

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: November 18, 2020

TO: Planning Commission

FROM: Planning Staff

SUBJECT: EXECUTIVE SUMMARY: Consideration of a Coastal Development Permit and Planned Agricultural District Permit to construct four new farm labor housing units, fire turnaround, a new septic system, and three new 5,000-gallon water tanks. There is minimal grading proposed, no tree removal and minimal vegetation removal. The property is located at 1800 Higgins Canyon Road in the unincorporated Half Moon Bay area of San Mateo County. The project is appealable to the California Coastal Commission.

County File Number: PLN 2019-00488 (Giusti)

PROPOSAL

The applicant is proposing to construct four (4) new farm labor housing units, fire turnaround, a new septic system, and three new 5,000-gallon water tanks (10,000 gallons for fire suppression; 5,000 gallons for domestic) within the existing farm center to support ongoing agricultural operations at the existing Giusti farm. The four farm labor housing units will range in size, from 800 sq. ft. to 2,944 square feet. A minimal amount of vegetation will be removed, 14 cubic yards of grading is proposed, and no trees are proposed to be removed. The farm grows row crops of brussel sprouts.

RECOMMENDATION

That the Planning Commission approve the Coastal Development Permit and Planned Agricultural Permit, County File Number PLN 2019-00488, by making the required findings and adopting the conditions of approval in Attachment A.

SUMMARY

The project is consistent with the applicable development policies of the General Plan and Local Coastal Program (LCP) pertaining to sensitive habitats, agricultural resources, and water supply. The project will avoid impacts to sensitive habitats, including wildlife habitat and riparian vegetation; clusters agricultural development in the central area of the property with other existing agricultural structures; is minimally visible

from public views due to location and other existing surrounding structures; and will facilitate and support continued agricultural use (i.e., existing row crop for brussel sprouts) on the property in an efficient and safe manner. The project shall secure domestic water served by Coastside County Water District which has served the property for years, and water storage will be provided by three (3) new 5,000-gallon water tanks. One will be used to store domestic water; two tanks will be used for fire suppression.

The project is also consistent with the general criteria, water supply, and criteria for conversion of prime agricultural land established by the Planning Agricultural District Zoning Standards. The project will convert a limited amount of prime agricultural lands in order to allow four (4) new farm labor housing units, which is permitted when the entire parcel consist of prime soils, there are no better alternative locations, and the proposed location will not diminish or impair the agricultural productivity or viability of the surround lands, as is the case with this project.

The project was reviewed at the October 19, 2020 Agricultural Advisory Committee's regular meeting and the Committee recommended approval of the project.

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BACKGROUND

Report Prepared By: Olivia Boo, Project Planner, 650/363-1818

Applicant: Joanne Giusti

Owner: Giusti Family, LLC

Location: 1800 Higgins Canyon Road, Half Moon Bay

APN: 064-370-210

Size: 3.75 acres

Existing Zoning: PAD/CD (Planned Agriculture District/Coastal Development)

General Plan Designation: Agriculture

Local Coastal Plan Designation: Agriculture

Williamson Act: Not contracted

Existing Land Use: Agriculture (brussel sprouts row crops) and a farm center consisting of an existing farm house and various agriculture buildings supporting the agricultural operations on the adjacent property. The property is approximately 3,600 feet east of Cabrillo Highway.

Water Supply: The property is currently served by Coastside County Water District (CCWD) public water system through a legacy connection.

Sewage Disposal: A new septic system is proposed as part of this project.

Flood Zone: Flood zone X (area of minimal flood); Community Panel Number 06081C0260E, effective October 16, 2012.

Environmental Evaluation: Categorically exempt pursuant to CEQA Guidelines Section 15193, (d)(1), which consist of the construction, conversion, or use of residential housing for agricultural employees.

Setting: The parcel serves as a farm center and is a relatively flat lot with residential and agricultural structures. The property is approximately 3,600 feet east of Cabrillo Highway.

Chronology:

<u>Date</u>	<u>Action</u>
January 15, 2020	- Application received
August 6, 2020	- Application deemed complete
October 19, 2020	- Agricultural Advisory Committee meeting
November 18, 2020	- Planning Commission

DISCUSSION

A. KEY ISSUES

1. Conformance with the General Plan

a. Vegetative, Water, Fish and Wildlife Resources.

Policy 1.23 (Regulate Development to Protect Vegetative, Water, Fish and Wildlife Resources), Policy 1.24 (Regulate Location, Density and Design of Development to Protect Vegetative, Water, Fish and Wildlife Resources), Policy 1.28 (Regulate Development to Protect Sensitive Habitats), Policy 1.29 (Establish Buffer Zones), Policy 1.31 (Uses Permitted in Buffer Zones), and Policy 1.32 (Regulate the Location, Siting and Design of Development in Sensitive Habitats) seek to regulate land uses and development activities to minimize significant adverse impacts on vegetative, water, fish and wildlife resources, including within and adjacent to sensitive habitats where permitted land uses and development activities include, but are not limited to, necessary public and private infrastructure.

Vegetation on the developed portions of the project site consists of bare compacted ground with low growing wild grasses/ruderal weeds. The four farm labor housing units will be the closest structures to the sensitive habitat and will be located over 50 feet from the edge of riparian habitat, Arroyo Leon Creek. An existing dirt road currently exists between the sensitive habitat and the four farm labor housing units proposed locations.

A biologist report was prepared by the San Mateo Resource Conservation District. The County Geographic Information System (GIS) indicates no Federal endangered species noted on the parcel. However, there are potential State endangered species that may be impacted. The submitted biologist report states riparian habitat exists adjacent to the property, to the east of the proposed four farm labor housing units. Potential impacts to the riparian habitat will be indirect and limited to the potential for sedimentation and noise during construction. The biologist report recommends standard erosion control measures and that construction be scheduled at times when impacts associated with noise will be minimized. The project will include standard Best Management Practices (BMPs) during and after construction to address erosion control and construction timing. The riparian area consists of willows and alders and may support birds protected by the Bird Migratory Act, which could be impacted by construction noise. A CNDDDB (California Natural Diversity Database) survey shows no protected species or species of special concern

within a quarter mile of the project boundary besides the Western bumble bee and Steelhead trout, which will not be impacted by the project as conditioned. As a result, the project is compliant with the above policies.

b. Soil Resources

Policy 2.20 (*Regulate Location and Design of Development in Areas with Productive Soil Resources*) and Policy 2.21 (*Protect Productive Soil Resources Against Soil Conversion*) seek to regulate location of design of development in a manner which is most protective of productive soil resources, including, but not limited to, measures which required clustering of structures; and regulate land use of productive soil resources to protect against soil conversion.

The San Mateo County Geographic Information System (GIS), shows the entire parcel consists of prime soils, thus there is no option to prevent land conversion. The farm labor housing units and the proposed septic system expansion are proposed adjacent to, and clustered with, the existing eight agriculture structures on site within the farm center, thus minimizing impacts as much as possible. The remainder of the land continues to be available for row crops which are located on the northern portion of the parcel.

c. Visual Quality

Policy 4.15 (*Appearance of New Development*), Policy 4.21 (*Utility Structures*), Policy 4.25 (*Location of Structures*), and Policy 4.26 (*Earthwork Operations*) seek to regulate development to promote and enhance good design, site relationships and other aesthetic considerations; minimize adverse visual quality of utility structures, locate and site structures and paves areas to carefully conform with the natural vegetation, landforms and topography of the site so that their presence is compatible with the pre-existing character of the site; and minimize grading and ensure it blends with adjacent landforms.

The project site is a flat parcel that fronts on Higgins Canyon Road right-of-way and is visible from surrounding properties, but it is not within the viewshed of any state or county scenic highway. Though the property is visible from Higgins Canyon Road, the proposed three 5,000-gallon water tanks and the four farm labor units will be minimally visible, if at all, from Higgins Canyon Road, since all structures will be located behind existing agriculture structures. The farm labor housing units will be constructed of hardy panel with an Old Redwood finish, and the composite roof and wood decks will be a dark brown color.

The dark colors will help the structures to blend with the surrounding property.

d. Rural Land Use

Policy 9.28 (*Encourage Existing and Potential Agricultural Activities*) and Policy 9.31 (*Protection of Agricultural Lands*) encourage the continuance of existing agricultural and agricultural-related activities; and methods which assist in the retention and expansion of land with agricultural activities through methods that include contracts.

The property has supported the row crop brussel sprouts for 71 years with most of the buildings constructed in 1900. The main house was built in the 1870's. The property will continue to be used for row crop brussel sprouts. The property is not currently under a Williamson Act contract.

e. Water Supply

Policy 10.15 (*Water Suppliers in Rural Areas*) consider the following appropriate methods of water supply in rural areas: water systems and wells.

