criteria for review contained in the Grading Ordinance. As discussed in previous sections, the proposed grading and site impacts associated with this project are consistent with the County General Plan Policies regarding land use compatibility and development standards to minimize land use conflicts with the natural environment. The project is also consistent with the intent of the Grading Ordinance, which calls for minimizing alterations to topography, and preserving trees and vegetation. The proposed improvements are clustered amongst existing development on the project site, thereby protecting the existing significant trees and maintaining the majority of the parcel in its natural state.

**3. Conformance with the Zoning Regulations**

**a. R-E/S-10 Zoning District Requirements**

As shown in the table below, the proposed residence complies with the S-10 Zoning Regulations with regard to all aspects of the Zoning Regulations.

	<b>A</b>	<b>B</b>
	<b>S-10 Development Standards</b>	<b>Proposed</b>
Minimum Lot Size	20,000 sq. ft.	20,400 sq. ft.
Minimum Front Setback	20 feet	24 feet
Minimum Side Setback	10 feet	>10 feet (both left and right sides)
Minimum Rear Setback	20 feet	>20 feet
Maximum Allowable Lot Coverage	25% (5,100 sq. ft.)	12.19% or 2,541 sq. ft.
Maximum Building Height	36 feet	19'-10"

4. Conformance with Architectural Review

Staff has reviewed the project and found that the project qualifies for an architectural review exemption as the project is an addition that is not visible from the Skyline scenic roadway. The project also is in compliance with the applicable sections of the State of California Streets and Highways Code as it pertains to the Skyline State Scenic Corridor. Specifically, the standards attempt to promote the preservation of the visual character and protect the scenic appearance of the Skyline State Scenic Corridor area. The proposed addition will not be visible from the scenic roadway due to distance, topography, existing development, and existing vegetation between the project parcel and public viewpoints. The proposed materials and colors (greens and browns) to be utilized for the addition aid in blending the addition with the surrounding environment. The project also respects the natural topography of the site by minimizing the grading activity and overall site disturbance. Overall, the project has been designed and sited as to remain subordinate and complementary to the site.

B. ENVIRONMENTAL REVIEW

The project is categorically exempt from environmental review under Section 15301, Class 1, of the California Environmental Quality Act (CEQA) Guidelines which allows for additions to existing structures.

C. REVIEWING AGENCIES

Building Inspection Section  
Environmental Health Services  
Geotechnical Section  
Woodside Fire Protection District

**ATTACHMENTS**

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Project Plans

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County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit or Project File Number: PLN 2019-00365      Hearing Date: February 26, 2020

Prepared By: Angela Chavez,  
Project Planner

For Adoption By: Planning Commission

**RECOMMENDED FINDINGS**

Regarding the Environmental Review, Find:

1. That this project is exempt from CEQA, under Section 15301 (Class 1) of the CEQA Guidelines, regarding minor additions to existing structures.

Regarding the Grading Permit, Find:

2. That this project, as conditioned, will not have a significant adverse effect on the environment. The project has been reviewed by Planning staff, which found that the project can be completed without significant harm to the environment, as conditioned, given the limited scope of the project. The project includes minimal grading and does not include the removal of trees major vegetation.
3. That this project, as conditioned, conforms to the criteria of the San Mateo County Grading Ordinance and is consistent with the General Plan. Planning staff and Building Inspection Section have reviewed the project and have determined its conformance to the criteria of Chapter 5, Division VII, San Mateo County Ordinance Code, including the standards referenced in Section 9296 and the San Mateo County General Plan. The proposed improvements are clustered amongst existing development on the project site, thereby protecting the majority of the existing significant trees and maintaining the majority of the parcel in its natural state.

Regarding the Architectural Review Exemption, Find:

4. That the project complies with the criteria of the State of California Streets and Highways Code as it pertains to the Skyline State Scenic Corridor. The project proposes on-site improvements only. The proposed addition will not be visible from public viewpoints due to distance, topography, existing development, and existing vegetation between the project site and public viewpoints. The project utilizes colors and materials, which are natural in appearance and earth toned,

which helps the addition blend with the surrounding environment. The project also respects the natural topography of the site and has clustered the development to minimize site disturbance. The project has been designed and sited so as to remain subordinate and complementary to the site.

## **RECOMMENDED CONDITIONS OF APPROVAL**

### **Current Planning Section**

1. The approval applies only to the proposal as described in this report and materials submitted for review and approval by the Planning Commission on February 26, 2020. The Community Development Director may approve minor revisions or modifications to the project if they are found to be consistent with the intent of and in substantial conformance with this approval.
2. This permit shall be valid for two (2) years from the date of approval in which time a building permit shall be issued. Any extension of this permit shall require submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. No grading shall be allowed during the winter season (October 1 to April 30) to avoid potential soil erosion.
4. No grading activities shall commence until the property owner has been issued a grading permit (issued as the "Hard Card" with all necessary information filled out and signatures obtained) by the Current Planning Section and the building permit shall be issued at the same time. No grading activities shall commence until all permits have been issued.
5. The applicant is required to replace any vegetation removed during construction, including ground cover. Per Section 6324.2, vegetation for stabilization of all graded and disturbed areas or replacement of existing vegetation shall be selected and located to be compatible with surrounding vegetation, recognizing climate, soil and ecological characteristics of the region. This shall occur and be confirmed by Current Planning staff prior to the building permit's final inspection approval.
6. The San Mateo County Grading Ordinance shall govern all grading associated with this project. Per Grading Ordinance Section 9296.5, all equipment used in grading operations shall meet spark arrester and firefighting tool requirements, as specified in the California Public Resources Code.
7. The engineer who prepared the approved grading plan shall be responsible for the inspection and certification of the grading as required by Section 9297 of the Grading Ordinance. The engineer's responsibilities shall include those relating to non-compliance detailed in Section 9297.4 of the Grading Ordinance.

8. Erosion and sediment control during the course of grading work shall be installed and maintained according to a plan prepared and signed by the engineer of record and approved by the Department of Public Works and the Current Planning Section. Revisions to the approved erosion and sediment control plan shall be prepared and signed by the engineer and must be reviewed and approved by the Department of Public Works and Current Planning Section.
9. It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.
10. For the final approval of the grading permit, the property owner shall ensure the performance of the following activities within thirty (30) days of the completion of grading at the project site:
  - a. The engineer shall submit written certification that all grading has been completed in conformance with the approved plans, conditions of approval, and the Grading Regulations, to the Department of Public Works and the Planning and Building Department's Geotechnical Engineer.
  - b. The geotechnical consultant shall observe and approve all applicable work during construction and sign Section II of the Geotechnical Consultant Approval form, for submittal to the Planning and Building Department's Geotechnical Engineer and Current Planning Section.
11. Prior to the beginning of any construction, the applicant shall submit to the Planning Department for review and approval an erosion and drainage control plan that shows how the transport and discharge of soil and pollutants from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plan shall also limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plan shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including:
  - a. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.

- b. Minimize the area of bare soil exposed at one time (phased grading).
- c. Clear only areas essential for construction.
- d. Within five days of clearing or inactivity in construction, stabilize bare soils through either non-vegetative Best Management Practices (BMPs), such as mulching, or vegetative erosion control methods, such as seeding. Vegetative erosion control shall be established within two weeks of seeding/planting.
- e. Construction entrances shall be stabilized immediately after grading and frequently maintained to prevent erosion and control dust.
- f. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.
- g. Soil and/or other construction-related material stockpiled on-site shall be placed a minimum of 200 feet from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.
- h. Intercept runoff above disturbed slopes and convey runoff to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.
- i. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow energy.
- j. Install storm drain inlet protection that traps sediment before it enters any adjacent storm sewer systems. This barrier shall consist of filter fabric, straw bales, gravel, or sand bags.
- k. Install sediment traps/basins at outlets of diversions, channels, slope drains, or other runoff conveyances that discharge sediment-laden water. Sediment traps/basins shall be cleaned out when 50 percent full (by volume).
- l. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5-acre or less per 100 ft. of fence. Silt fences shall be inspected regularly, and sediment removed when it reaches 1/3 the fence height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion-resistant species.
- m. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved erosion control plan.

12. The applicant shall submit a dust control plan to the Planning Department for review and approval prior to the issuance of a building permit for the project. The approved plan shall be implemented for the duration of any grading, demolition, and construction activities that generate dust and other airborne particles. The plan shall include the following control measures:
  - a. Water all active construction areas at least twice daily, as needed.
  - b. Water or cover stockpiles of debris, soil, sand, or other materials that can be blown by the wind.
  - c. Cover all trucks hauling soil, sand and other loose materials or require all trucks to maintain at least 2 ft. of freeboard.
  - d. Apply water three times daily as needed or apply (non-toxic) soil stabilizers on all unpaved access roads, parking and staging areas at construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
  - e. Sweep daily (preferably with water sweepers) all paved access roads, parking and staging areas at construction sites.
  - f. Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
  - g. Enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.).
  - h. Limit traffic speeds on unpaved roads within the project parcel to 15 mph.
  - i. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
  - j. Replant vegetation in disturbed areas as quickly as possible.
13. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo County Ordinance Code Section 4.88.360).
14. The applicant is responsible for ensuring that all contractors minimize the transport and discharge of pollutants from the project site into local storm drain systems and water bodies by adhering to the San Mateo Countywide Stormwater Pollution Prevention Program and General Construction and Site Supervision Guidelines, including:

- a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30. Stabilizing shall include both proactive measures, such as the placement of hay bales or coir netting, and passive measures, such as revegetating disturbed areas with plants propagated from seed collected in the immediate area.
  - b. Storing, handling, and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater.
  - c. Controlling and preventing the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
  - d. Using sediment controls or filtration to remove sediment when dewatering site and obtaining all necessary permits.
  - e. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
  - f. Delineating with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
  - g. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
  - h. Performing clearing and earth-moving activities only during dry weather.
  - i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
  - j. Limiting construction access routes and stabilizing designated access points.
  - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
  - l. The contractor shall train and provide instruction to all employees and subcontractors regarding the construction best management practices.
15. No trees are approved for removal as part of this permit approval. A separate permit shall be required for the removal of any trees. An application and processing, including applicable fees, shall be required prior to any tree removal.

16. Prior to scheduling a final inspection, color verification shall occur in the field after the applicant has applied the approved materials and colors. The applicant is required to maintain the approved materials and colors.
17. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.

#### Building Inspection Section

18. The project requires a building permit.
19. The property is located in a Moderate Fire Hazard Severity Zone and the project shall be designed and constructed accordingly.
20. Fire sprinklers are required throughout the existing and proposed structure.

#### Geotechnical Section

21. The project shall either have a soils investigation and report completed or shall be designed according to the California Building Code for soil bearing pressure.

#### Drainage Section

22. At the building permit stage, the applicant shall submit Full Drainage Report prepared and stamped by a registered Civil Engineer.
23. At the building permit stage, the applicant shall submit a Final Drainage Plan prepared and stamped by a registered Civil Engineer. This plan shall include the confirmation of the suitability of a retention-based infiltration system on a slope given the project soils onsite.
24. At the building permit stage, an updated C.3 and C.6 Development Review Checklist (if changes to the amount of impervious area have been made during the design phase) is required.

#### Environmental Health Services

25. The applicant shall comply with all Environmental Health Services requirements at the building permit stage.
26. At building permit phase, applicant will need to delineate details of the septic system onto the civil plans identifying all required setbacks.

Woodside Fire Protection District (WFPD)

