

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** August 5, 2021

**TO:** Zoning Hearing Officer

**FROM:** Planning Staff

**SUBJECT:** Consideration of a Use Permit, pursuant to Section 6431.1 of the San Mateo County Zoning Regulations, for the construction of an attached 2-story, 875.15 sq. ft. Accessory Dwelling Unit (ADU) to an existing 1,779 sq. ft., one-story single-family residence, located on an 8,015 sq. ft. parcel on 2447 Alameda De Las Pulgas, in the unincorporated Sequoia Tract area of San Mateo County. A Use Permit is required as the project provides a 3-foot front yard setback as measured from the Official Plan Line, where 20 feet is the minimum required.

County File Number: PLN 2021-00079 (Sutkin)

**PROPOSAL**

The subject parcel is located on Alameda De Las Pulgas, south of Inyo Place. The Accessory Dwelling Unit (ADU) would be located 21.5 feet from the front property line and the Alameda de las Pulgas road right-of-way. Section 6406 of the County Zoning Regulations requires that, "for the purpose of computing front yard dimensions, the measurement shall be taken from the nearest point of the front wall of the building to the street line; provided, however, that if an Official Plan Line has been established for the street, then the measurement shall be taken from the nearest point of the front wall of the building to such Official Plan Line." An Official Plan Line has been established for this parcel and denotes the boundaries of a planned right-of-way, including the future widening of an existing street. Per Department of Public Works staff, there is no plan for street widening in the near future and the project would not impede future widening of the street to the Official Plan Line. The project does not include the removal of any trees and only minor grading activity.

**RECOMMENDATION**

That the Zoning Hearing Officer approve the Use Permit, County File Number PLN 2021-00079, by making the required findings and adopting the conditions of approval listed in Attachment A.

## **BACKGROUND**

Report Prepared By: Camille Leung, Project Planner, Telephone 650/363-1826

Applicant/Property Owner: Grigoriy and Svetlana Sutkin

Location: 2447 Alameda De Las Pulgas

APN: 069-301-780

Parcel Size: 8,015 sq. ft.

Existing Zoning: R-1/S-74 (Single-Family Residential/5,000 sq. ft. minimum parcel size)

General Plan Designation: Medium Density Residential (6.1 - 8.7 dwelling units per net acre)

Existing Land Use: Single-Family Residential

Flood Zone: Zone X (areas of minimal flooding), FEMA Panel 06081C0303E,  
Effective Date: October 16, 2012.

Environmental Evaluation: Categorically exempt, pursuant to CEQA Section 15301 (Class 1), for additions to existing structures provided that the addition will not result in an increase of more than 10,000 sq. ft. if: (A) The project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and (B) The area in which the project is located is not environmentally sensitive. The project would connect to the water and sewer districts and is not located in an area that is environmentally sensitive.

Setting: Currently, there is a 1,779 sq. ft., one-story single-family residence on the parcel. The slope of the parcel is relatively flat. The site is located south of Inyo Place in an area developed with single-family residences.

### Chronology

#### Date

#### Action

- November 9, 2020 - Building staff receives a building permit application (BLD 2020-02271) for the proposed ADU. Planning staff identifies project non-compliance with the front setback as measured from the Office Plan Line during plan check. The building permit has been placed on hold until a Use Permit is obtained.
- March 9, 2021 - The owners apply for the subject Use Permit.

June 3, 2021 - Department of Public Works and the Fair Oaks Sewer Maintenance District (Sewer District) provide preliminary approval of the project with conditions as included in Attachment A.

August 5, 2021 - Zoning Hearing Officer public hearing.

**DISCUSSION**

A. **KEY ISSUES**

1. **Conformity with the General Plan**

The proposed residential addition is consistent with the General Plan’s Medium Density Residential land use designation for the site. The project would continue the existing single-family residential use of the property and add an ADU, as allowed by State and County regulations. Alameda De Las Pulgas is not a scenic road.

2. **Conformity with the Zoning Regulations**

a. *S-74 Zoning District Regulations and Accessory Dwelling Unit (ADU) Regulations*

The project site is a legal, conforming 8,015 sq. ft. parcel, where a minimum of 5,000 sq. ft. is required, in the R-1/S-74 Zoning District. As the project consists of an ADU, the ADU development standards rule with limited standards from the S-74 applying to the project, as shown in the table below:

<b>Table 1</b>				
<b>Compliance with the S-74 Combining Zoning District</b>				
<b>(Non-Compliance requires a Use Permit)</b>				
<b>S-74 Development Standard</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Non-Compliance - Use Permit Required</b>
Min. Front Setback, as measured from Official Plan Line	20 ft.	Approx. 19 ft.**	<b>3 ft.*</b>	<b>Yes</b>
Min. Rear Setback	20 ft.	Approx. 18 ft.*	No Change	No
Max. Building Height	28 ft. (House) 26 ft. (ADU) 16 ft. (ADU)	17-10”	24'-5.5" (ADU) Approx. 11 ft. (ADU)	No

	within 5 feet setback)		within 5 feet setback)	
Min. Side Yard Setback	5 ft. (House) 4 ft. (ADU)	Right – 3.7 ft.** Left – 20.1 ft.	Right – 4 ft. (ADU) Left – 17'-1" (ADU)	No
Max. Floor Area Ratio	3,383.9 sq. ft., plus 800 sq. ft. for ADU	1,936.69 sq. ft. Total 1778.94 sq. ft. (House) 77.75 sq. ft. (Garage) 80 sq.ft. (Shed)	2,811,84 sq. ft. Total 875.15 sq. ft. (ADU)	No
Max. Floor Area of ADU	889 sq. ft. (800 sq. ft. or 50% of area of primary residence	N/A	875.15 sq. ft. (ADU)	No
Max. Building Site Coverage	50% (4,007.5 sq. ft.)	29% (2,336.69)	37.3%	No
Min. Lot Size	5,000 sq. ft.	8,015 sq. ft.	No Change	N/A

Note: Aspects of the project that do not conform to regulations are in bold.

\*The Accessory Dwelling Unit (ADU) would be located 21.5 feet from the front property line and the Alameda de las Pulgas road right-of-way.

\*\* Legal, non-conforming

As shown in the table above, with the exception of b), the proposed ADU complies with applicable standards of Chapter 22.5 (ADUs) of the Zoning Regulations:

- a. ADUs are permitted in the R-1 Zoning District;
- b. Front Setback: as required by the relevant zoning district;
- c. Side Setback: the ADU may be located no closer to the property line than: Side: four (4) feet;
- d. Height: The maximum height of the accessory dwelling unit shall be 26 feet;
- e. Setbacks: Accessory dwelling units, whether attached or detached, exceeding sixteen (16) feet in height shall have the following stepback; located at a point no higher than sixteen (16) feet on the structure: Side: five (5) feet;
- f. Floor Area:



- (1) The allowable floor area of an accessory dwelling unit shall be calculated in the manner described in Sections 6429.1, 6429.2, 6429.3, 6429.4, and 6429.5, but in no case shall these regulations be applied in such a way as to preclude an attached or detached accessory dwelling unit of at least eight hundred (800) sq. ft. in size that meets all other relevant standards;
  - (2) The floor area of an attached accessory dwelling unit shall not exceed eight hundred (800) sq. ft. or fifty percent (50%) of the livable floor area of the existing or proposed primary residence, whichever is larger, up to a maximum of one thousand five hundred (1,500) square feet;
- g. Coverage: Accessory dwelling units shall count against the allowed lot coverage on a parcel, except that no lot coverage restriction shall preclude creation of an attached or detached accessory dwelling unit of at least 800 sq. ft. in size that meets all other relevant standards.

With regard to required parking, the ADU Regulations require one new covered or uncovered parking space, in addition to those already existing on the parcel, to be provided on-site for each new attached or detached accessory dwelling unit. As shown on the Site Plan in Attachment E, required ADU parking is provided in the front setback, adjacent to the existing driveway. Legal access to the house is provided by a private road, which would extend to the use of the ADU on the property. Staff has added a condition that requires that the applicant construct the new parking space using a pervious surface as required by the ADU Regulations.

With regard to required parking, new entrances and exits, the ADU Regulations allow new entrances and exits to face the front of the parcel only if they are located so as not to be visible from the front of the parcel. As shown in the A-04 of Attachment E, the front door of the ADU faces the private road (exterior side yard) and does not face Alameda De Las Pulgas.

The project complies with applicable development standards, with the exception of the front yard setback requirement, which is to be remedied with the approval of the requested Use Permit, as discussed further in Section A.3 of this report.

b. *Section 6406 of the Zoning Regulations*

Section 6406 of the Zoning Regulations requires that “for the purpose of computing front yard dimensions the measurement shall be taken from the nearest point of the front wall of the building to the street line;

provided, however, that if an Official Plan Line has been established for the street, then the measurement shall be taken from the nearest point of the front wall of the building to such Official Plan Line". The Official Plan Line denotes the boundaries of a planned right-of-way, including the future widening of an existing street. Per Department of Public Works staff, there is no plan for street widening in the near future and the project would not impede future widening of the street to the Official Plan Line. An Official Plan Line has been established for this parcel approximately 17.25 feet inward of the front property line.