The property is currently served by Coastside County Water District (CCWD) public water system through a legacy connection. The applicant will be required to secure water supply with Coastside County Water District prior to building permit issuance or another domestic water source for the farm labor housing units in addition to the existing farm center. Three new 5,000-gallon water tanks are proposed (10,000 gallons for fire suppression; 5,000 gallons for domestic use).

f. Natural Hazards

Policy 15.29 (*Review Criteria for Locating Development Outside of Fire Hazard Areas*), Policy 15.30 (*Standards for Water Supply and Fire Flow for New Development*) and Policy 15.31 (*Standards for Road Access for Fire Protection Vehicles to Serve New Development*) seek to ensure that fire safety is adequately addressed in the review of new development proposed in unincorporated areas located outside of fire hazard areas through measures including but not limited to referral of proposals for development to appropriate fire protection agencies for conditions of approval; require connection to a public water system for any new development proposal; determine the quantity of on-site water supply, fire flow requirements, and spacing and installation of hydrants in accordance with the standards of the agency responsible

for fire protection for the site proposed for development; and consider adequate access through turning radius for fire vehicles, turnout requirements, road widths in conformance with the standards of the agency responsible for fire protection for the proposed development.

See also Policy 10.15 (*Water Suppliers in Rural Areas*). The plans propose a fire turnaround, as required by the San Mateo County Fire Department, the establishment of which is included in the proposed 14 cubic yards of grading. County Fire has reviewed the project and issued conditional approval. Final review will take place at the building permit stage.

2. Compliance with Local Coastal Program

The project complies with the following applicable Local Coastal Program (LCP) Policies:

a. Land Use Component

Policy 1.8 (*Land Uses and Development Densities in Rural Areas*) new development in rural areas shall not: (1) have significant adverse impacts, either individually or cumulatively, on coastal resources and (2) diminish the ability to keep all prime agricultural land and other land suitable for agriculture (as defined in the Agriculture Component) in agricultural production.

The proposed farm labor housing units and water tanks will not adversely impact coastal resources, including sensitive habitats, wetlands, riparian corridors and scenic views, as conditioned. The housing units will be clustered near the existing seven agricultural buildings, located behind the agricultural buildings where visual impacts are avoided, and potential impacts to water resources and sensitive habitats are minimized. Because they are clustered with the existing structures, the new farm labor housing units will not significantly diminish prime soils suitable for agriculture since the farm center is already a disturbed area. The water tanks will be dark olive green or black in color to blend with the surrounding area, and the minimal earthwork and vegetation removal will be only what is necessary to construct the development.

b. Agricultural Component

LCP Policy 5.5(a) and (b) (*Permitted Uses on Prime Agricultural Lands Designated as Agriculture*) and 5.8(a)(1) (*Conversion of Prime Agricultural Land Designated as Agriculture*) conditionally permit farm

labor housing on prime soils and water storage tanks when related to agriculture and prohibits the conversion of prime agricultural land

within a parcel unless it can be demonstrated that no alternative exists.

The project parcel supports commercially viable agricultural operations consisting of existing row crop brussel sprouts, and the project proposes to further facilitate and continue the agricultural use of the property. The one non-agricultural use on the property is the existing single-family residence within the farm center.

- (1) *No alternative site exists on the parcel for the use.*

The parcel is completely prime soils with no alternative to locate the structures without converting prime soils. The location of the new structures is also necessary to protect the riparian habitat so that sensitive habitat is not diminished and to preserve as much available land as possible for row crops.

- (2) *Clearly defined buffer areas are provided between agricultural and non-agricultural uses.*

The property has supported the row crop brussel sprouts for 71 years with most of the agricultural buildings constructed in 1900. The house was built in the 1870's. The property will continue to be used for row crop brussel sprouts. The existing and proposed development will be within the farm center, thus, maintaining the buffer between the farm center and ongoing agricultural uses.

- (3) *The productivity of an adjacent agricultural land will not be diminished.*

The project proposes four new farm labor housing units, three new water storage tanks, an expanded septic system and fire turnaround near and within the developed portion of the parcel. The project will not diminish the agricultural productivity of any adjacent land or parcels as the project is bordered by riparian habitat/Arroyo Leon Creek to the east, the Historical James Johnston House directly south across Higgins Canyon Road, which is owned by the City of Half Moon Bay. Peninsula Open Space Trust owns the remainder parcels surrounding the Giusti farms property. The project site has approximately 1-acre of brussel sprout row crops and Giusti grows another 120 acres of brussel sprouts on the adjacent parcel (west and contiguous) of

the subject parcel. None of the adjacent parcels will be impacted by the added farm labor housing units. The farm laborers will benefit from the on-site farm labor housing while they work on Giusti farms.

- (4) *Public service and facility expansions and permitted uses will not impair agricultural viability, including be increased assessment costs or degraded air and water quality.*

The proposed farm labor housing units will provide on-site residential housing for the farm laborers who will work at the Giusti farm. The three water tanks will store domestic water supply for the laborers and provide adequate fire suppression. The project will facilitate needed safe housing for agricultural workers.

c. Sensitive Habitat Component

Policy 7.3 (*Protection of Sensitive Habitats*) seeks to protect sensitive habitats from adverse impacts caused by development.

The proposed four farm labor housing units will be the closest structures to the riparian areas, with a distance of over 50 feet from the edge of riparian habitat. The remainder of the proposed construction, which includes a new septic system, new fire turnaround and three new water storage tanks, will be over 100 feet from the edge of riparian habitat. Potential impacts to riparian habitat will be indirect through sedimentation and noise during construction activities. The biologist report recommends standard erosion control measures and that construction be scheduled at times when impacts associated with noise will be minimized. The conditions approval require the implementation of BMP's to prevent sedimentation and minimize noise impacts, as recommended by the project biologist. These will prevent adverse impacts to the adjacent riparian area.

d. Visual Resources

Policy 8.5 (*Location of Development*), Policy 8.18 (*Development Design*), Policy 8.24 (*Large Agricultural Structures*) require agricultural development to use appropriate materials and colors that minimize reflections, minimize visual obtrusiveness, and avoid detracting from the natural characteristics of the site.

The structures proposed are four new farm labor housing units and three new 5,000-gallon water storage tanks. The farm labor housing units have a maximum height of 14 feet 4 inches, the water storage

tanks will be 7.5 feet in height. All new structures will be located behind existing agricultural structures and minimally visible, if at all, from Higgins Canyon Road. The structures will be clustered within or near the existing farm center and avoid disturbing existing the row crop Brussel sprouts. The water tanks will be painted a black or dark green color.

3. Compliance with Zoning Regulations

The project complies with the applicable development standards and requirements of the Planned Agricultural District (PAD) regulations, discussed below:

a. Development Standards

As shown in the table below, the project conforms to Section 6458 and 6359 of the San Mateo Zoning Regulations, which regulate the height and setbacks of structures.

Development Standard	Required	Proposed
Minimum Building Site	N/A	3.82 acres (existing)
Minimum Side Yard	20 ft.	140 ft. (Left side) 60 ft. (Right side)
Minimum Front Yard	30 ft.	200 ft.
Minimum Rear Yard	20 ft.	190 ft.
Maximum Building Height	36 ft.	Housing Units 14 ft. 4 inches Water tanks 7.5 ft.

b. PAD Requirements

The project conforms to the substantive criteria for the issuance of a PAD permit, as applicable and outlined in Section 6355 of the Zoning Regulations. As proposed and conditioned the project conforms to the following policies:

General Criteria

- (1) *The encroachment of all development upon land which is suitable for agricultural uses shall be minimized.*

See staff's response to Soil Resources discussion. Per Section 6353.A.2 of PAD Regulations, farm labor housing may be

permitted on prime agricultural land provided there are no alternative building sites on the parcel.

- (2) *All development permitted on a site shall be clustered.*

See response to b.1., above.

- (3) *Every project shall conform to the Development Review Criteria contained in Chapter 20A.2 of the San Mateo County Ordinance Code.*

The project, as proposed and conditioned, conforms to the following applicable Development Review Criteria of Chapter 20A.2 of the San Mateo County Ordinance Code.

Section 6324.1 (*Environmental Quality Criteria*), Section 6324.2 (*Site Design Criteria*) and Section 6325.2 (*Primary Fish and Wildlife Habitat Areas Criteria*) seek to cluster development, minimize grading and changes in vegetative cover, locate development so that it is subordinate to the pre-existing character of the area and protect primary wildlife habitat areas.