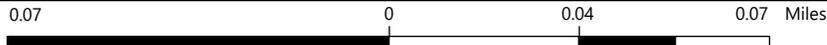
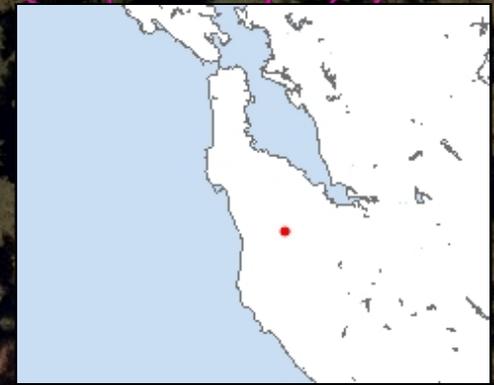
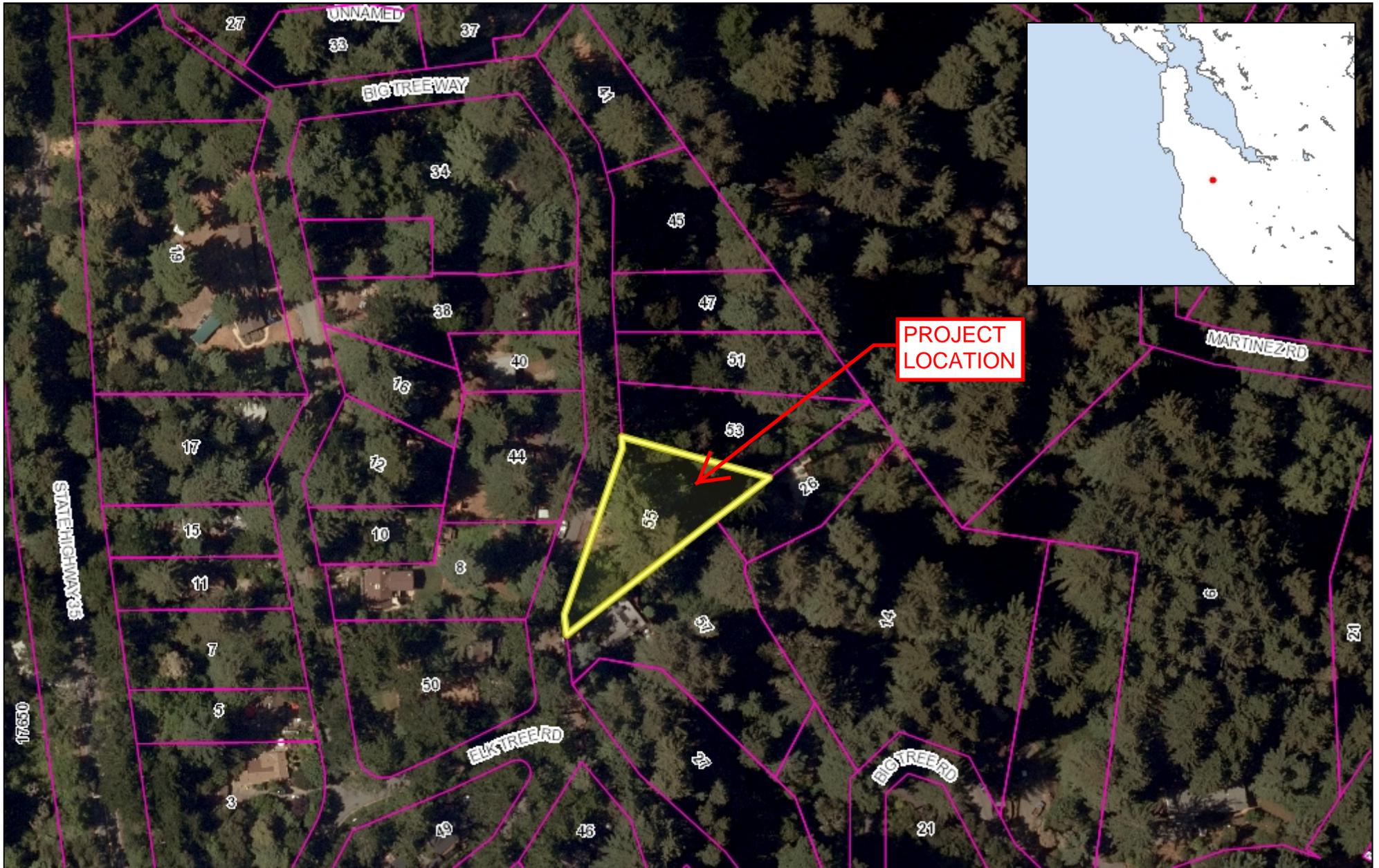
27. At the start of construction, a 2'x3' address sign will be posted at the front of the property.
28. Prior to the building permit final, the permanent address will be mounted and clearly visible from the street with a minimum of 4" numbers on a contrasting background.
29. Prior to the start of construction, 100' defensible space from the structure is required.
30. Prior to the building permit final, a final inspection by Woodside Fire Protection District is required to confirm compliance with the required 30' perimeter property line defensible space (Per WFPD Ordinance section 304.1.2.A).
31. At the building permit stage, an approved spark arrestor will be required on all installed chimneys including outside fireplaces.
32. The installation of smoke and carbon monoxide detectors is required per 2016 California Building Code.
33. A NFPA 13D Fire Sprinkler System is required and shall be installed.
34. The applicant is responsible for obtaining the correct water flow data and the California Water Service Company requires a backflow device that can decrease the water flow pressure by 12-15 PSI due to friction loss of the backflow device.
35. Driveway as proposed meets WFPD standards. If driveway dimensions are revised during construction, it must maintain compliance with WFPD standard.

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**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT B**



WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
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This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT C**

**NOTE:**

GC TO MAINTAIN ADJOINING STREETS FREE AND CLEAN OF PROJECT DIRT, MUD, MATERIAL AND DEBRIS DURING CONSTRUCTION PERIOD, AND MAINTAIN FIRE TRUCK ACCESS TO OTHER PROPERTIES.

GC TO INSTALL STRAW WATTLE AS NEEDED DURING CONSTRUCTION TO PREVENT RUNOFFS ON ADJACENT SITES, AND PUBLIC RIGHT OF WAY.

(E) DS TO REMAIN, INSTALL (N) SPLASH PAN AS NEEDED.

(N) DS TO CONNECT TO (E) DRAIN SYSTEM W/ 4" PVC AS NEEDED, OR TO STOP ABOVE A SPLASH PAN.

WHEN NEW FOUNDATIONS ARE NEEDED FOR THE PROJECT, AT THE TIME OF FOUNDATION INSPECTION IF REQUIRED BY CITY INSPECTOR, CORNER STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO ENSURE THAT NEW STRUCTURE CONSTRUCTION IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS, AND DOES NOT ENCRoACH IN THE SETBACK.

ALL NEW ROOF DRAINAGE WILL BE DIRECTED TO LANDSCAPED AREAS TO THE EXTENT FEASIBLE AND NOT ONTO ADJACENT PROPERTIES.



① (E) SITE PLAN  
1/16" = 1'

② (N) SITE PLAN  
1/16" = 1'



VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.

**CONTRACTOR'S NOTES:**

- CONTRACTOR SHALL BE FULLY INSURED AND LICENSED IN THE STATE WHERE WORK IS TAKING PLACE.
- THE CONTRACTOR SHALL NOT ORDER MATERIALS NOR SCHEDULE THE WORK UNTIL ALL PLAN DIMENSIONS, SPECIFICATIONS, NOTES, HAVE BEEN VERIFIED IN FIELD.
- DRAWINGS, SHOP DRAWINGS AND EXISTING CONDITIONS ARE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR. THE GC SHALL INFORM THE ARCHITECT OF ANY CONFLICTS IN WRITING BEFORE CONSTRUCTION COMMENCES. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS BEST AS PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY.
- IT IS THE RESPONSIBILITY OF THE GC TO NOTIFY THE OWNER AND THE ARCHITECT OF RECORD OF ANY CONDITION FOUND IN THE FIELD TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS OR SHOP DRAWINGS AND OF NOTED CONFLICTS FOUND ON THE PLANS OR SHOW ON DRAWINGS THAT MAY AFFECT THE COMPLETION OF THE PROJECT, BEFORE SUCH WORK COMMENCES.

- THE GC SHALL REVIEW AND COMPARE THE STRUCTURAL DRAWINGS WITH ARCHITECTURAL, PLUMBING, MECHANICAL, CIVIL, AND ELECTRICAL DRAWINGS, AS PROVIDED IN PERMIT SET.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO POURING CONCRETE. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING AND NEW PROPERTIES OF THE OWNER OR ADJOINING PROPERTIES. THE CONTRACTOR SHALL NOT UNDERMINE FOUNDATIONS WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES AND SEQUENCES OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PROGRAMS AND PROCEDURES DURING CONSTRUCTION, INCLUDED BUT LIMITED TO POLLUTION PREVENTION PLAN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DESIGN AND IMPLEMENT SHORING SYSTEM PRIOR TO THE BEGINNING OF CONSTRUCTION.

- WHEN A CONFLICT EXISTS ON THE PLANS AND SPECIFICATIONS, DETAIL NOTES AND DRAWINGS SHALL GOVERN AND WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED MEASUREMENTS.
- UNLESS SHOWN OTHERWISE, DETAILS SHOWN ON TYPICAL DETAIL SHEETS SHALL BE USED WHEREVER APPLICABLE. SPECIFIC DETAILS ON THE STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER TYPICAL DETAILS. SPECIFIC NOTES ON STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER NOTES SHOWN IN GENERAL NOTES.
- MANUFACTURERS' NOTES AND SPECIFICATIONS SHALL APPLY WHEN PER CODE.
- DO NOT SCALE DRAWINGS.
- GC IS RESPONSIBLE FOR LOCATING AND AVOIDING UTILITIES. CALL USA NORTH AT 1-800-227-2600.
- VERIFY ALL DIMENSIONS IN FIELD. IN CASE OF DISCREPANCY CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.
- THE ISSUANCE OF A BUILDING PERMIT SHALL NOT BE CONSTRUED AS A GUARANTEE THAT ALL OF CODE REQUIREMENTS ARE REFLECTED IN THE DOCUMENT. THE

GENERAL CONTRACTOR FOR THE PROJECT SHALL BE ULTIMATELY RESPONSIBLE FOR INSURING THAT THE FINISHED PRODUCT COMPLIES WITH ALL REGULATIONS, LAWS AND CODE REQUIREMENTS.

- WHEN MANUFACTURED ROOF TRUSSES ARE INSTALLED, GC TO PROVIDE TRUSSES CALCS SIGNED BY LICENSE PROFESSIONAL FOR APPROVAL BY CITY OR COUNTY. CALC TO BE REVIEWED AND APPROVED BY ENGINEER OF RECORD PRIOR TO BE SUBMITTED TO THE BUILDING OFFICIAL.
- THE CITY/COUNTY BUILDING OFFICIAL AND/OR FIRE MARSHALL WILL REVIEW THE SCOPE OF WORK AND DETERMINE IF THE EXISTING BUILDING WILL NEED TO BE REQUIRED TO BE RETROFITTED WITH FIRE SPRINKLERS. GC TO CONTACT FIRE DEPARTMENT FOR VERIFICATION, AND UPGRADE WATER METER, LINES AS NECESSARY. IF REQUIRED, FIRE SPRINKLER SYSTEM TO BE ON DEFERRED PERMIT AND SUBMITTED BY THE GC.
- GC TO READ, BE FAMILIAR AND FOLLOW ALL STANDARD PROVISIONS, CONSTRUCTION GUIDE LINES AND REQUIREMENTS OF LISTED, CURRENTLY APPLICABLE CODES AND ORDINANCE.

**55 BIG TREE WAY, WOODSIDE, CA 94062**



**NOTES:**

- ALL PERMITS EXCEEDING \$1,000.00 IN VALUATION SHALL REQUIRE INSTALLATION OF APPROVED SMOKE AND CARBON MONOXIDE DETECTORS WITHIN THE DWELING.
- ALL PERMITS EXCEEDING \$10,000.00 IN VALUATION SHALL REQUIRE THE INSTALLATION OF AN APPROVED AUTOMATIC GAS SHUT-OFF DEVICE ON THE CUSTOMER OWNED PIPING AT THE UTILITY METER.
- VIF & INSTALL A MOTION SENSITIVE AUTOMATIC GAS SHUTOFF VALVE ON GAS METER WHEN REQUIRED.
- BUILDING ADDRESS NUMBERS MUST BE A MINIMUM OF 4 INCHES IN HEIGHT OR 3 INCHES IN HEIGHT AND SELF-ILLUMINATED.
- CARBON MONOXIDE ALARM AND DETECTOR SHALL BE INSTALLED IN ACCORDANCE W/ THE MANUFACTURER'S INSTRUCTIONS, NFPA 720 INSTALLATION STANDARDS AND CRC.
- ALL SMOKE ALARMS SHALL BE 110V CONNECTED TO THE BUILDING WIRING (W/ BATTERY BACKUP INCLUDING LOW BATTERY WARNING FEATURE)
- ALL SMOKE ALARMS TO BE INTERCONNECTED.

**REVISIONS**

1	12/06/2019
2	
3	
4	
5	



**OWNER:**  
MR. AND MRS. DE LA BROISE  
55 BIG TREE WAY, WOODSIDE, CA 94062

**PROJECT DATA**

OCCUPANCY:	R-3 / U
CONSTRUCTION TYPE:	VB
FIRE SPRINKLERS:	NO
APN:	075-181-010
FLOOD ZONE:	X
ZONING:	OSN
NET SITE AREA:	20,845 SF

(E) ENTRY PORCH:	43 SF
(E) ENTRY LEVEL:	576 SF
(E) ENTRY LEVEL DECK:	242 SF
(E) LOWER FLOOR:	753 SF
(E) LOWER FLOOR DECK:	357 SF
(E) GARAGE:	264 SF
(E) TOTAL CONDITIONED SPACE:	1,329 SF

(N) ADDITION ENTRY LEVEL:	578 SF
(N) ADDITION LOWER LEVEL:	76 SF
(N) ADDED CONDITION SPACE:	654 SF
50% OF (E) SQ FT = 664.5 SF	
ADDITION IS LESS THAN 50% OF (E) SQ FT	
(N) BASEMENT:	206 SF

(N) TOTAL ENTRY LEVEL:	1,154 SF
(N) TOTAL LOWER FLOOR:	829 SF
(N) TOTAL CONDITIONED SPACE:	1,983 SF

(N) LOT COVERAGE INCLUDING DECK:	2,541 SF	12.19 %
(N) FAR:		9.51 %

**SCOPE OF WORK**

(N) ADDITION, AND INTERIOR REMODEL  
NO CHANGE TO PARKING

**SHEET INDEX**

A1	SITE PLAN - PROJECT DATA
A2	EXISTING & DEMOLITION PLAN
A3	EXISTING ELEVATIONS AND SECTIONS
A4	PROPOSED PLAN
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A6	PROPOSED ELEVATIONS
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A8	DETAILS
GN1	GENERAL NOTES
GN2	MANDATORY MEASURES
GN3	MANDATORY MEASURES
GN4	CALGREEN FORMS
GN5	POLLUTION PREVENTION PLAN
EN1	TITLE 24
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	TOPOGRAPHIC SURVEY
	SEPTIC TANK REPLACEMENT
SGN	GENERAL NOTES
SGD	GENERAL DETAILS
S1	FOUNDATION PLAN
S2	1ST FLOOR FRAMING PLAN
S3	ROOF FRAMING PLAN
SD1	STRUCTURAL DETAILS
SD2	STRUCTURAL DETAILS
SD3	STRUCTURAL DETAILS
	EROSION CONTROL DETAILS
	EROSION CONTROL PLAN
	FOUNDATION DRAIN PLAN
	GRADING PLAN

**DRAWN BY**  
PLG

**CHECKED BY**  
PLG

**ISSUE DATE**  
09/09/2019

**SCALE**  
1/16"=1'-0"

**JOB NO**  
19-005

**SHEET**

**A-1**

**ADDITION / REMODEL  
55 BIG TREE WAY,  
WOODSIDE, CA 94062**

**SITE PLAN  
PROJECT DATA**

REVISIONS

- 1 12/06/2019
- 2
- 3
- 4
- 5



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 510.612.0345  
 romain@polygondesignstudio.com

ADDITION / REMODEL  
 55 BIG TREE WAY,  
 WOODSIDE, CA 94062

EXISTING AND  
 DEMOLITION PLAN

DRAWN BY

PLG

CHECKED BY

PLG

ISSUE DATE

09/09/2019

SCALE

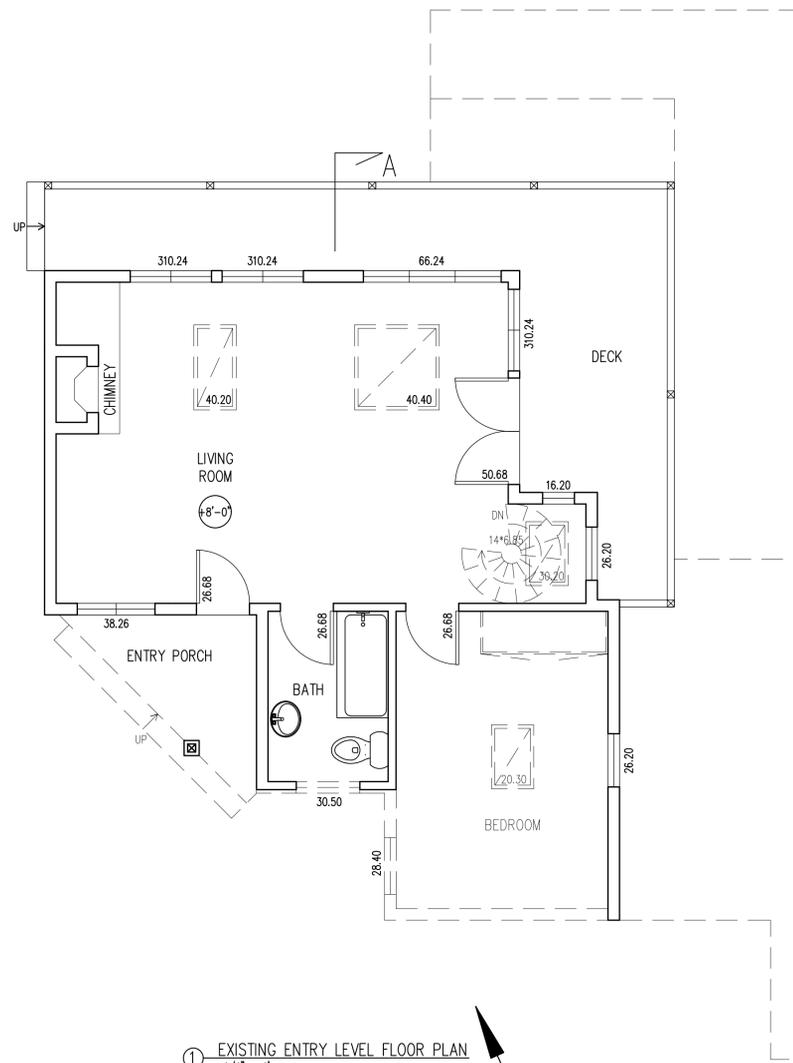
1/4"=1'-0"

JOB NO

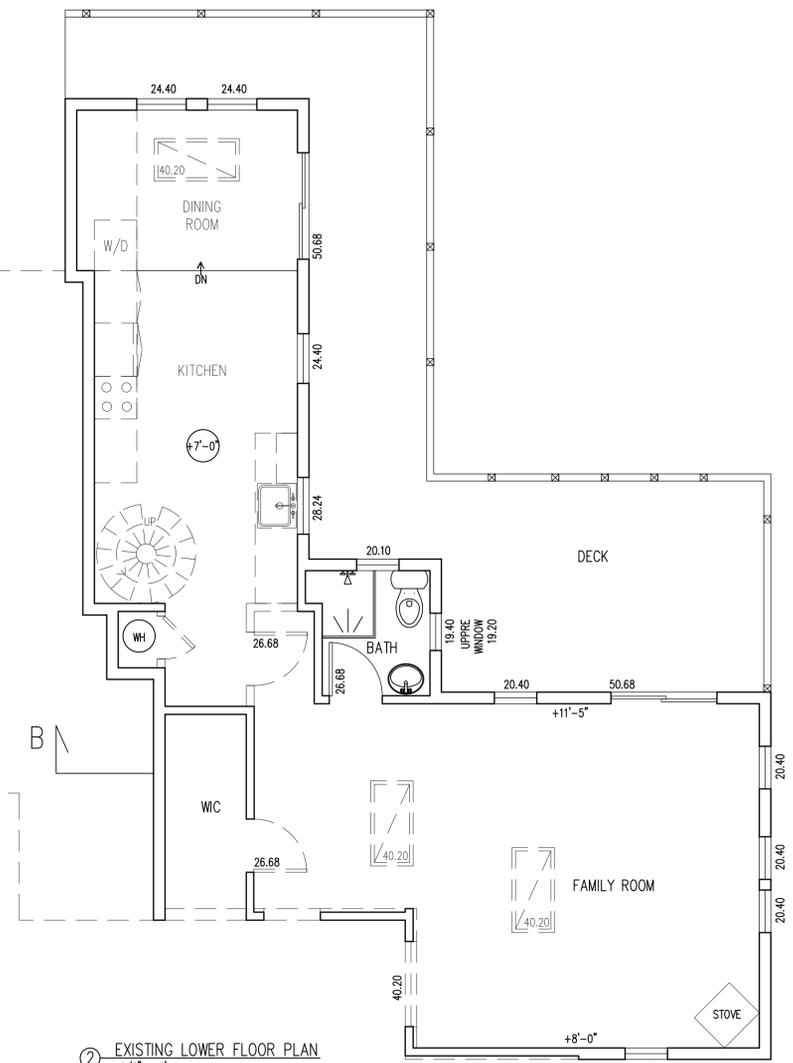
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SHEET

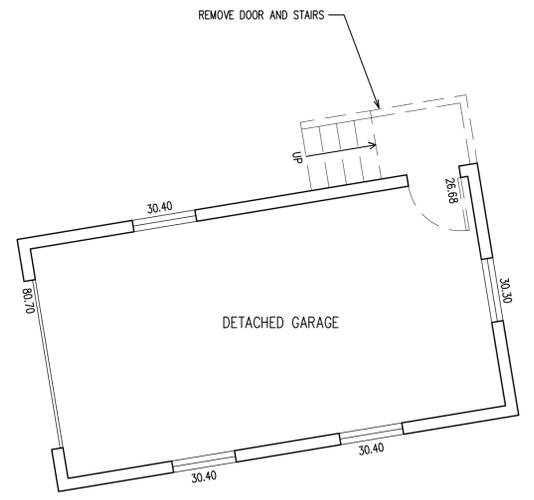
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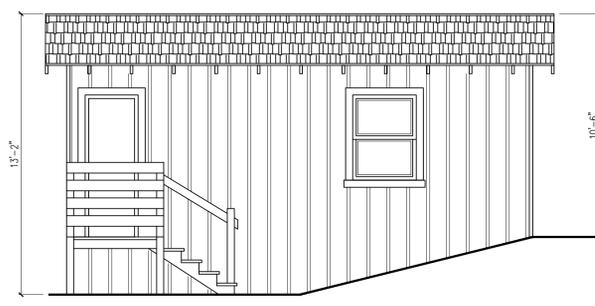
1 EXISTING ENTRY LEVEL FLOOR PLAN  
 1/4" = 1'



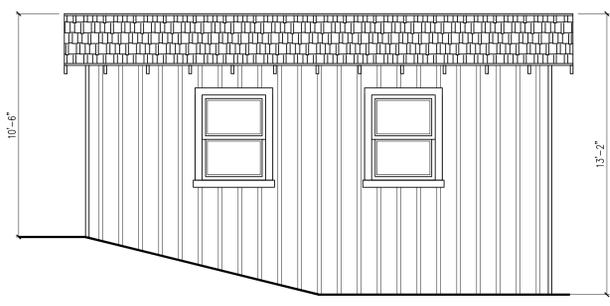
2 EXISTING LOWER FLOOR PLAN  
 1/4" = 1'



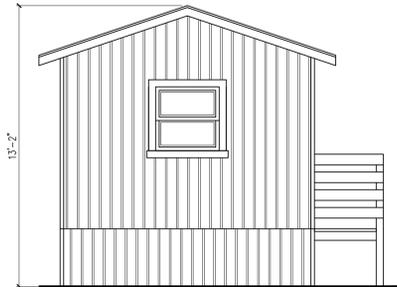
3 EXISTING GARAGE FLOOR PLAN  
 1/4" = 1'



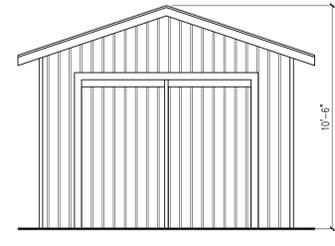
4 EXISTING GARAGE SIDE ELEVATION  
 1/4" = 1'



5 EXISTING GARAGE SIDE ELEVATION  
 1/4" = 1'



6 EXISTING GARAGE REAR ELEVATION  
 1/4" = 1'



7 EXISTING GARAGE FRONT ELEVATION  
 1/4" = 1'



VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.

REVISIONS

- 1 12/06/2019
- 2
- 3
- 4
- 5



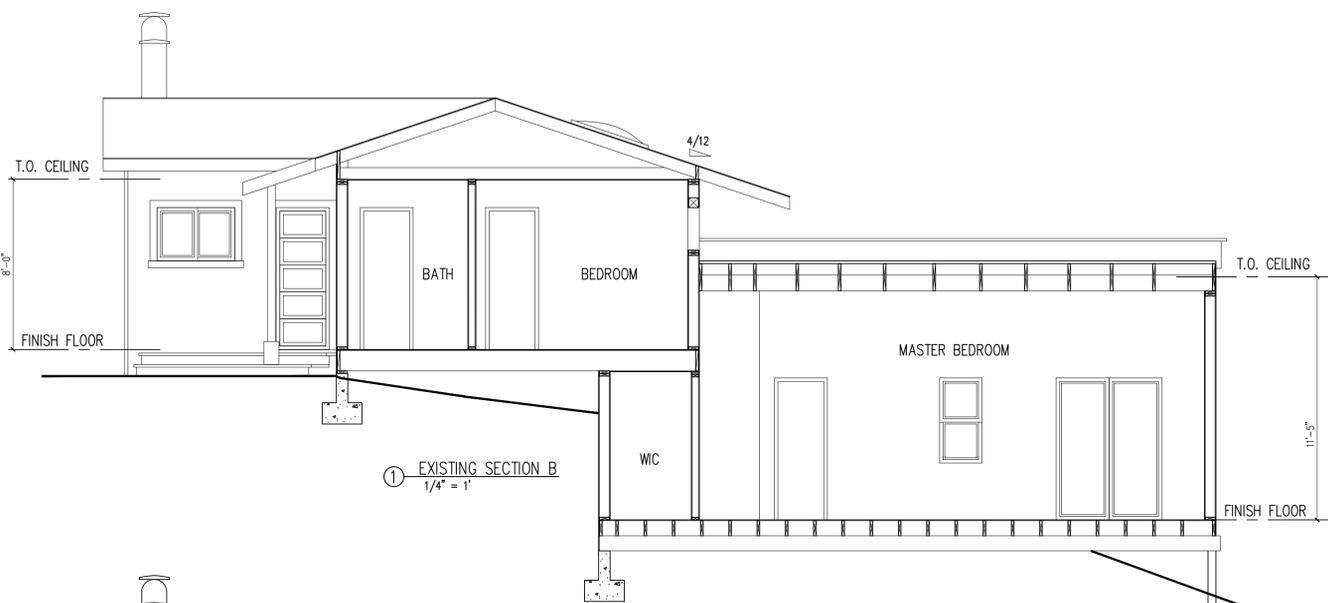
ROMAIN CURTIS  
 ARCHITECT #C35019  
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ADDITION / REMODEL  
 55 BIG TREE WAY,  
 WOODSIDE, CA 94062