The farm labor housing units will be located behind the seven existing agricultural buildings as well as the single-family residence, thus the farm labor housing units will be minimally visible, if at all, from Higgins Canyon Road. The parcel is flat with minimal grading, approximately 14 cubic yards, proposed for the farm labor housing units, the new septic system, three new water tanks, and new fire turnaround. No tree removal is proposed. Fourteen (14) cubic yards of grading is proposed, which includes 7 cubic yards of cut and 7 cubic yards of fill. The biologist report did not identify any unique, rare or endangered species within the project area. Riparian habitat does exist adjacent to the project site, along the eastern property line east of the location for the proposed four farm labor housing units and 50 feet east of the proposed construction area. Recommended erosion control measures, best management practices, and construction scheduling will minimize potential impacts to sensitive habitats.

Water Supply Criteria

- (4) *Adequate and sufficient water supplies needed for agricultural production and sensitive habitat protection in the watershed are not diminished.*

The property's domestic water is provided by Coastside County Water District.

The water storage tanks and fire turnaround improvements are required by County Fire. One new 5,000-gallon water storage tank will be reserved for domestic water with the two remainder 5,000-gallon water tanks to be reserved fire suppression purposes only.

c. Criteria for the Conversion of Prime Agricultural Lands

The PAD Regulations allow the conversion of prime agricultural land with a PAD permit when the following criteria can be demonstrated. As discussed previously in this report, the project satisfies the required criteria.

- (1) *No alternative site exists on the parcel for the use.*
- (2) *Clearly defined buffer areas are provided between agricultural and non-agricultural uses.*
- (3) *The productivity of an adjacent agricultural land will not be diminished.*
- (4) *Public service and facility expansions and permitted uses will not impair agricultural viability, including by increased assessment costs or degraded air and water quality.*

B. Agricultural Advisory Committee

The project was reviewed at the October 19, 2020 Agricultural Advisory Committee's regular meeting and the Committee recommended approval of the project. The Committee noted that the Giusti family has been farming for years and employs many farm laborers. This project will provide necessary safe housing for farm laborers and their families.

C. Environmental Evaluation

The project is categorically exempt from the California Environmental Quality act pursuant to CEQA Guidelines Section 15193, (d)(1), which consist of the construction, conversion, or use of residential housing for agricultural employees.

D. REVIEWING AGENCIES

Building Department
Department of Public Works
Environmental Health
California Department of Forestry
Coastside County Water District
Agricultural Advisory Committee

ATTACHMENTS

- A. Attachment A
- B. Vicinity Map
- C. Plans
- D. Site Photos
- E. Biologist Report

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2019-00488 Hearing Date: November 18, 2020

Prepared By: Olivia Boo, Project Planner For Adoption By: Planning Commission

RECOMMENDED FINDINGS

Regarding the Environmental Review, Find:

1. The project is categorically exempt from the California Environmental Quality act pursuant to Section 15193, (d)(1), which consist of the construction, conversion, or use of residential housing for agricultural employees.

Regarding the Coastal Development Permit, Find:

2. That the project, as described in the application and accompanying materials required by Sections 6328.7 and as conditioned in accordance with Section 6328.14, conforms with the plans, requirements, and standards of the San Mateo County Local Coastal Program. The project complies with the Land Use, Agricultural, Visual Resources and Sensitive Habitat Components of the Local coastal Program.
3. The project is not subject to the public access and public recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code) since the project is not located between the nearest public road and the sea, or the shoreline of Pescadero Marsh.
4. That the project conforms to specific findings required by policies of the San Mateo County LCP with regard to Agricultural, Sensitive Habitats and Visual Resources Components. Specifically, the project involves four new farm labor housing units and associated development to support the existing farming operation and farm center of which the new development will be clustered.

For the Planned Agricultural District Permit, Find:

5. That the project meets the General Criteria for issuance of a PAD permit because the development will minimize the encroachment upon land suitable for

agricultural uses will be clustered and conforms to the Development Review Criteria in outlined Chapter 20A.2., as conditioned.

6. That the project meets the Water Supply Criteria for ensuring adequate and sufficient water supplies for agricultural production and sensitive habitat protection in the watershed are not diminished. The property shall secure domestic water service through CCWD or be approved through another domestic water source prior to building permit issuance. Should a surface water source be obtained, connection ensuring a water source for the development and watershed resources for sensitive habitats shall not be diminished.
7. That the project meets the Criteria for the Conversion of Prime Agricultural Lands because no alternative site exists on the parcel for the use, clearly defined buffer areas are provided between agricultural and non-agricultural uses, and the productivity of an adjacent agricultural land will not be diminished. The property will continue to be used for growing row crop Brussel sprouts and the development will provide for additional farm labor housing units within the County.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. The approval applies only to the proposal as described in this report and materials submitted for review and approval by the Planning Commission on November 18, 2020. The Community Development Director may approve minor revisions or modifications to the project if they are found to be consistent with the intent of, and in substantial conformance with this approval.
2. These permits shall be valid for one (1) year from the date of final approval, in which time a building permit shall be issued and a completed inspection (to the satisfaction of the Building Inspector) shall have occurred within 365 days of its issuance. Any extension of these permits shall require submittal of a written request for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. Prior to the issuance of building permits for the four farm labor housing units, three water tanks, fire turnaround and expanded septic system, the applicant shall pay all applicable Affordable Housing Impact Fees, pursuant to San Mateo County Ordinance No. 4758. The impact fee shall be assessed at \$5.00 per square foot over 2,500 sq. ft. of net new gross floor area per individual unit. Or the owner shall record a deed restriction for the property to establish the farm labor housing units as permanently affordable units.
4. The water tanks shall have an exterior finish that is non-reflective. The farm labor housing units shall be constructed as proposed, of hardy panel with an Old Redwood finish, composite roof, and the decks will be dark brown color.

Verification by the Current Planning Section that the exterior finish of the water tank is non-reflective shall occur prior to the building inspection section. Photos shall be emailed to the project planner by referencing the County File Number, PLN 2019-00488.

5. The following Best Management Practices (BMPs) outline by the San Mateo Resource Conservation District shall be implemented.
 - a. The project shall include standard Best Management Practices (BMPS) around erosion control measures and construction timing to minimize indirect impacts. The project engineer shall include standard BMPSs for erosion control during and after construction.
 - b. To prevent sediment run-off, do not work during rain, implement erosion control measures (waddles, jute, coir, energy dissipators, etc.) for any possible drainage areas towards the creek. To prevent disturbing nesting birds, restrict loudest construction operations to September 1 through January 31. Construction be scheduled at times when impacts will be minimized.

6. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program “General Construction and Site Supervision Guidelines,” including, but not limited to, the following:
 - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
 - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - c. Performing clearing and earth-moving activities only during dry weather.
 - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
 - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges, to storm drains and watercourses.

- g. Use of sediment controls or filtration to remove sediment when dewatering the site and obtain all necessary permits.
 - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilization of designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
 - m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
7. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Drainage Section, the Coastside Fire Protection District, the Environmental Health Division, and the Coastside County Water District.
 8. No site disturbance shall occur, including any grading or vegetation removal, until a building permit has been issued.
 9. This permit does not allow for the removal of any trees. Removal of any tree with a diameter equal to, or greater than, 12 inches as measured 4.5 feet above the ground shall require a separate tree removal permit.
 10. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto

adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.

- b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on El Granada Boulevard. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on El Granada Boulevard. There shall be no storage of construction vehicles in the public right-of-way.
11. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled. Photos shall be emailed to the project planner by referencing the County File Number, PLN 2019-00488.
 12. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo County Ordinance Code Section 4.88.360).
 13. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
 14. The applicant shall receive approval from Coastside County Water District or approval of a domestic water source from Environmental Health prior to building permit issuance.

Building Inspection Section

15. Each structure approved under these CDP and PAD permits shall require a building permit and shall comply with all applicable building codes and regulations.
16. A valid building permit shall be obtained prior to the commencement of any work.

San Mateo County Fire Department.

17. Fire Department access shall be to within 150 feet of all exterior portions of the facility and all portions of the exterior walls of the first story of the buildings as measured by an approved access route around the exterior of the building or

facility. Access shall be a minimum of 20 feet wide, all weather capability, and able to support a fire apparatus weighing 75,000 pounds. Where a fire hydrant is located in the access, a minimum of 26 feet is required for a minimum of 20 feet on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Grades over 15 percent shall be paved and no grade shall be over 20 percent. When gravel roads are used, it shall be class 2 base or equivalent compacted to 95 percent. Gravel road access shall be certified by an engineer as to the material thickness, compaction, all weather capability, and weight it will support.