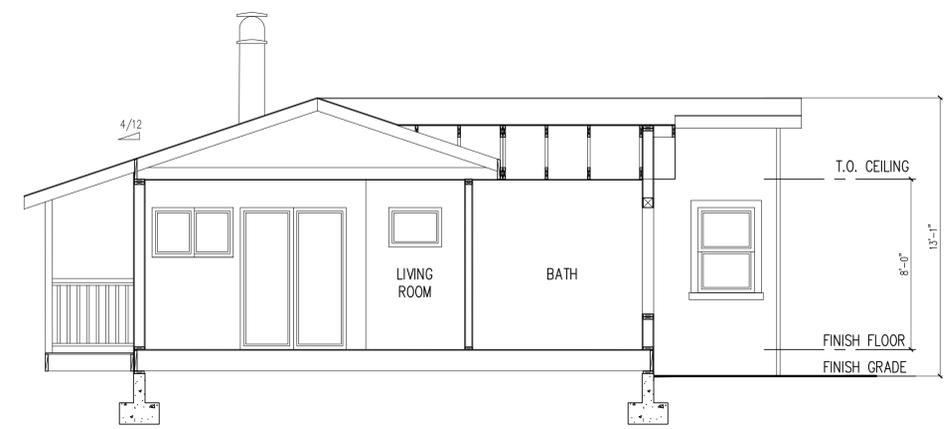
EXISTING  
 ELEVATIONS AND  
 SECTIONS

DRAWN BY  
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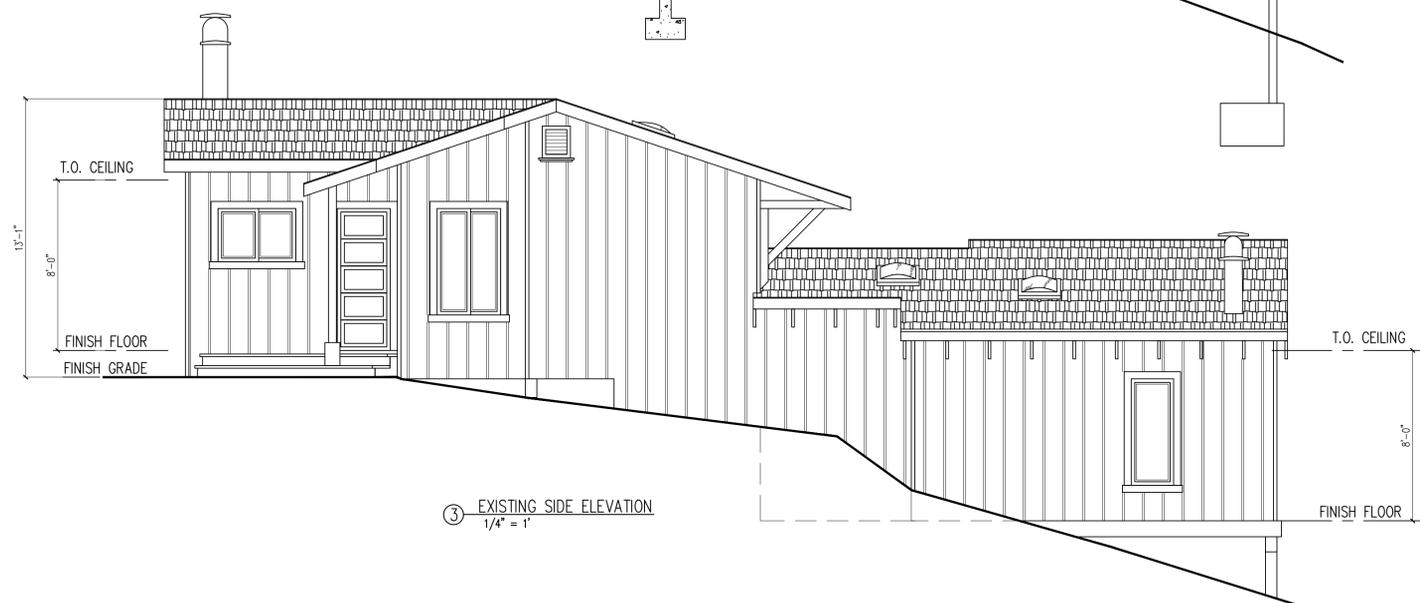
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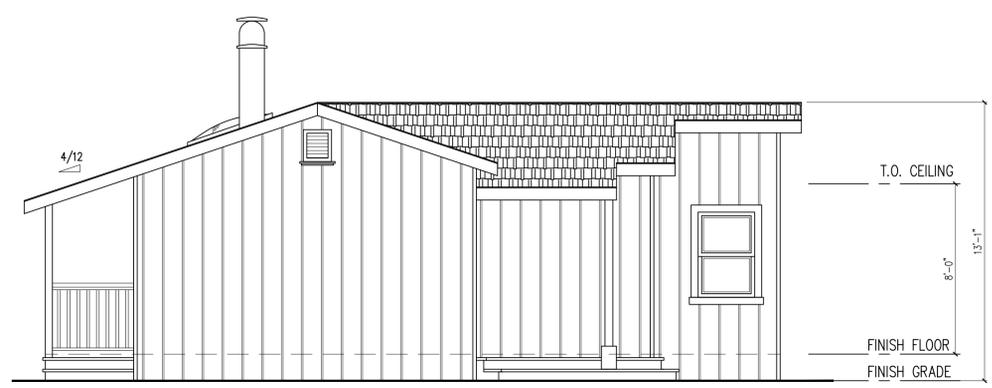
1 EXISTING SECTION B  
 1/4" = 1'



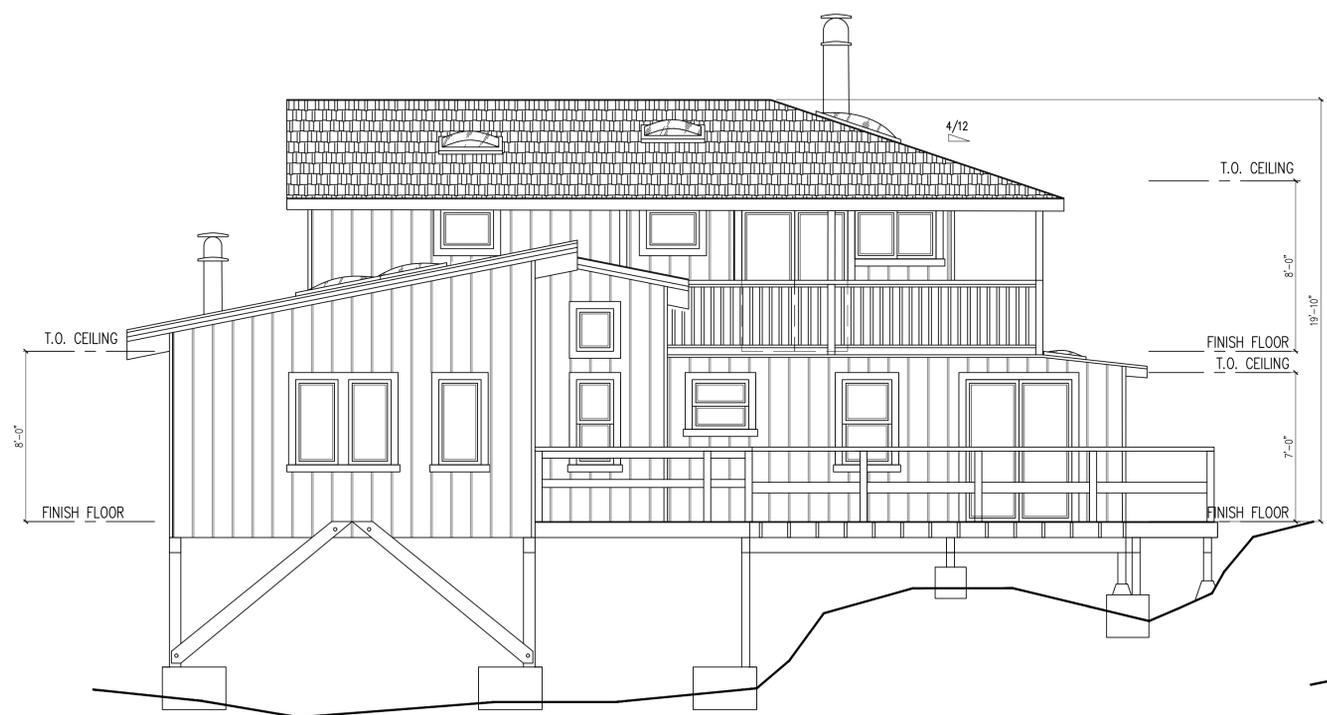
2 EXISTING SECTION A  
 1/4" = 1'



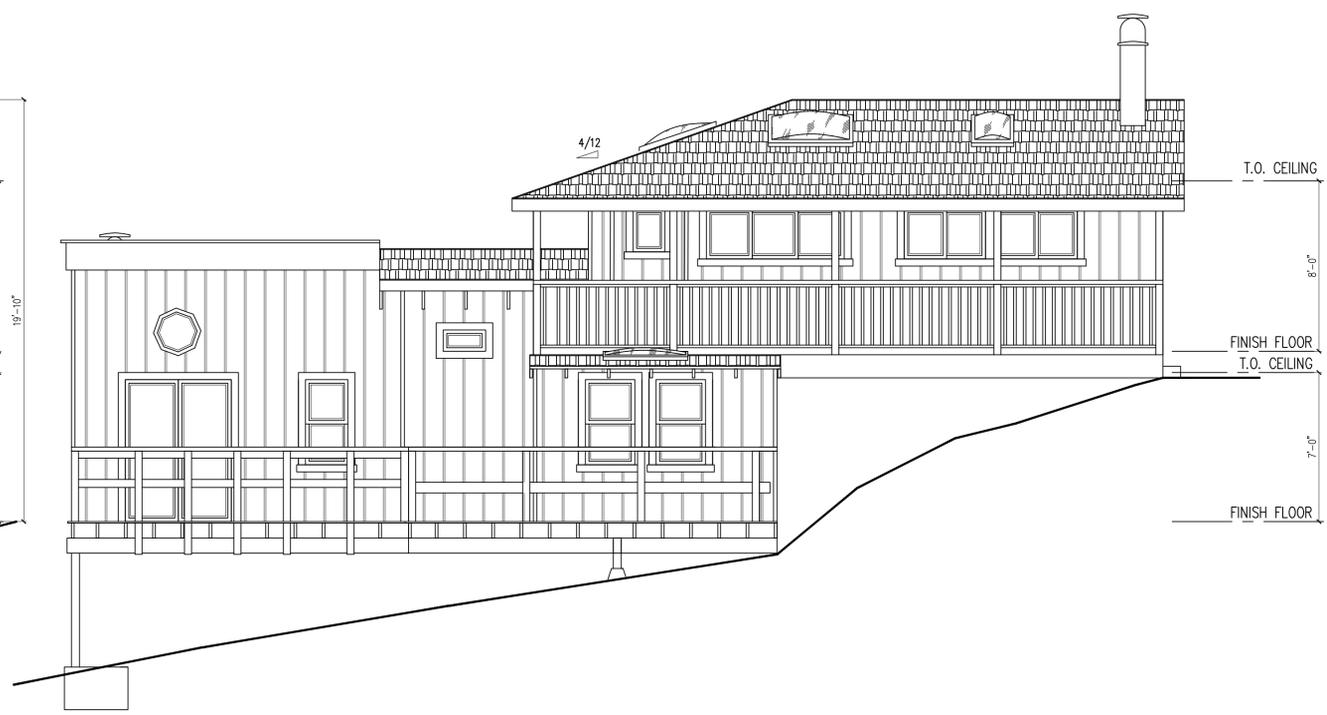
3 EXISTING SIDE ELEVATION  
 1/4" = 1'



4 EXISTING FRONT ELEVATION  
 1/4" = 1'



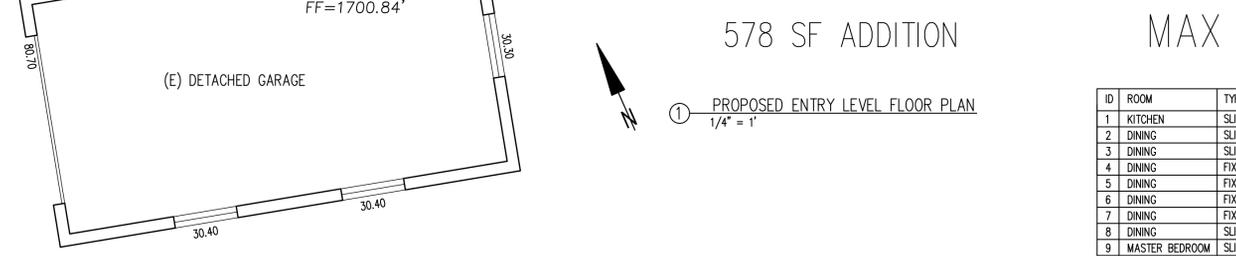
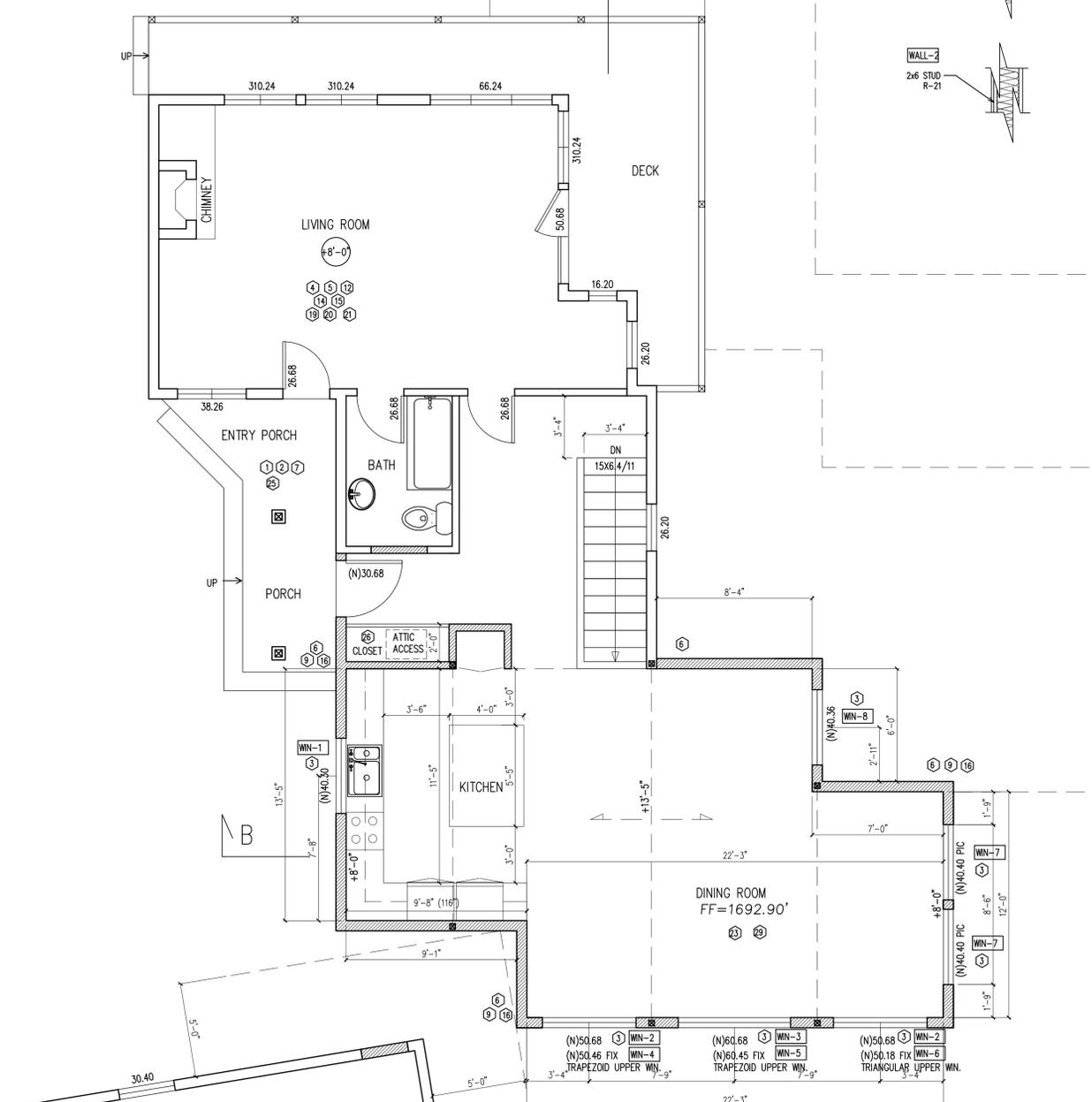
5 EXISTING REAR ELEVATION  
 1/4" = 1'