18. All buildings that have a street address shall have the number of that address on the building, mailbox, or other type of sign at the driveway entrance in such a manner that the number is easily and clearly visible from either direction of travel from the street. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway. An address sign shall be placed at each break of the road where deemed applicable by the San Mateo County Fire Department. Numerals shall be contrasting in color to their back-ground and shall be no less than 4 inches in height and have a minimum 1/2-inch stroke. Remote signage shall be a 6-inch by 18-inch green reflective metal sign.
19. Portable fire extinguishers with a minimum rating of 2A-10BC are required to be placed throughout your project. Contact a licensed/certified fire extinguisher company for proper placement of the required extinguishers. Documentation is required on building plans at the building permit application stage. Proper installation is required prior to Fire's final approval of the building permit.
20. Any chimney or woodstove outlet shall have installed onto the opening thereof an approved (galvanized) spark arrestor of a mesh with an opening no larger than 1/2-inch in size or an approved spark arresting device. Maintain around and adjacent to such buildings or structures a fuel break/firebreak made by removing and cleaning away flammable vegetation for not less than 30 feet and up to 100 feet around the perimeter of all structures or to the property line, if the property line is less than 30 feet from any structure. This is not a requirement nor an authorization for the removal of live trees. Remove that flammable portion of any tree which extends within 10 feet of the outlet of any chimney or stovepipe, or within 5 feet of any portion of any building or structures. Remove that dead or dying portion of any tree which extends over the roof line of any structure.
21. A Wet Draft Hydrant with a 4 1/2-inch National Hose Thread outlet with a valve shall be mounted 30 to 36 inches above ground level and within 5 feet of the main access road or driveway, and not less than 50 feet from any portion of any building nor more than 150 feet from the main residence or building.

22. LP-gas equipment shall be installed in accordance with the California Fire and Mechanical Codes and NFPA 58.
23. Smoke alarms and carbon monoxide detectors shall be installed in accordance with the California Building and Residential Codes. This includes the requirement for hardwired, interconnected detectors equipped with battery backup and placement in each sleeping room in addition to the corridors and on each level of the residence.
24. All dead-end roadways shall be terminated by a turnaround bulb of not less than 96 feet in diameter.
25. The water storage tank(s) shall be so located as to provide gravity flow to a standpipe/hydrant. Plans and specifications shall be submitted to the San Mateo County Building Department for review and approval by the authority having jurisdiction.
26. Because of the fire flow and automatic sprinkler requirements for the project, an on-site water storage tank is required. Based upon the building plans submitted, the authority having jurisdiction has determined that a minimum of 10,000 gallons of fire protection water will be required in addition to the required domestic water storage. Plans showing the tank(s) type, size, location and elevation must be submitted to the San Mateo County Fire Department for review and approval.
27. A Site Plan showing all required components of the water system is required to be submitted with the building plans to the San Mateo County Building Dept. for review and approval by the authority having jurisdiction for verification and approval. Plans shall show the location, elevation and size of required water storage tanks, the associated piping layout from the tank(s) to the structures, the size of and type of pipe, the depth of cover for the pipe, technical data sheets for all pipe/joints/valves/valve indicators, thrust block calculations/joint restraint, the location of the standpipe/hydrant and the location of any required pumps and their size and specifications.

Drainage Section

28. Prior to the issuance of the Building permit or Planning permit (for Provision C3 Regulated Projects), the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Building Inspection Section drainage staff for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state.

Recommended measures shall be designed and included in the improvement plans and submitted to the Building Inspection Section for review and approval.

Public Works

29. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
30. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.

Environmental Health

31. At the building permit phase, the reserve dispersal trench to serve the existing farm house as shown on the OWTS plans (dated November 6, 2019) shall be delineated onto all relevant plan sheets (e.g., civil and site plans).

Coastside County Water District

32. The applicant shall comply with Coastside County Water District requirements prior to building permit issuance.

OSB:cmc – OSBEE0414_WCU.DOCX



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT A



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:2,257



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

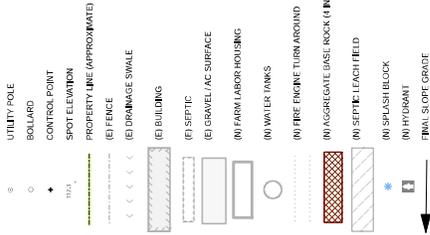
ATTACHMENT C

GRADING, DRAINAGE
 AND EROSION CONTROL
 PLANS

PROJECT: GUSTI FARMS - FARM LABOR HOUSING PROJECT
 1800 HIGGINS CANYON ROAD
 HALF MOON BAY, CA 94019
 SAN MATEO COUNTY, CA
 APN: 064-320-210



TIMOTHY C. BEST, CEG
 LICENSED CIVIL ENGINEER, NO. 10000, STATE OF CALIFORNIA
 0843 425 0842 0843 425 0841 (M)

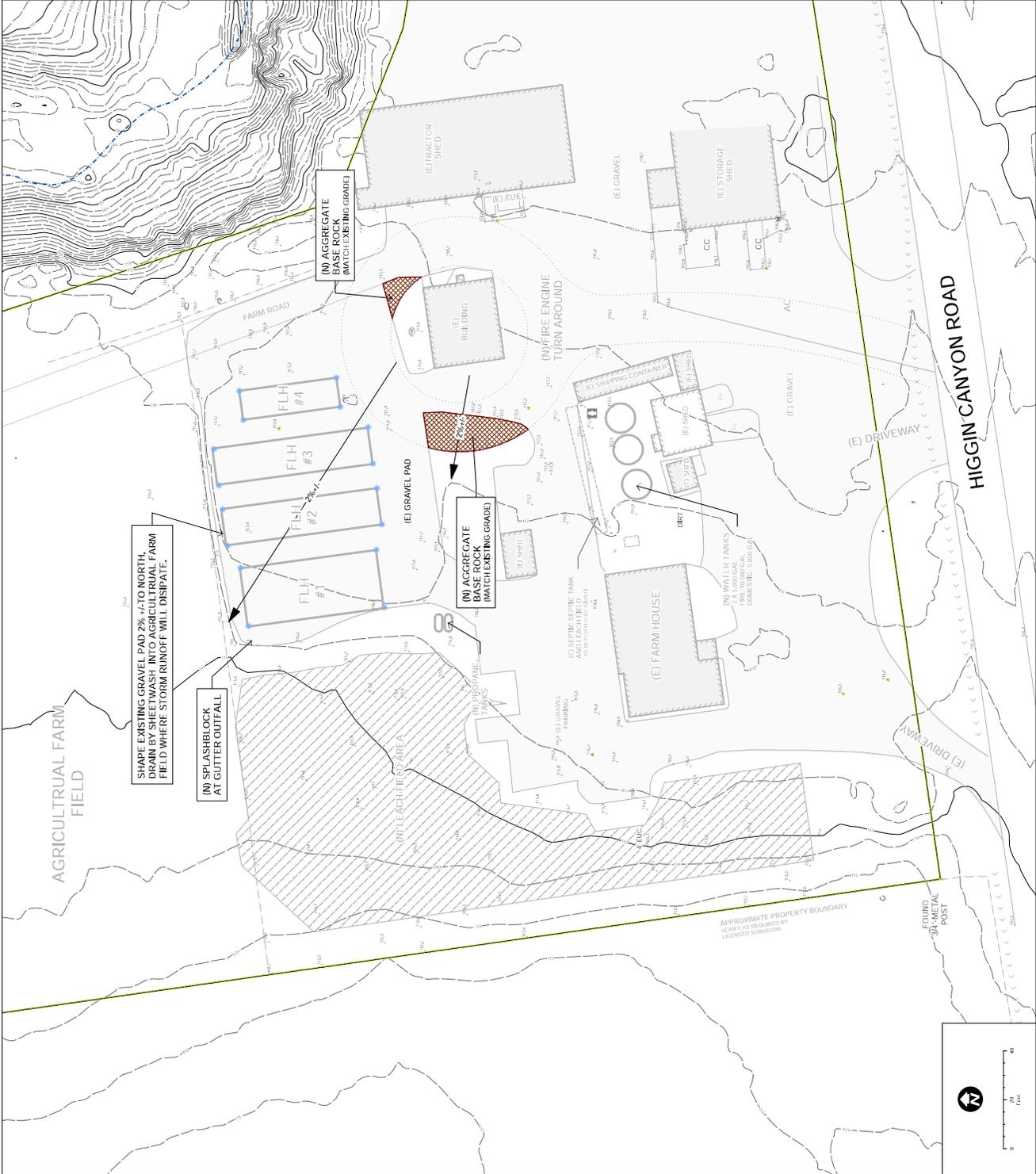


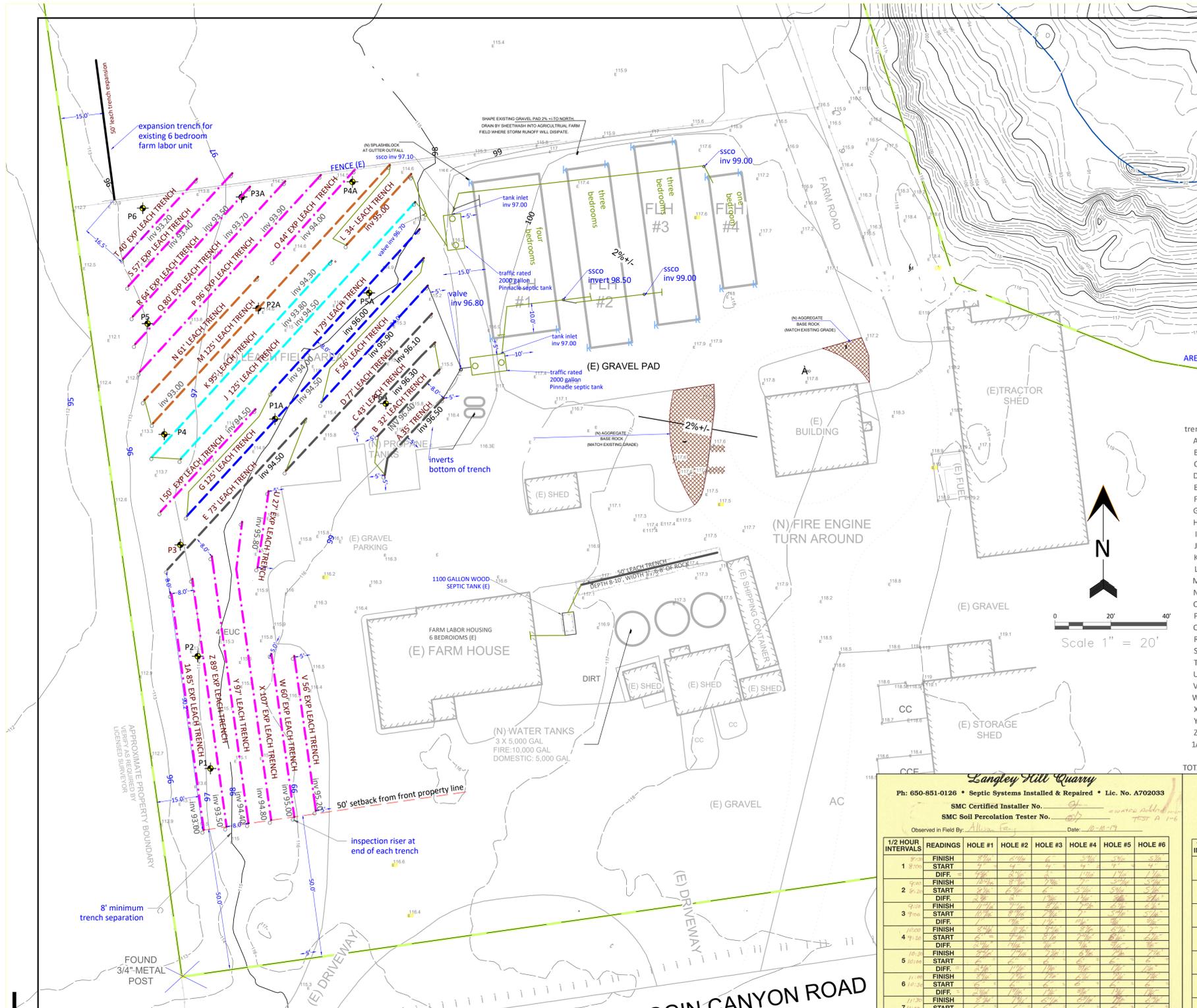
GRADING NOTES
 1. PROPOSED GRADING CONFORMS TO THE PLACEMENT OF 60 SF CLASS 180 APPROX. 7' (7) TO STABILIZE PORTIONS OF THE PROPOSED DRIVEWAYS TO PREVENT ROAD ROCK BLADE ROCK ANCHORS AND COMPACT TO 98% RELATIVE COMPACTION.
 2. DISSE SPREAD OF MINOR SPALLS GENERATED FROM SUBSEQUENT ROAD ROAD AREA OR OTHER APPROVED UNDEGRADED AREAS, OR MOVED TO THE AGRICULTURAL FARM FIELD AT THE LANDOWNER'S DISCRETION.
 3. FINE GRADING OF EXISTING GRAVEL PAD AT THE PROPOSED FARM LABOR HOUSING TO SLOPE PAD 2% NORTHWEST TO ALLOW FOR SHEET FLOW INTO THE ADJOINING AGRICULTURAL FIELD.

DRAINAGE NOTES
 1. NO EROSION CONTROL MEASURES ARE NECESSARY AS THERE IS NO SIGNIFICANT ACCESS SITE AND INTO AGRICULTURAL FARM FIELDS WHERE RUNOFF WILL DISSE.
 2. NO EROSION CONTROL MEASURES ARE NECESSARY AS THERE IS NO SIGNIFICANT CONCENTRATIONS OF RUNOFF.

EROSION CONTROL NOTES
 1. NO EROSION CONTROL MEASURES ARE NECESSARY AS THERE IS NO SIGNIFICANT CONCENTRATIONS OF RUNOFF.

TOPOGRAPHIC BASE MAP: DERIVED FROM 2010 AERIAL IMAGE COURTESY CALI AERIAL PHOTOGRAPHY. ELEVATION DATA FROM 1/8" GRID SURVEY. ELEVATION DATA INTERVAL: 1 FT.
 PROPERTY LINES: THIS IS NOT A BOUNDARY SURVEY. THE PROPERTY LINES ARE DERIVED FROM SAN MATEO COUNTY RECORDS. THE PROPERTY LINES ARE APPROXIMATE AND SUBJECT TO CHANGE. THE RESULTS OF A BOUNDARY SURVEY BY A LICENSED SURVEYOR.
 BUILDINGS: BUILDINGS STRUCTURES SHOWN BY THE BEST FROM FIELD SURVEY MEASUREMENTS AND GENERAL PHOTOGRAPHIC INFORMATION.





LEACH FIELD AND TRENCH LAYOUT

Scale 1" = 100'

trench	length'	ONSITE 1 (6 BEDROOM SYSTEM)		ONSITE 2 (5 BEDROOM SYSTEM)		ONSITE 2 EXPANSION		ONSITE 1 EXPANSION	
		primary one	primary two	primary 1	primary 2	expansion 1	expansion 2	expansion 1	expansion 2
A	35	35							
B	32	32							
C	43	43							
D	77	77							
E	73	73							
F	56		56						
G	125		125						
H	79		79						
I	59								
J	125			125					
K	95			95					
L	34							34	
M	125							125	
N	61							61	
O	44								
P	96							45	
Q	80							95	
R	64							80	
S	57								
T	40							64	
U	27							57	
V	56							40	
W	60								
X	107							56	27
Y	97							107	60
Z	89							97	
1A	85								89
TOTALS	1921	260	260	220	220	220	220	260	261

Langley Hill Quarry
Ph: 650-851-0126 • Septic Systems Installed & Repaired • Lic. No. A702033

SMC Certified Installer No. *91*
SMC Soil Percolation Tester No. *91*

Observed in Field By: *Allison Fong* Date: *10-11-17*

1/2 HOUR INTERVALS	READINGS	HOLE #1	HOLE #2	HOLE #3	HOLE #4	HOLE #5	HOLE #6
1	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
1	START	27.0	27.0	27.0	27.0	27.0	27.0
1	DIFF.						
2	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
2	START	27.0	27.0	27.0	27.0	27.0	27.0
2	DIFF.						
3	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
3	START	27.0	27.0	27.0	27.0	27.0	27.0
3	DIFF.						
4	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
4	START	27.0	27.0	27.0	27.0	27.0	27.0
4	DIFF.						
5	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
5	START	27.0	27.0	27.0	27.0	27.0	27.0
5	DIFF.						
6	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
6	START	27.0	27.0	27.0	27.0	27.0	27.0
6	DIFF.						
7	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
7	START	27.0	27.0	27.0	27.0	27.0	27.0
7	DIFF.						
8	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
8	START	27.0	27.0	27.0	27.0	27.0	27.0
8	DIFF.						
9	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
9	START	27.0	27.0	27.0	27.0	27.0	27.0
9	DIFF.						
10	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
10	START	27.0	27.0	27.0	27.0	27.0	27.0
10	DIFF.						