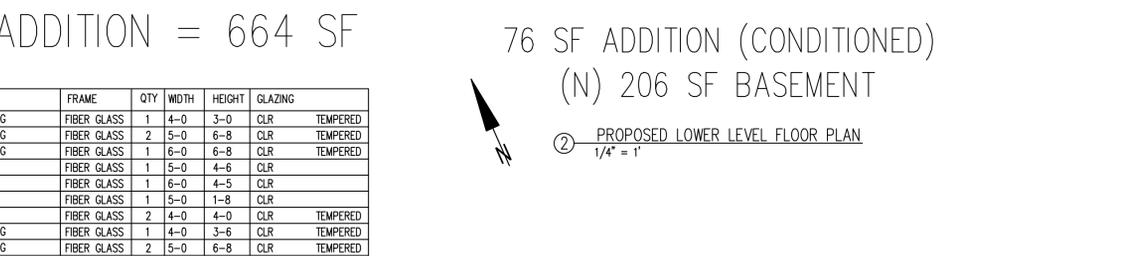
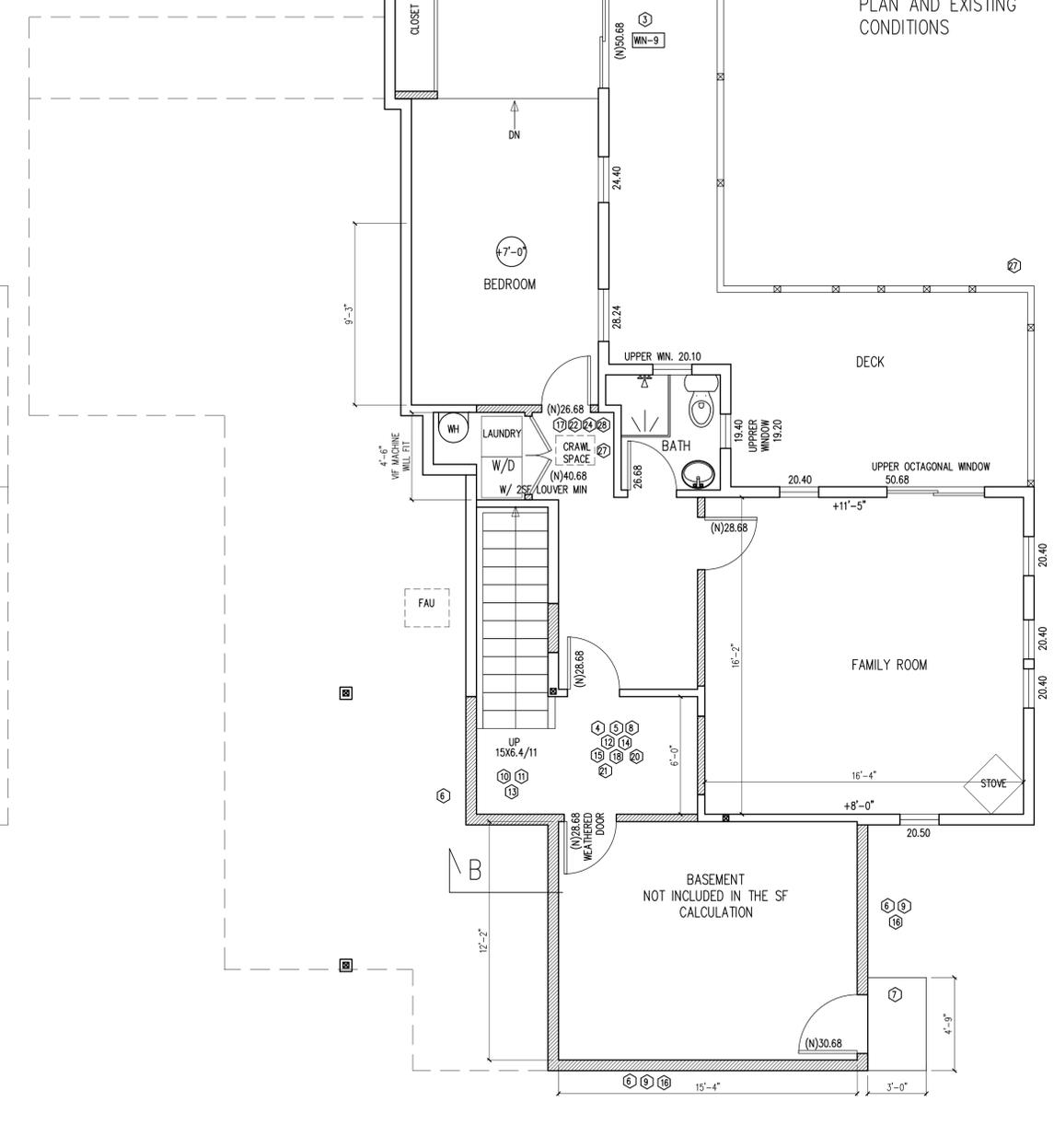
6 EXISTING SIDE ELEVATION  
 1/4" = 1'

NOTE:  
FOR STRUCTURAL, AND/OR SEISMIC RETROFIT, SHEAR WALL  
DETAILS AND LOCATION, AND FOUNDATION DESIGN, SEE  
STRUCTURAL DESIGN.

INTERIOR FINISHES:  
WALL - SHEET ROCK - SMOOTH FINISH  
CEILING - SHEET ROCK - SMOOTH FINISH  
FLOORS - ENGINEERED WOOD FLOORS OVER 1/2" PAD MIN.  
FLOORS FOR BATHROOM, LAUNDRY ROOM, MUD ROOM TO BE TILES.  
WALLS IN BATHROOMS TO BE TILED  
GARAGE TO BE SEALED/PAINED CONCRETE  
ALL WOOD TO BE WOOD AND FIBERGLASS - UON  
ALL DOORS TO BE SOLID WOOD DOOR - UON



- FLR-1 - R19
- ROOF-1 - R38
- WALL-1 - R15
- WALL-2 - R21



VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.

**TIMBER FRAMING:**  
ALL FRAMING LUMBER SHALL BE DOUGLAS FIR GRADE STAMPED ACCORDING TO THE CURRENT GRADING RULES AS FOLLOWS:  
BEAMS AND STRINGERS - #1 OR STRUCTURAL AS NOTED  
CEILING JOISTS AND RAFTERS - #2 OR #1 AS NOTED  
FLOOR FRAMING SHALL BE #2 @ 16" O.C. U.O.N. DOOR AND WINDOW HEADERS - #2  
STUDS - #2  
PLATES AND BLOCKING - #2  
ALL LUMBER SHALL BE MINIMUM DOUGLAS FIR #2 WMPA ALL SUB-FLOORS SHALL BE 3/4" TONGUE AND GROOVE EDGE GROUND OSB, STAGGERED JOINTS. GUE, WITH USI CONSTRUCTION ADHESIVE. NAIL WITH 10D NAILS AT 6" O.C. AT EDGES AND 12" O.C. THROUGHOUT.

**DOUBLE FLOOR JOISTS BELOW PARALLEL PARTITIONS WITH 16D NAILS AT 12" O.C., STAGGERED ALL SHEAR WALLS SHALL BE 3/4" OSB, UON. PROVIDE HARDWARE MANUFACTURED BY SIMPSON AS REQUIRED, INSTALL PER MANUFACTURER'S INSTRUCTIONS. FLOOR JOISTS AND CEILING JOISTS SHALL BE SIDE LAPPED AND NAILED OVER TOP PLATES. U.O.N. ALL UNTREATED WOOD FRAMING SHALL BE A MINIMUM OF 8" ABOVE ADJACENT FINISHED GRADE. ALL TIMBER LESS THAN 8" FROM FINISHED GRADE SHALL BE PRESSURE TREATED. ALL SILL PLATE TO BE PT WOOD. EARTH ON WHICH CONCRETE FOUNDATIONS ARE TO BE POURD MUST BE WETTED NOT LESS THAN 24 HOURS PRIOR TO PLACING CONCRETE.**

**CONCRETE FOUNDATIONS:**  
ALL CONCRETE SHALL BE MINIMUM 3,000 PSI STRENGTH WITHIN 28 DAYS. REINFORCING STEEL LARGER THAN #5 SHALL BE GRADE 60 DEFORMED BARS CONFORMING TO ASTM A615, 30,000 PSI. SPLICES - 40 BAR DIAMETERS, BENDS MINIMUM 12".

**REINFORCEMENT OF CONCRETE SLAB AND SLAB THICKNESS TO BE AS NOTED ON DRAWINGS. MIN. 3-1/2" THICK WITH #3 BARS AT 18" O.C. PROVIDE GROOVED JOINTS AT 10'-0" O.C. EARTH ON WHICH CONCRETE FOUNDATIONS ARE TO BE POURD MUST BE WETTED NOT LESS THAN 24 HOURS PRIOR TO PLACING CONCRETE.**

**NEW FOUNDATIONS:**  
AT THE TIME OF FOUNDATION INSPECTION CORNER STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO ENSURE THAT NEW STRUCTURE CONSTRUCTION IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS, AND DOES NOT ENCRACH IN THE SETBACK.

**FLASHINGS:**  
TO BE INSTALLED TO ADEQUATELY PREVENT MOISTURE FROM ENTERING THE WALL AT PENETRATIONS OF THE BUILDING ENVELOPE INCLUDING BUT NOT LIMITED TO THE LOCATIONS AND FLASHING INSTALLATION REQUIREMENTS.

**EGRESS:**  
IN BED ROOMS, AT LEAST ONE WINDOW OR DOOR TO EXTERIOR TO COMPLY WITH EGRESS REQUIREMENTS! WINDOW IN EACH BEDROOM MUST COMPLY W/ THE FOLLOWING:  
MIN CLEAR OPENING HEIGHT OF 24"  
MIN CLEAR OPENING WIDTH OF 20"  
MIN CLEAR OPENABLE AREA NOT LESS THAN 5.7 SF.  
BOTTOM OF CLEAR OPENING NOT GREATER THAN 44" ABOVE THE FLOOR - GC TO VIF

**WINDOWS:**  
ALL NEW WINDOWS AND DOORS W/ GLASS WINDOW WHO HAVE U FACTOR AS NOTED ON ENERGY REPORT & BE NRC RATED - TYP.  
ALL GLASS IN (N) INTERIOR OR EXTERIOR DOORS TO BE TEMPERED.

**STUCCO:**  
EXTERIOR 7/8-INCH TEXTURED STUCCO SHALL BE APPLIED ACCORDING TO THE IS28 RECOMMENDATIONS, TECHNICAL SERVICES INFORMATION BUREAU - CHAPTER 6 - THREE-COAT PLASTER-STUCCO DETAILS, PUBLISHED 01/15/2012.

**WOOD SIDING:**  
AS NOTED ON PLAN, IN AREA NEED TO BE 1/4" FIRE RATED MIN., REPLACE WOOD SIDING W/ CEMENT BOARD.

**INSULATION:**  
ALL EXTERIOR WALLS/CEILING/FLOORS (OR WALLS ADJACENT TO UNCONDITIONED SPACE) THAT ARE OPENED UP DURING CONSTRUCTION WILL BE INSULATED. 2X4 FRAMED WALLS WITH A MINIMUM OF R-15, 2X6 FRAMED WALLS WITH R-19, FLOORS W/ R-19 AND CEILING WITH R-38, OR AS OTHERWISE NOTED ON PLAN OR ENERGY REPORT. FOR ALL NEW WALLS, FLOORS, ROOF, SEE ENERGY REPORT FOR INSULATION REQUIREMENTS.

**VENTILATION:**  
MECHANICAL VENTILATION SYSTEM PROVIDED IN THE BATHROOM/WATER CLOSET SPACES SHALL BE A MINIMUM 50-CU. FT. PER MINUTE (FOR INTERMITTENT VENTILATION), OR 25-CU. FT. PER MINUTE FOR CONTINUOUS VENTILATION. THE VENTILATION AIR FROM THIS SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. WHEN THE BATHROOM OR TOILET ROOM IS NOT EQUIPPED WITH A WINDOW THAT PROVIDES A VENTILATION OPENING OF AT LEAST 1.5 SQ.FT. PROVIDE MECHANICAL VENTILATION WITH AN EXHAUST CAPACITY OF AT LEAST 50 CFM. EXHAUST FAN SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM. EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR TUB SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING BATHROOM EXHAUST FOR HUMIDITY CONTROL. EXHAUST RATE OF BATHROOM FANS AT (E) BATHROOM, (N) BATHROOM (OFF (N) BEDROOM), AND POWDER ROOM ADJACENT TO GARAGE AND FAMILY ROOM THAT DO NOT HAVE A WINDOW TO HAVE ARTIFICIAL LIGHT AND A LOCAL EXHAUST SYSTEM.

**THE MINIMUM LOCAL EXHAUST RATES SHALL BE 50 CUBIC FEET PER MINUTE FOR INTERMITTENT VENTILATION OR 20 CUBIC FEET PER MINUTE FOR CONTINUOUS VENTILATION. EXHAUST AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS. DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET (4267 MM), INCLUDING TWO 90 DEGREE (1.57 RAD) ELBOWS. A LENGTH OF 2 FEET (610 MM) SHALL BE DEDUCTED FOR EACH 90 DEGREE (1.57 RAD) ELBOW IN EXCESS OF TWO, NOT LESS THAN A 4 INCH DIAMETER (102 MM) MOISTURE EXHAUST DUCT OF APPROVED MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CODE. GC TO PROVIDE AN EXHAUST FAN FOR WHOLE-BUILDING VENTILATION TO MEET INDOOR AIR QUALITY (IAQ) REQUIREMENTS. THE FAN SHOULD BE ON AT ALL TIMES WHEN THE BUILDING IS OCCUPIED. PROVIDE WHOLE HOUSE FAN (WHF) WHEN INDICATED ON THE ENERGY REPORT. TERMINATION OF ALL ENVIRONMENTAL AIR DUCT EXHAUST SHALL BE A MINIMUM OF 3 FEET FROM PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING (I.E., BATH AND UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS). FLEW / VENT FOR DRYER 10'-0" LONG MAX. END MUST BE 3'-0" MIN FROM ANY OPENING - INSULATE ALL FLEW AND VENT FOR DRYER TO PREVENT CONDENSATION. IF LONGER THAN 10'-0" ADD MECHANICAL FAN TO BE AUTOMATICALLY ON WHEN W/D ARE IN USE.**

- KEY NOTES
- 1 SEE ATTACHED MANDATORY MEASURES TO BE FOLLOWED OR/AND DONE DURING CONSTRUCTION PER 2016 CBC
  - 2 VIF & INSTALL INSTANT GAS SHUT OFF
  - 3 TEMP. GLASS
  - 4 ALL EXISTING NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES WHEN REQUIRED IN THE 2016 MANDATORY MEASURE. ALL NEW FIXTURES TO COMPLY WITH THE 2016 MANDATORY MEASURE. SEE GCZ FOR LOW FLOW WATER FIXTURE REQUIREMENTS. SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE.
  - 5 ALL (E) INTERIOR WALLS THAT HAVE BEEN OPENED UP TO HAVE R-13 INSULATION MIN. ALL (E) EXTERIOR WALLS THAT HAVE BEEN OPENED UP TO HAVE THE FOLLOWING INSULATION: 2X4 TO HAVE R-15 MIN, ALL (E) CEILING THAT HAVE BEEN OPENED UP TO HAVE R-38 MIN INSULATION - TYP ALL HOUSE. ALL (N) CEILING TO HAVE R-38 INSULATION, MAINTAIN MIN 1" AIR GAZE BETWEEN INSULATION AND SHEATHING - UON ALL FLOORS THAT HAVE BEEN OPENED UP TO HAVE R-19 MIN INSULATION.
  - 6 (N) EXTERIOR WALL 2X6 OF #2 MIN 1/2 PLY WOOD SHEATHING - UON R-21 UON IN T24 2 LAYER BRAD 10" BLDG. PAPER SONG AND TRIM OR STUCCO TO MATCH (E) - UON
  - 7 (N) CONCRETE FOUNDATION SOIL TO SLOPE AWAY FROM FOUNDATION 10' MIN AT 5% ALL SILL PLATE TO BE PT WOOD - NO EXCEPTION
  - 8 (N) CONCRETE SLAB W/ 10 MIL MIN VAPOR BARRIER UNDER
  - 9 (N) FRENCH DRAIN
  - 10 (N) CONCRETE STAIRS
  - 11 CONCRETE LANDINGS AT EXTERIOR DOORS EQUAL TO THE WIDTH OF THE DOOR MIN AND A LENGTH IN THE DIRECTION OF TRAVEL EQUAL TO 36" AND SLOPE OF EXTERIOR LANDINGS SHALL NOT EXCEED 1/4" PER FOOT (2% SLOPE). [§8311.3 CRC]
  - 12 ALL (N) WINDOWS TO BE VINYL - UON
  - 13 UNDER SIDE OF STAIRS WALL AND SOFFIT ADD TYP X 1/2" 6"-8" HEAD CLEARANCE MIN ABOVE NOSING
  - 14 ALL FINISHED TO BE SELECTED AND SPECIFIED BY OWNER - TYP WHOLE HOUSE - UON
  - 15 DRY ROT - REPAIR AND REPLACE AS NECESSARY
  - 16 MAINTAIN AT LEAST 6-INCHES BETWEEN WEEP SCREED AND SOIL. MAINTAIN AT LEAST 4-INCHES BETWEEN THE WEEP SCREED AND ANY PAVED AREA
  - 17 PUT FOAM INSULATION AT ALL WALL AROUND LAUNDRY ROOM
  - 18 MAINTAIN UNDER-FLOOR VENTILATION AT THE RATE OF 15F FOR EACH 150SF.
  - 19 MAINTAIN ATTIC VENTILATION AT THE RATE OF 1 SF FOR EACH 150 SF. ALL UNDER-FLOOR VENTILATION OPENINGS SHALL BE COVERED WITH A WIRE MESH OPENING NOT MORE THAN 1/4-INCH.
  - 20 ALL FINISHED TO BE SELECTED AND SPECIFIED BY OWNER - TYP WHOLE HOUSE - UON
  - 21 GC TO VIF ALL DIMENSIONS BEFORE ORDERING DOORS, WINDOWS, FIXTURES. ACTUALLY FRAMING DIMENSION, ROUGH DIMENSION OR FIXTURE DIMENSION MAY DIFFER FROM DIMENSIONS SHOWN ON PLAN, ESPECIALLY FOR WINDOW, DOOR, AND FIXTURE REPLACEMENT
  - 22 (N) FLEW / VENT FOR DRYER 10'-0" LONG MAX. END MUST BE 3'-0" MIN FROM ANY OPENING - INSULATE ALL FLEW AND VENT FOR DRYER TO PREVENT CONDENSATION. IF LONGER THAN 10'-0" ADD MECHANICAL FAN TO BE AUTOMATICALLY ON WHEN W/D ARE IN USE
  - 23 COMPOSITE SHINGLE ROOFING WITH SLOPES EQUIVALENT TO 4:12 SHALL BE PROVIDE W/ DOUBLE UNDERLAYER. CRC 9505.2.2
  - 24 AT LAUNDRY ROOM PROVIDE A MINIMUM SIZED OPENING OF 100 SQUARE INCHES IN DOOR PER CMC 504.3.2 FOR MAKEUP AIR
  - 25 APPROVED ADDRESS NUMBER FOR EACH UNIT TO BE CONTRAST W/ BACKGROUND COLOR, MIN 4" HIGH, MIN STROKE OF 3/8" AND BE ILLUMINATED, AND CLEARLY VISIBLE FROM THE STREET
  - 26 ATTIC ACCESS 24"x36" MIN
  - 27 CRAWL SPACE ACCESS 18"x24" MIN
  - 28 (N) FLEW / VENT FOR DRYER 10'-0" LONG MAX. END MUST BE 3'-0" MIN FROM ANY OPENING - INSULATE ALL FLEW AND VENT FOR DRYER TO PREVENT CONDENSATION. IF LONGER THAN 10'-0" ADD MECHANICAL FAN TO BE AUTOMATICALLY ON WHEN W/D ARE IN USE
  - 29 CLOSED-CELL FOAM STOP AIR AND MOISTURE R VALUE PER INCH = +/- 6.5 NO AIR GAP

REVISIONS

1	12/06/2019
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ADDITION / REMODEL  
55 BIG TREE WAY,  
WOODSIDE, CA 94062

PROPOSED  
PLAN

DRAWN BY  
**PLG**

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**PLG**

ISSUE DATE  
**09/09/2019**

SCALE  
**1/4"=1'-0"**

JOB NO  
**19-005**

SHEET  
**A-4**

- 1 12/06/2019
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**ADDITION / REMODEL  
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WOODSIDE, CA 94062**

**PROPOSED  
ELECTRICAL  
PLAN**

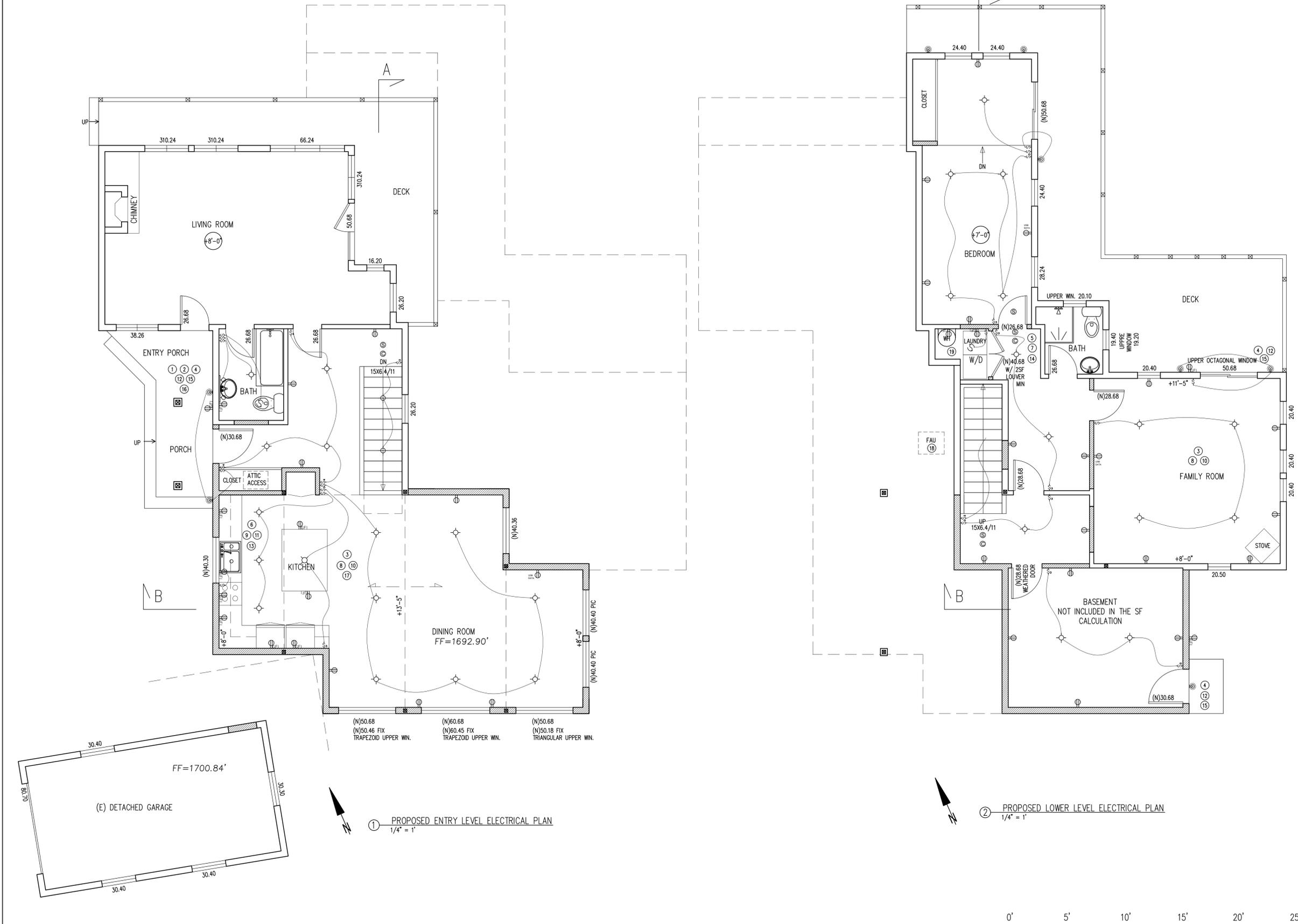
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- KEY NOTES**
- 1 SEE ATTACHED MANDATORY MEASURES TO BE FOLLOWED OR/AND DONE DURING CONSTRUCTION PER 2016 CBC
  - 2 ARC FAULT CIRCUIT INTERRUPTERS IN ALL ROOMS - UON
  - 3 NEW CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. THEY SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
  - 4 WATERPROOF EXTERIOR GRADED OUTLET
  - 5 PROVIDE AT LEAST ONE 20-AMP CIRCUIT AT LAUNDRYROOM; CIRCUIT SHALL HAVE NO OTHER OUTLETS. LUMINAIRES INSTALLED IN WET OR DAMP LOCATIONS MUST BE MARKED SUITABLE FOR WET/DAMP LOCATIONS.
  - 6 TWO SMALL APPLIANCE OUTLET CIRCUITS, 20-AMP EACH, ARE REQUIRED IN KITCHEN; CIRCUITS SHALL BE BALANCED AND HAVE NO OTHER OUTLETS. PROVIDE INDIVIDUAL DEDICATED CIRCUITS, MINIMUM 15 AMPS EACH, FOR ALL MAJOR APPLIANCES AND AS FOLLOWS: DISHWASHER, GARBAGE DISPOSAL, HOODE, FRIGERATOR, ETC. KITCHEN RECEPTACLE OUTLETS SERVING COUNTERTOPS SHALL BE INSTALLED IN EACH COUNTER WALL 12 INCHES OR WIDER SO NO POINT ALONG THE WALL IS MORE THAN 24 INCHES. SHALL BE INSTALLED IN EACH WALL SPACE SEPARATED BY RANGE TOPS, REFRIGERATORS OR SINKS. SHALL BE INSTALLED NOT MORE THAN 20 INCHES ABOVE THE COUNTERTOP. AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND AND EACH PENINSULA COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES MINIMUM AND A SHORT DIMENSION OF 12 INCHES OR GREATER; PENINSULA COUNTER TOPS ARE MEASURED FROM THE CONNECTING EDGE. THE KITCHEN EXHAUST SYSTEM SHALL BE DUCTED WITH A SMOOTH METAL INTERIOR DUCT, VENTED TO OUTDOORS, HAVE A MINIMUM EXHAUST RATE OF 100 CFM AND BE PROVIDED WITH A BACK-DRAFT DAMPER. EXHAUST FANS AND UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM LIGHTING SOURCE.
  - 7 LIGHTS AT GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY VACANCY SENSORS.
  - 8 PROVIDE 1 EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 50 CFM. THE DUCTING SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 - TABLE 7.1. [§150(O) CENC]
  - 9 KITCHEN SHALL HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM. THE DUCTING SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1. [§150(O) CENC]
  - 10 ADDITIONS GREATER THAN 1000 SQUARE FEET SHALL HAVE A WHOLE HOUSE CONTINUOUSLY OPERATING EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE CALCULATED ACCORDING TO ASHRAE STANDARD 62.2 EQUATION 4.1(A). THE DUCTING SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1. ONE OF THE LOCAL EXHAUST FANS IN A BATHROOM OR KITCHEN MAY BE USED, PROVIDED THE EXHAUST FAN MEETS THE MINIMUM VENTILATION RATES FOR BOTH THE LOCAL AND WHOLE HOUSE VENTILATION REQUIREMENTS. [§150.2(A) CENC]
  - 11 SMOKE ALARMS SHALL BE INSTALLED A MINIMUM OF 20 FEET FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. IONIZATION SMOKE ALARMS AND PHOTOELECTRIC SMOKE ALARMS ARE PERMITTED TO BE INSTALLED 10 FEET OR GREATER FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. CRC R314.3.3
  - 12 OUTDOOR LIGHTING SHALL BE CONTROLLED BY MANUAL ON/OFF SWITCH AND CONTROLLED BY PHOTOCELL AND MOTION SENSOR OR PHOTOCONTROL TIME SWITCH CONTROL/ASTRONOMICAL TIME CLOCK/ENERGY MANAGEMENT CONTROLS SYSTEM.
  - 13 KITCHEN HOOD SHALL HAVE A MINIMUM 100 CFM EXHAUST RATE, AND HOOD TO HAVE BACKDRAFT DAMPER. IF HOOD IS PART OF INTERMITTENT WHOLE HOUSE VENTILATION SYSTEM PER ASHRAE 62.2, MAXIMUM SOUND RATING OF 3-SONES IS ALLOWED AT 100 CFM (ASHRAE 62.2 & 2013 CEC).
  - 14 VACANCY SENSOR
  - 15 ON/OFF MOTION DETECTOR
  - 16 APPROVED ADDRESS NUMBER FOR EACH UNIT TO BE CONTRAST W/ BACKGROUND COLOR, MIN 4" HIGH, MIN STROKE OF 1/2" AND BE ILLUMINATED, AND CLEARLY VISIBLE FROM THE STREET
  - 17 (N) 200 AMP PANEL - VLF
  - 18 (E) FAU
  - 19 (E) WATER HEATER