APPLICANTS NAME: LANGLEY HILL QUARRY PHONE: 650-851-0126
OWNERS NAME: *Steve & Dana LLC* APN: *063-272-210*
ADDRESS: *1800 Higgins Canyon Rd, Half Moon Bay, CA*
SIZE OF PARCEL: WATER SOURCE: SUBDIVISION:
WET WEATHER TESTING REQUIRED? YES NO DEPTH TO GROUND WATER:
SOIL LOG:

Langley Hill Quarry
Ph: 650-851-0126 • Septic Systems Installed & Repaired • Lic. No. A702033

SMC Certified Installer No. *91*
SMC Soil Percolation Tester No. *91*

Observed in Field By: *Allison Fong* Date: *10-11-17*

1/2 HOUR INTERVALS	READINGS	HOLE #1	HOLE #2	HOLE #3	HOLE #4	HOLE #5	HOLE #6
1	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
1	START	27.0	27.0	27.0	27.0	27.0	27.0
1	DIFF.						
2	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
2	START	27.0	27.0	27.0	27.0	27.0	27.0
2	DIFF.						
3	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
3	START	27.0	27.0	27.0	27.0	27.0	27.0
3	DIFF.						
4	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
4	START	27.0	27.0	27.0	27.0	27.0	27.0
4	DIFF.						
5	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
5	START	27.0	27.0	27.0	27.0	27.0	27.0
5	DIFF.						
6	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
6	START	27.0	27.0	27.0	27.0	27.0	27.0
6	DIFF.						
7	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
7	START	27.0	27.0	27.0	27.0	27.0	27.0
7	DIFF.						
8	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
8	START	27.0	27.0	27.0	27.0	27.0	27.0
8	DIFF.						
9	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
9	START	27.0	27.0	27.0	27.0	27.0	27.0
9	DIFF.						
10	FINISH	27.0	27.0	27.0	27.0	27.0	27.0
10	START	27.0	27.0	27.0	27.0	27.0	27.0
10	DIFF.						

APPLICANTS NAME: LANGLEY HILL QUARRY PHONE: 650-851-0126
OWNERS NAME: *Steve & Dana LLC* APN: *063-272-210*
ADDRESS: *1800 Higgins Canyon Rd, Half Moon Bay, CA*
SIZE OF PARCEL: WATER SOURCE: SUBDIVISION:
WET WEATHER TESTING REQUIRED? YES NO DEPTH TO GROUND WATER:
SOIL LOG:

form from Santa Clara County
SOIL PROFILE RESULTS
CONVENTIONAL SYSTEMS

SR#: *064-370-210* DATE OF INSPECTION: *10-11-2017*
APPLICANT: *Giusti Ranch* OWNER: *Giusti Ranch*
SITE ADDRESS: *1800 Higgins Canyon Road, Half Moon Bay 94019*
CONDUCTED BY: *Steven Hartzell* CHECKED BY: *Allison Fong*

HOLE #1: *0-1 dark brown loamy sandy clay massive*
1-7 brown sandy clay massive
7-10 dark brown sandy clay - more clay structure massive
Total depth 13'

COMMENTS: *Although this hole had no water in it at the time, later on it was seen to have water at 13'.*

Project Discussion

The property owner plans on installing some four farm labor housing units; a four bedroom unit, two three bedroom units and a one bedroom unit as shown.

This plan was developed to show where and how two septic systems will be installed to serve these units. "A" percolation rates were achieved on the two sets of perk test holes that were installed and tested. The setback to the property to the west is shown here at 15'.

One system will serve the two three bedroom units (6 bedrooms total) and must have a septic tank with a volume of 2000 gallons. The minimum allowed amount of leach trench at an "A" perk rate with standard detail is four leach fields each with 130 linear feet of leach trench. I have utilized High Capacity Infiltrator Chambers here instead of rock which are only counted as providing half the infiltrative area per linear foot as the standard trench thus twice as much leach trench is required; Four leach fields each with 260 linear feet of leach trench. Two of the fields (primary) have to be installed and the area for the other two (expansion) is to be reserved so that they can be installed if ever needed.

The other system will serve the four bedroom and the one bedroom unit (5 bedrooms total). A septic tank with a volume of 2000 gallons is required. The minimum allowed amount of leach trench with standard detail is four leach fields each with 110 linear feet of leach trench. I have utilized High Capacity Infiltrator Chambers here instead of rock so the trenches are only counted as providing half the infiltrative area per linear foot and twice as much leach trench is required: four leach fields each with 220 linear feet of leach trench as shown here. Two of the fields (primary) have to be installed and the area for the other two (expansion) is to be reserved so that they can be installed if ever needed.

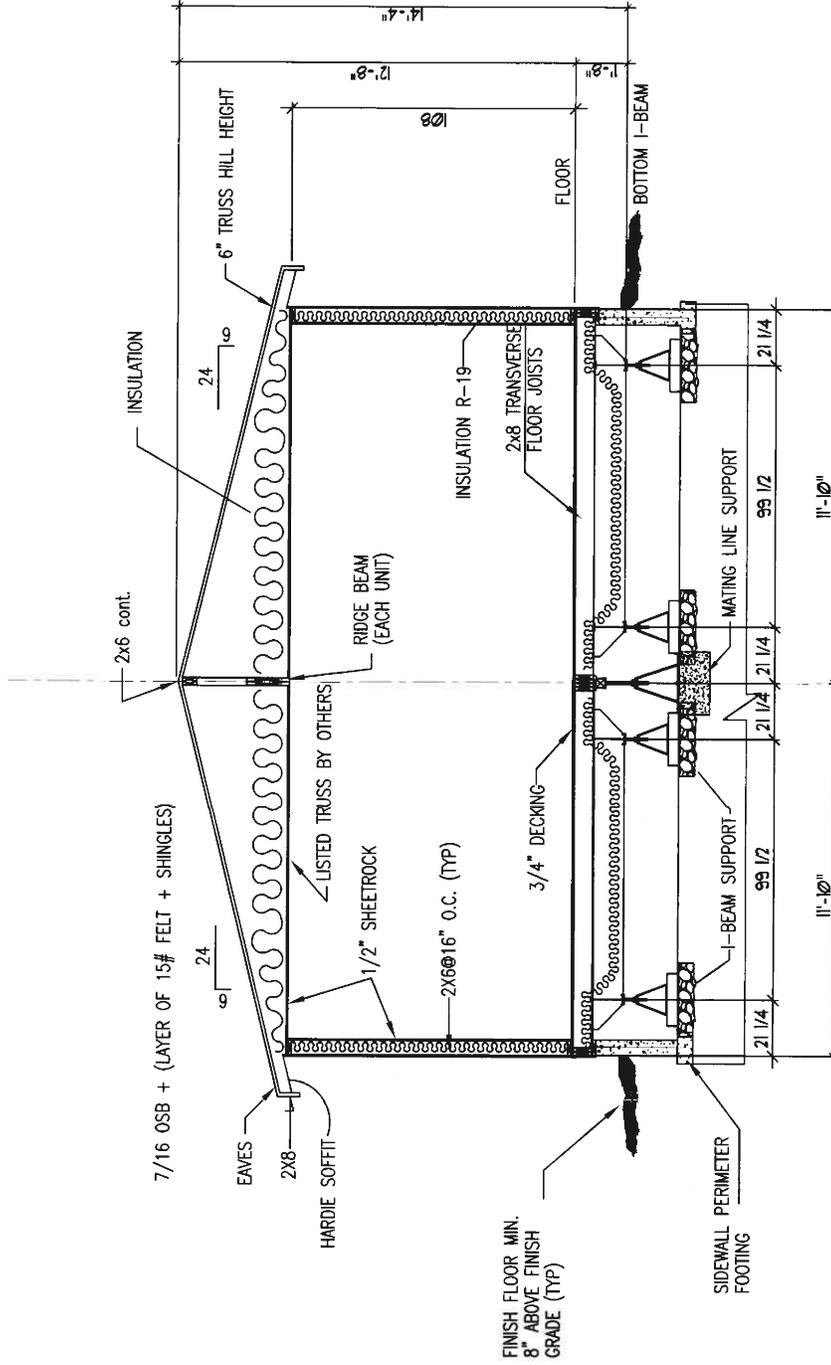
Steve Hartzell
REGISTERED PROFESSIONAL ENGINEER
EXPIRES 12-31-21
6979