- ELECTRICAL SYMBOLS:**
- SWITCH
  - DIMMER SWITCH / USB / DATA
  - RECEPTACLE
  - 220 RECEPTACLE
  - GROUND FAULT INTERRUPTER
  - RECESSED LIGHTING
  - CHANDELIER
  - CLG MOUNT
  - WALL MOUNT
  - HANGING LIGHT
  - FLUORESCENT LIGHT (2 TUBE)
  - VANITY LIGHTING
  - CEILING FAN
  - CEILING FAN W/LIGHT
  - TRACK LIGHTING
  - SMOKE ALARM
  - CARBON MONOXIDE ALARM
  - FAN
  - WATER PROOF EXTERIOR LIGHT
  - EV CHARGING STATION
  - GARAGE MOTOR
  - ELECTRICAL PANEL
  - WIRING

2 PROPOSED LOWER LEVEL ELECTRICAL PLAN  
1/4" = 1'

1 PROPOSED ENTRY LEVEL ELECTRICAL PLAN  
1/4" = 1'



VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.

**ELECTRICAL NOTES:**

AFD PROTECTION IS REQUIRED FOR ALL RECEPTACLES EXCEPT FOR THOSE LOCATED OUTSIDE, IN BATHROOMS, GARAGES, ATTICS AND BASEMENTS.

TAMPER RESISTANT RECEPTACLES ARE REQUIRED IN ALL LOCATIONS EXCEPT AT OUTLETS LOCATED MORE THAN 5 1/2 FEET ABOVE THE FLOOR, OUTLETS THAT ARE A PART OF A LUMINAIRE, OUTLETS DEDICATED TO APPLIANCES THAT CANNOT BE EASILY MOVED AND AT OUTLETS LOCATED IN ATTICS.

GFCI PROTECTION REQUIRED FOR RECEPTACLES LOCATED OUTDOORS, IN BATHROOMS, UNFINISHED BASEMENTS, CRAWL SPACES, KITCHEN AND WET BAR COUNTER TOP SURFACES, GARAGES, ACCESSORY BUILDINGS NOT INTENDED AS HABITABLE ROOMS.

RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF AND SHALL BE LISTED WEATHER RESISTANT TYPE.

CLARIFY RECEPTACLE OUTLET LOCATIONS:

A) RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR IN ANY WALL SPACE IS OVER 6 FEET FROM THE RECEPTACLE (ALLOWING 12 FEET MAX. BETWEEN RECEPTACLES ON THE SAME WALL).

B) RECEPTACLES SHALL BE LOCATED ALONG ANY WALL THAT IS 2 FEET OR MORE IN LENGTH.

C) RECEPTACLE OUTLETS SHALL BE INSTALLED AT EACH WALL COUNTER SPACE THAT IS 12 INCHES OR WIDER, NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE. PLAN REVIEW COMMENTS REV 8/2012 DV PAGE 6 OF 7.

ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY; EITHER LISTED BY SOURCE TYPE OR BY BEING JAB-2016 CERTIFIED LABELED.

SCREW BASED LUMINAIRES SHALL MEET ALL THE FOLLOWING:

A) SHALL NOT BE RECESSED DOWNLIGHT LUMINAIRES IN CEILING; AND

B) SHALL CONTAIN LAMPS THAT COMPLY WITH CEC REFERENCE JOINT APPENDIX JAB, AND

C) THE INSTALLED LAMPS SHALL BE MARKED WITH JAB-2016 OR JAB-2016-E.

LUMINAIRES RECESSED INTO CEILING MUST MEET ALL THE REQUIREMENTS FOR:

INSULATION CONTACT (IC) LABELING; SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING, AND SHALL BE CERTIFIED TO COMPLY WITH SECTION 110.9 AND ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW. JAB-2016-E CERTIFIED AND MARKED LIGHT SOURCE, RATED FOR ELEVATED TEMPERATURE, MUST BE INSTALLED BY FINAL INSPECTION.

AT LEAST ONE LIGHT IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR CERTIFIED TO COMPLY WITH SECTION 119(D) THAT DOES NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION. (150(K)3)

DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JAB (INCLUDING CEILING RECESSED DOWNLIGHT LUMINAIRES AND GU-24 SOCKETS CONTAINING LED LIGHT SOURCES) AND THEY SHALL COMPLY WITH SECTION 119(O) AND NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION. EXCEPTIONS: LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET; LUMINAIRES IN HALLWAYS.

RECESSED LIGHT FIXTURES SHOULD BE BOXED IN.

MANUAL ON AND OFF SWITCHES MUST NOT OVERRIDE THE AUTOMATIC CONTROL FUNCTIONS LISTED ABOVE AND ANY CONTROL THAT OVERRIDES THE AUTOMATIC CONTROLS TO ON MUST AUTOMATICALLY REACTIVATE THOSE CONTROLS WITHIN SIX HOURS. PLAN REVIEW COMMENTS REV 8/2012 DV PAGE 7 OF 7

RESIDENTIAL OUTDOOR LIGHTING PERMANENTLY MOUNTED TO THE DWELING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND CONTROLLED BY A PHOTOCELL AND MOTION SENSOR OR BY PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL OR BY ASTRONOMICAL TIME CLOCK CONTROL THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS OR BY ENERGY MANAGEMENT CONTROL SYSTEM.

LUMINAIRES RECESSED IN INSULATED CEILING SHALL COMPLY WITH THE FOLLOWING:

SHALL BE ZERO CLEARANCE IC LISTED AND CERTIFIED AIR TIGHT. BE SEALED WITH GASKET OR CAULK BETWEEN LUMINAIRE HOUSING AND CEILING AND AT ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES. SHALL NOT CONTAIN SCREW BASE SOCKETS

ALL LIGHTING SHALL BE HIGH EFFICACY AND MEET THE REQUIREMENTS OF SECTION 150.0 (K) AND JOINT APPENDIX JAB. MANUFACTURERS MUST TEST THEIR PRODUCTS AT AN ACCREDITED TEST LABORATORY AND SUBMIT TEST RESULTS TO THE CALIFORNIA ENERGY COMMISSION TO GAIN JAB CERTIFICATION. A LIST OF COMPLAINT PRODUCTS CAN BE FOUND AT [HTTPS://CA-CERTAPPLIANCES.ENERGY.CA.GOV](https://ca-certappliances.energy.ca.gov).

ALL ELECTRICAL INSTALLATION SHALL MEET THE MINIMUM OR MAXIMUM ALLOWED IN THE 2016 MANDATORY MEASURES - NO EXCEPTION.

DOORBELL AND CHIME SHALL BE PROVIDED AS A STANDARD ITEM. PROVIDE ALL ELECTRICAL FIXTURES AND APPLIANCES AS SELECTED BY OWNERS - GC TO VERIFY ALL FIXTURE MEET CODE.

FOR REMODELED AREAS: SPECIFY RECEPTACLE OUTLETS IN THE FOLLOWING LOCATIONS, AS SHOWN ON PLANS, 12 FT O.C. MAX. AND WITHIN 6 FT FROM THE ENDS OF WALLS, ANY WALL SPACE 2 OR MORE FEET WIDE, IN ANY HALLWAY 10 FT OR MORE IN LENGTH

ALL ROOM RECEPTACLE OUTLETS ARE TO BE PROTECTED BY DEDICATED ARC-FAULT CIRCUIT INTERRUPTER(S).

AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED AT OUTDOOR ENTRANCES AND EXITS.

GAS LINE SIZING CALCULATIONS TO BE A DEFERRED SUBMITTAL ITEM. DUCT SIZING AND DUCT LAYOUT TO BE A DEFERRED SUBMITTAL ITEM.

IC-RATED, ELECTRONIC BALLAST AND AIR-TIGHT (AT) FIXTURES FOR RECESSED LUMINAIRES

ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN DWELING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAY, OR SIMILAR ROOMS OR AREA SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED.

ALL ADDED/REPLACED 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

ALL ADDED/REPLACED 120-VOLT, SINGLE PHASE, 15 & 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS (EXCEPT KITCHEN/BATHROOMS) SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUITS.

ALL LIGHTS IN KITCHEN AND BATHS TO BE HIGH EFFICACY. ALL NEW FIXTURES TO BE ENERGY STAR OR SIMILAR. ALL OUTLETS IN KITCHEN & BATHROOM SHALL BE GFCI PROTECTED

REVISIONS

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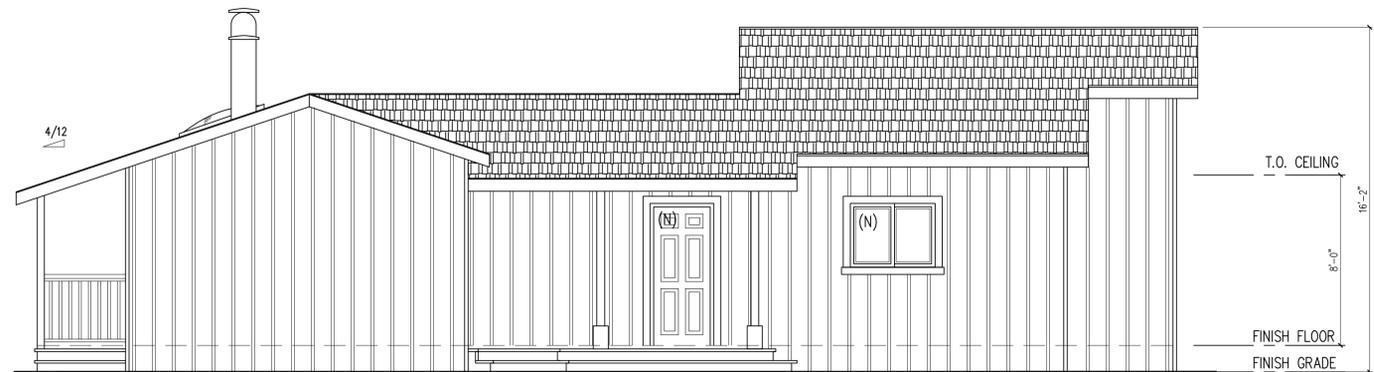
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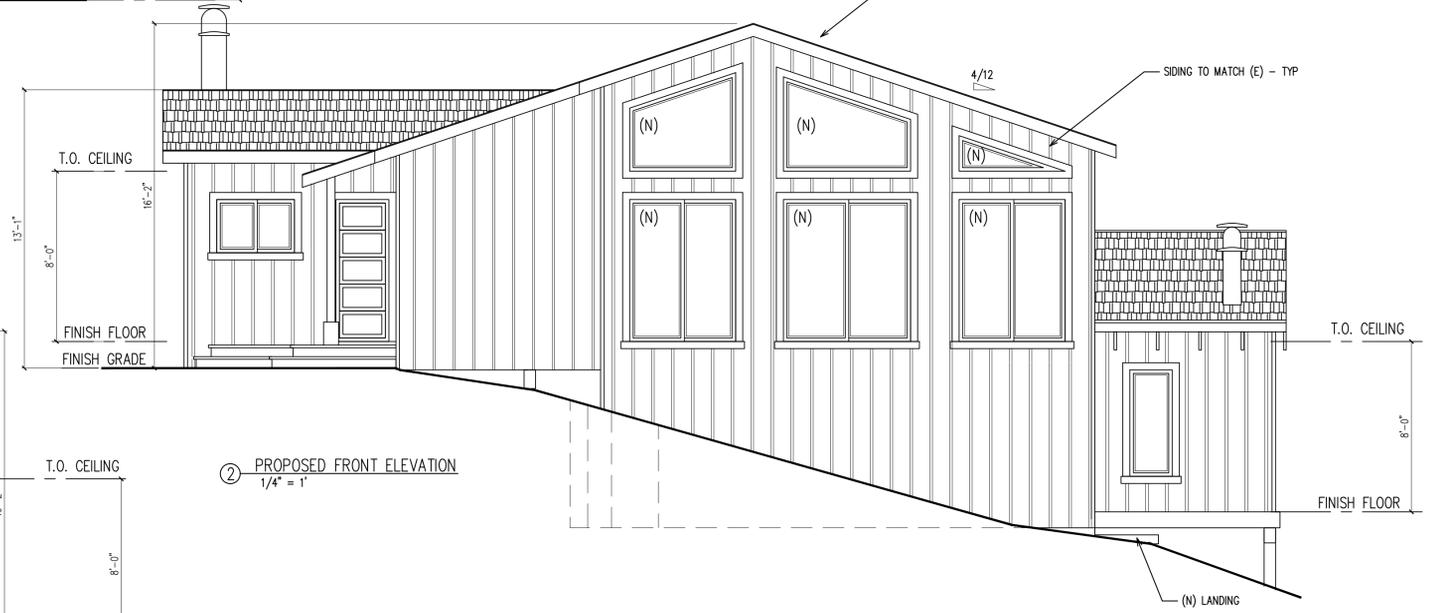
PROPOSED  
 ELEVATIONS