S.R. HARTSELL, R.E.H.S.
202 WATERFORD DRIVE
VACAVILLE, CA 95688
srhartzell@gmail.com (650) 888-2419

ONSITE WASTEWATER TREATMENT AND DISPOSAL SYSTEM PLAN

GIUSTI FARM LABOR HOUSING
1800 HIGGINS CANYON ROAD
HALF MOON BAY, CA 94019
APN 064-370-210

NOVEMBER 6, 2019
SCALE AS NOTED
BY SRH
PAGE
ONSITE 1
1 OF 3

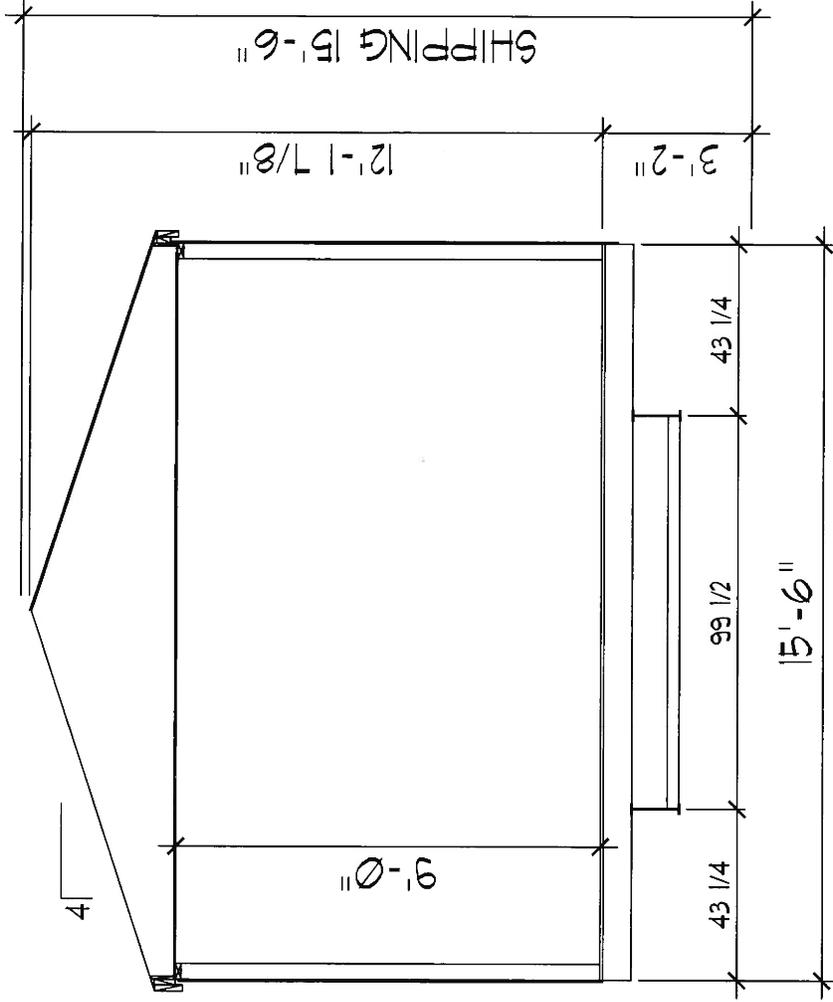


HIGH-FLAT

TYPICAL CROSS SECTION A-MODEL
(3 ON 12 ROOF SLOPE)

DRAWING	DBL.-WIDE SECTION / A-MODEL
DRAWN BY:	-
DATE	1-3-00
DRAWING FILE	DETAILS/2-SECTION
REVISION	07-24-08





MODEL NO.:	CL56001Q
DATE:	5-01-12
REVISION:	12-23-08
PRODUCT:	CLAYTON SERIES
DESCRIPTION:	CL56001Q
SQUARE FT.:	
SHEET:	18-A
DRAWN BY:	

DRAWING TITLE:

TYP CROSS SECTION

DRAWING FILE INFORMATION:

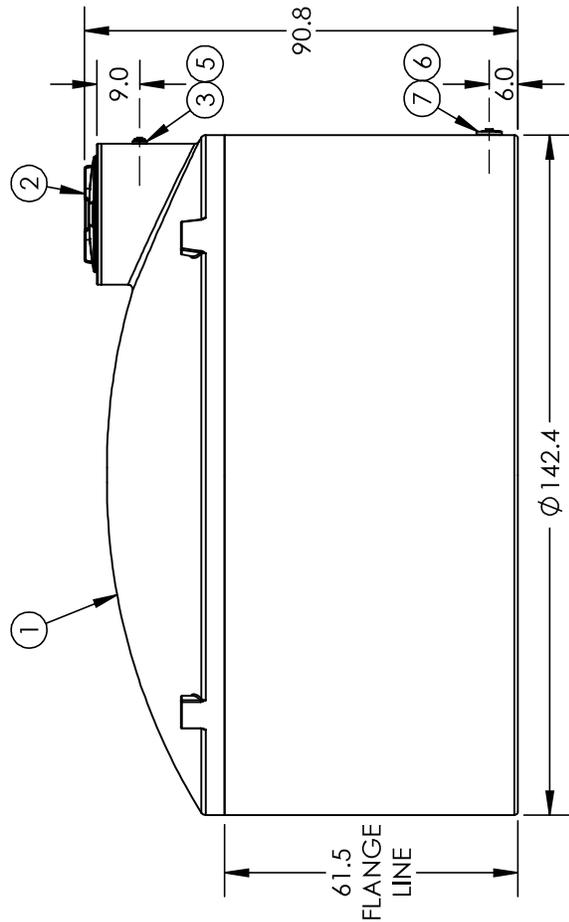
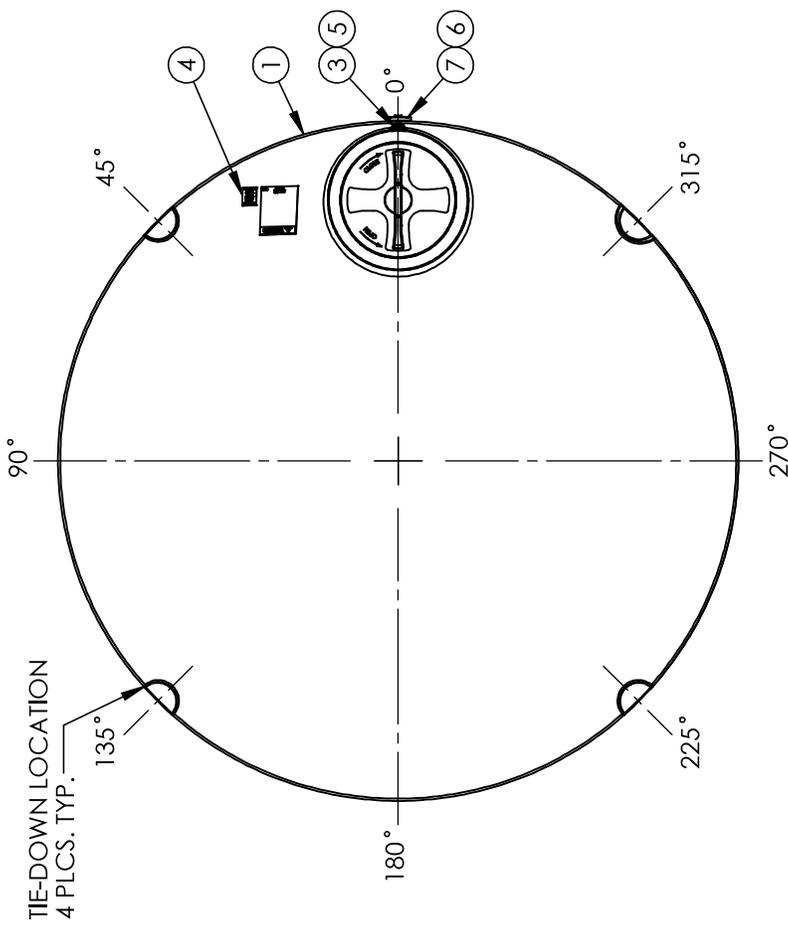
STANDARD AS OF ~~REVISION~~ DATE - 8'-0" WALLS-TR.F.

CMH 

MANUFACTURING INC.