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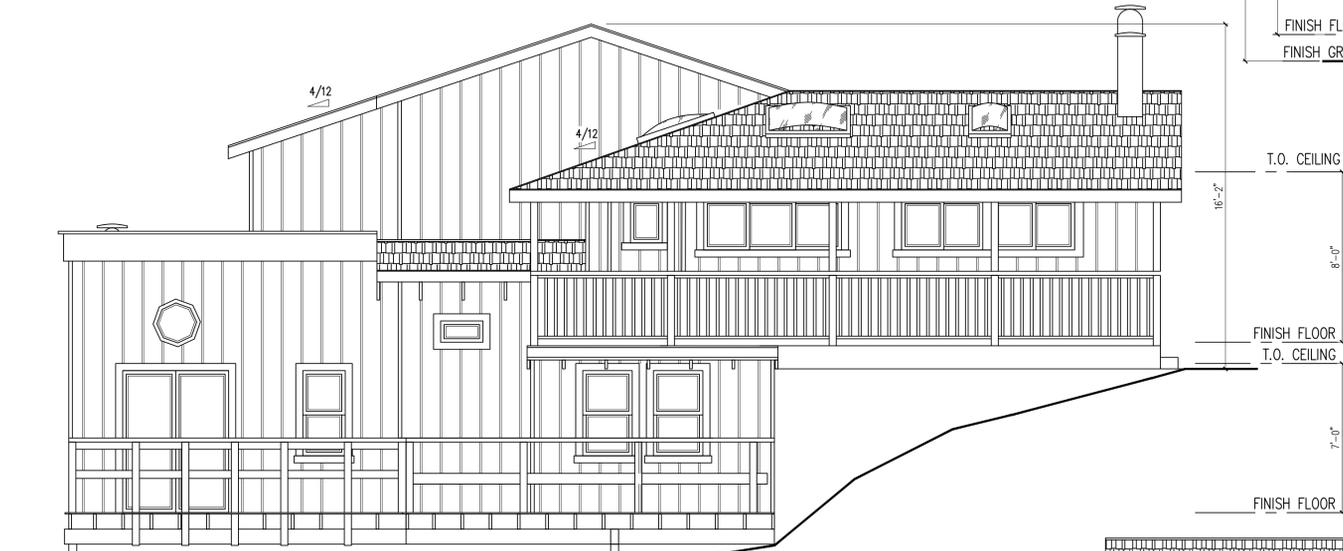
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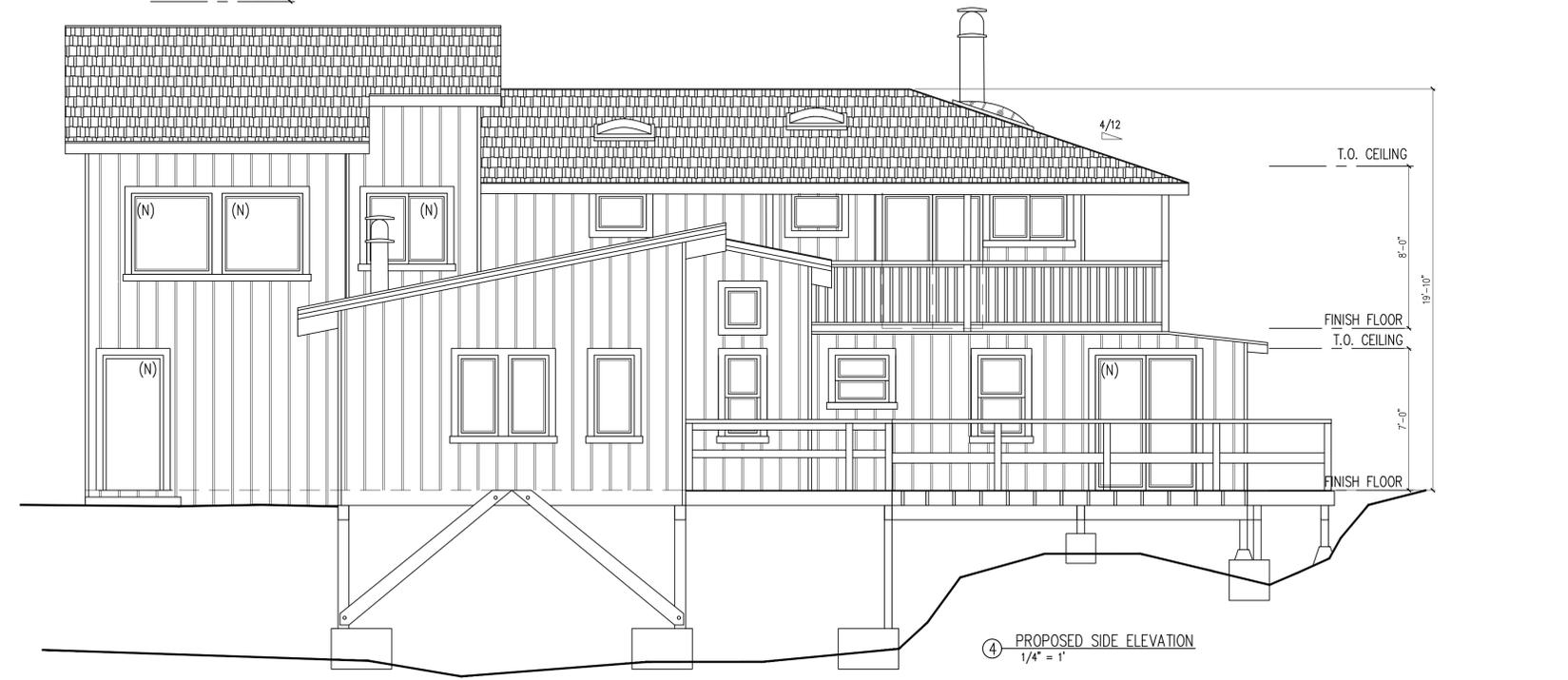
1 PROPOSED SIDE ELEVATION  
 1/4" = 1'



2 PROPOSED FRONT ELEVATION  
 1/4" = 1'



3 PROPOSED REAR ELEVATION  
 1/4" = 1'



4 PROPOSED SIDE ELEVATION  
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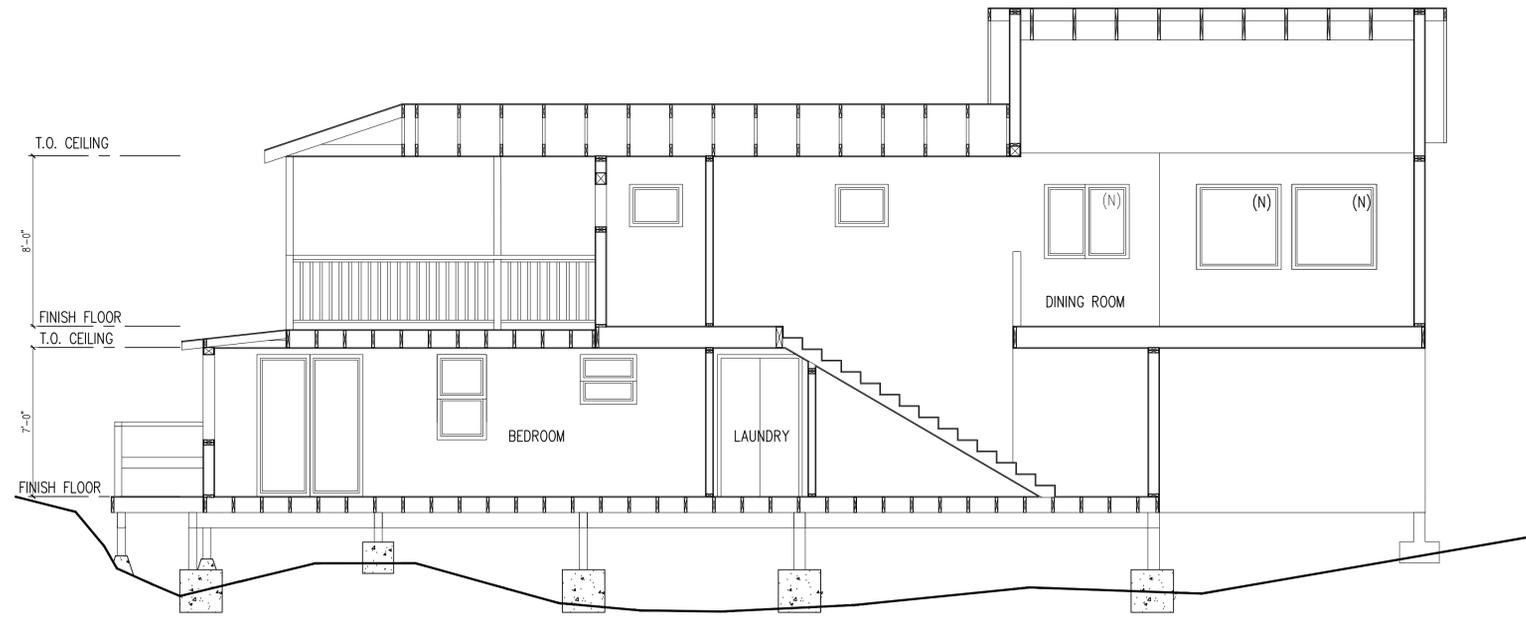
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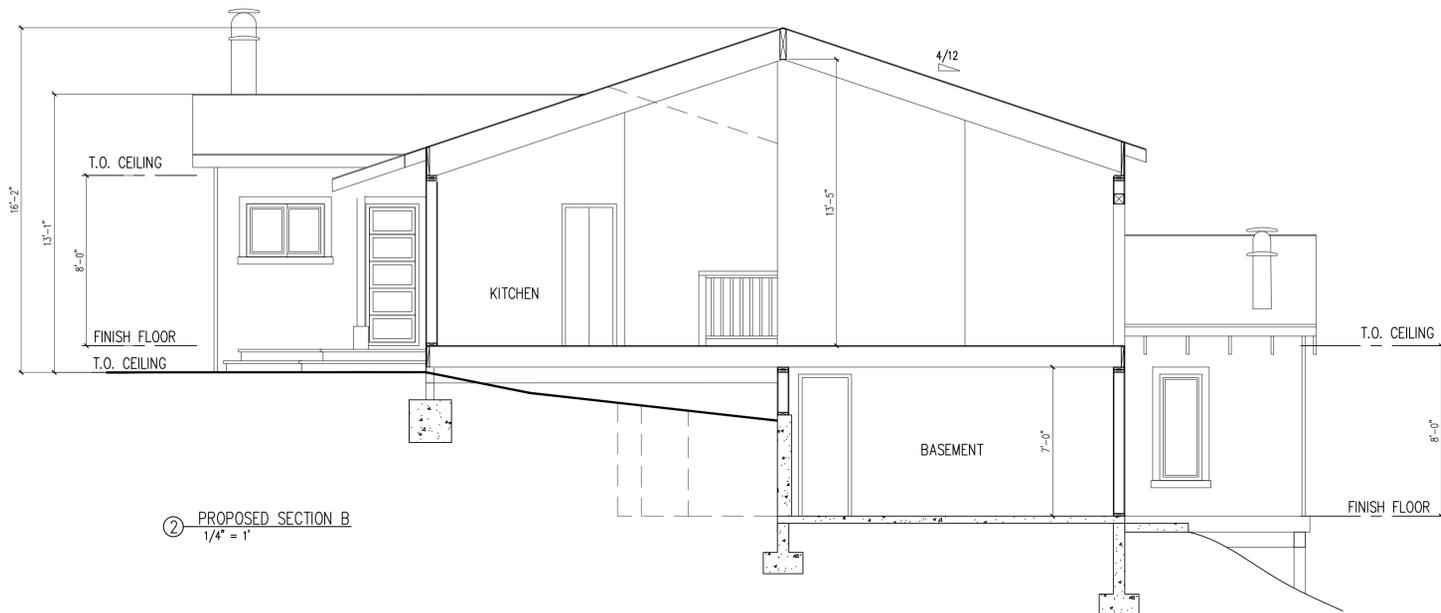
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SHEET

**A-7**



1 PROPOSED SECTION A  
 1/4" = 1'



2 PROPOSED SECTION B  
 1/4" = 1'