9998 OLD PLACERVILLE ROAD
 Sacramento, CA. 95827
 Phone: (916) 363-2681; Fax: (916) 363-4537
 www.claytonhomes.com www.karstenhomes.com

BLACK OR DARK OLIVE GREEN



7	1	63683	FTG 2IN HD BH PP/EPDM
6	1	60021	2' NPT PLUG
5	1	64149	1-1/2" NPT PLUG
4	1	99700231	DECAL NSF MARK - WATER TKS
3	1	63931	FTG PP 1-1/2IN ECO-BH EPDM TXT
2	1	34700352	ASM MANWAY PE 24IN VENTED
1	1	7000200W__02	ASM TK 5000VDT X 144 NH NMW
ITEM NO.	QTY.	C	PART NUMBER

DO NOT SCALE		DRAWN BY	SB
STATUS: Released		© SNYDER INDUSTRIES, INC., 2018	
TITLE: ASM TK 5000VDT X 144 WATER		ALL DIMENSIONS, DIMENSIONS AND TOLERANCES ON THIS PRINT MUST BE CONSIDERED PRELIMINARY. TO SNYDER INDUSTRIES, INC. AND MAY NOT BE USED, COPIED, OR DISTRIBUTED WITHOUT WRITTEN PERMISSION OF AN OFFICER OR THE AGENT OF THE FIRM.	
REVISION B		PART NO. 7000200W__03	
SHEET 1 OF 1		ENG. ID. D006342	
SNIYDER INDUSTRIES, INC.		(402) 467-5221 www.snyder.net.com	

*ALL EXTERNAL PIPING MUST BE INDEPENDENTLY SUPPORTED.
 *ONLY BASE FITTINGS TO BE LEFT INSTALLED AT TIME OF SHIPMENT PER SII PROCEDURE.
 ALL DIMENSIONS ARE IN INCHES. NOMINAL. & SUBJECT TO CHANGE WITHOUT NOTICE.
 ALL DIMENSIONS ON ROTATIONAL MOLDED PARTS ARE SUBJECT TO A ± 3% TOLERANCE.



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D



View mobile home location and riparian



View mobile home location







COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT E

Attachment 1
Giusti Farms Biological Impact Form

Briefly state the results of the report, habitat type, rare, endangered or unique species present, anticipated impacts, and proposed mitigation measures.

The proposed project is within a compacted dirt lot and existing agriculture surrounded by common weedy plants. The proposed work will provide farm housing for staff on site. The survey did not find any unique, rare or endangered species within project area. Riparian habitat exists adjacent to the property, which may include some sensitive species. Potential impacts to the adjacent area will be indirect through sediment and noise. Biologists recommend standard BMPs around erosion control and construction timing to minimize indirect impacts. The project engineer will include standard BMPs for erosion control during and after construction.

1. PROJECT AND PROPERTY DESCRIPTION: Describe the proposed project and property, including the size, topographic characteristics, water resources, soil types, and land uses on the property and in the vicinity up to a radius of one-quarter mile. Include a map of the area from the USGS 7.5-minute quadrangle series.

Giusti Farms is dominated by agricultural land producing Brussel sprouts between Highway 1 and Arroyo Leon Creek. The Farm runs adjacent to Arroyo Leon on flat ground composed of loam and clay loam which are labeled as prime farmland. Main water sources for surrounding property are Arroyo Leon Creek and ground water. The property is predominantly row crops but also contains building structures for offices, storage, farm work and housing surrounded by compacted dirt roads connecting the buildings. The project area is composed of crop land and compacted bare ground with ruderal weeds just North of the main Giusti building. Surrounding properties consist of farmland, open space lands and residential homes. The proposed project will create farm labor housing and an adjacent leach field. The impacted area is around 0.54 acres.

2. METHODOLOGY: Briefly describe the survey methods used in preparing the report and show on an appropriately scaled map the location of sample points, transects, and any additional areas surveyed in the vicinity of the project.

The entire 245 by 100 ft area was surveyed for any common or special status species. Adjacent areas were surveyed visually for any nearby flora and fauna. Biologists conducted off-site surveys through California Native Diversity Database (CNDDDB), Calflora, and IPaC (USFWS).

3. RESULTS: At length, describe the botanical and zoological resources of the project site. To the extent possible, describe the food chain of the habitat and how the proposed project will impact those resources. NOTE: Use both common and scientific names and please indicate source such as Stebbins, Munz, Thomas, etc.

The project site consists of agricultural row crops and bare compacted earth. The project site hosts little habitat for both native flora and fauna. Major flora consists of row crops of Brussels sprouts (*Brassica oleracea* L.) and weedy non-natives (See Species List). Savannah Sparrows (*Passerculus sandwichensis* Gmelin, 1789) are utilizing the area for perching and forage. Ruderal weeds may act as habitat for insects, mostly generalist pollinators. Riparian habitat lies 50 ft East from the project location. That Riparian area consists of willow (*Salix* sp.), and alder (*Alnus* sp.) with dense, vegetated understory. The adjacent riparian corridor may support birds protected under the migratory bird treaty act. Direct impacts to these birds, who may utilize riparian habitat for nesting and foraging, would include noise from construction. Noise louder than usual farm activities could flush out nesting adults from the surrounding area. A CNDDDB survey shows no fully protected or species of special concern within a quarter mile of the project boundaries besides for Western bumble bee (*Bombus occidentalis* Greene, 1858) and Steelhead trout (*Onocorhynchus mykiss* Walbaum, 1792). The Western bumble bee is listed as a S1 rank Conservation Concern through NatureServe State Conservation. The Central California coast DPS region of Steelhead trout is listed as Federally Threatened. The western bumble bee are generalist foragers, important for many crop species, but rely mostly on native grasslands for major nectar and pollen plants. For this project, there will be the loss of some row crops that are potential food sources for the western bumble bee, but the crop will persist on this and surrounding property, minimizing the impact that row crops loss will have on the bee. Steelhead trout relies on creeks and rivers for the early life cycle stages and for breeding. This project has the potential to indirectly impact steelhead trout through sediment run-off through construction. *Through IPaC reference, California Red-legged Frog and San Francisco Garter Snake are found throughout the area, but the project site lacks habitat (ponds, food source etc.) to support either the frog or the snake.

Birds

Savannah Sparrow (*Passerculus sandwichensis* Gmelin)

Plants

Nettle leaf Goosefoot (*Chenopodium murale* L.)
Old man of the spring (*Senecio vulgaris* L.)
Sow thistle (*Sonchus oleraceus* L.)
Cheeseweed (*Malva parviflora* L.)
Jointed charlock (*Raphanus sativus* L.)
Jimson weed (*Datura stramonium* L.)
Birdeye speedwell (*Veronica persica* Poir.)
Field pumpkin (*Cucurbita pepo* L.)
Maize (*Zea mays* L.)
Brussels sprout (*Brassica oleracea* L.)
Bristly ox tongue (*Helminthotheca echioides* (L.) Holub)
Stinging nettle (*Urtica urens* L.)
Shepard's purse (*Capsella bursa-pastoris* (L.) Medik.)
Nightshade (*Solanum physalifolium* Rusby)
Tomatillo (*Physalis philadelphica* Lam.)

Rough pigweed (*Amaranthus retroflexus* L.)
Foxtail barley (*Hordeum murinum* L.)
Italian rye grass (*Festuca perennis* (L.) Columbus & J.P. Sm.)
rescue grass (*Bromus catharticus* Vahl)

4. List all direct and indirect impacts of the proposed project on the habitat. Include within the discussion an elevation of the perceived cumulative biological impacts associated with the project.

With the current use of the landscape as row crop agriculture and bare ground, the habitat for surrounding flora and fauna is poor. There will be no direct or indirect impacts to habitat within the project site. For adjacent riparian habitat, there will be minimal to no indirect impacts if BMP's for erosion are followed to reduce sediment run-off.

5. List and discuss all probable impacts to threatened, rare, endangered or unique species either listed or proposed by the Local Coastal Program, a Federal or State agency, or the California Native Plant Society, both on-site and within an area of one quarter-mile radius from the project location.

There are no fully protected or special status species within the project area. Special status species within a one-quarter radius include Western bumble bee, Steelhead trout and migratory birds. Biologists have identified potential indirect and direct impacts to adjacent species in the form of sediment and noise. Indirect impacts through sediment run-off into Arroyo Leon Creek will be greatly minimized with proper best practice management for erosion. Noise levels could be a direct impact to birds nesting in the adjacent riparian area if work louder than normal farm operations is conducted between February 1 to August 31. Note that noise levels are anticipated to be at the same level as current farm activities. Cumulative biological impacts if BMP's are followed will be minimal to none.

6. Tabulate by significant impact all feasible mitigation measures proposed to reduce the level of impact and explain how such measures will be successful.

To prevent sediment run-off, do not work during rain, implement erosion control measures (waddles, jute, coir, energy dissipaters, etc.) for any possible drainage areas towards the creek. To prevent disturbing nesting birds, restrict loudest construction operations to September 1 through January 31.