As shown on the survey included in Attachment C and the table above, the house is approximately 19 feet from the Official Plan Line and the ADU is would be approximately 3 feet from the Official Plan Line. The Use Permit application was reviewed by Department of Public Works (DPW) staff who state that the Official Plan Line boundaries would allow for extra space for parking and bike lanes on each side of Alameda De Las Pulgas in the future, but that there is no plan for street widening in the near future. The project would not impede future widening of the street to the Official Plan Line, but the building may be located at the back of sidewalk should widening of Alameda De Las Pulgas to the Official Plan Line occur in the future. Based on this acknowledgement by the owner, DPW staff have preliminarily approved the proposal subject to a condition that the current sidewalk on Alameda De Las Pulgas meet the County standard for a 5.5 feet concrete sidewalk without narrowing the road width and that the applicant dedicate a 17-foot easement from the Official Plan Line to Alameda de las Pulgas to be used as a right of way easement along this portion of the road to be consistent with nearby parcels, including as Conditions 27 and 28.

### 3. Conformity with the Use Permit Findings

Section 6431.1 states that accessory dwelling units not meeting all applicable standards of this Chapter may be conditionally permitted, subject to a conditional Use Permit. The section further states that, in the event that the creation or legalization of an accessory dwelling unit creates conflicts with standards specific to the base or overlay zoning of the parcel, or other standards for which specific exceptions are not provided in this Chapter, those conflicts must be addressed by whatever relief, if any, and through whatever procedures, are normally required by the regulations in which those standards are contained. Therefore, the project is subject to Chapter 24 (Use Permits) of the Zoning Regulations, which requires the Zoning Hearing Officer to make the following finding in order to approve a Use Permit for the proposed Accessory Dwelling Unit:

**That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a**

**significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.**

With the exception of the front yard setback requirement, the project complies with all applicable standards to Accessory Dwelling Units. The ADU would be located 21.5 feet from the front property line and the Alameda de las Pulgas road right-of-way. The project would not impede widening of Alameda De Las Pulgas to the Official Plan Line. The project has received preliminary approval from review agencies, including the Building Inspection Section, the Department of Public Works, and the Menlo Fire Protection District. Comments from these agencies have been incorporated in the conditions of project approval in Attachment A.

**B. ENVIRONMENTAL REVIEW**

Staff has determined that the project is categorically exempt, pursuant to CEQA Section 15301 (Class 1), for additions to existing structures provided that the addition will not result in an increase of more than 10,000 sq. ft. if: (A) The project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and (B) The area in which the project is located is not environmentally sensitive. The project would connect to the water and sewer districts and is not located in an area that is environmentally sensitive. The site does not contain and is not adjacent to any sensitive habitat and is not located in a scenic corridor.

**C. REVIEWING AGENCIES**

Building Inspection Section  
Department of Public Works  
Menlo Park Fire Protection District  
Fair Oaks Sewer Maintenance District

**ATTACHMENTS**

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Topographic Survey, prepared by Mission Engineers, Inc., dated December 13, 2019.
- D. Parcel Map, July 1973
- E. Project Plans

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County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit or Project File Number: PLN 2021-00079

Hearing Date: August 5, 2021

Prepared By: Camille Leung  
Project Planner

For Adoption By: Zoning Hearing Officer

**RECOMMENDED FINDINGS**

Regarding Environmental Review, Find:

1. The project is categorically exempt, pursuant to CEQA Section 15301 (Class 1), for additions to existing structures provided that the addition will not result in an increase of more than 10,000 sq. ft. if: (A) The project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and (B) The area in which the project is located is not environmentally sensitive. The project would connect to the water and sewer districts and is not located in an area that is environmentally sensitive. The site does not contain and is not adjacent to any sensitive habitat and is not located in a scenic corridor.

Regarding the Use Permit for the Proposed ADU, Find:

2. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood. With the exception of the front yard setback requirement, the project complies with all applicable standards to Accessory Dwelling Units. The ADU would be located 21.5 feet from the front property line and the Alameda de las Pulgas road right-of-way. The project would not impede widening of Alameda De Las Pulgas to the Official Plan Line. The project has received preliminary approval from review agencies, including the Building Inspection Section, the Department of Public Works, and the Menlo Fire Protection District. Comments from these agencies have been incorporated in the conditions of project approval listed below.

**RECOMMENDED CONDITIONS OF APPROVAL**

Current Planning Section

1. The project shall be constructed in compliance with the plans approved by the Zoning Hearing Officer on August 5, 2021. Any changes or revisions to the

approved plans shall be submitted to the Community Development Director for review and approval prior to implementation.

2. The final approval shall be valid for two (2) years from the date of approval, in which time a building permit shall be issued and a completed inspection (to the satisfaction of the Building Inspector) shall have occurred within 180 days of its issuance. The design review approval may be extended by one 1-year increment with submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. The applicant shall include the approval letter on the top pages of the building plans.
4. The applicant shall provide “finished floor elevation verification” to certify that the structure is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.
  - a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
  - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
  - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
  - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
  - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
  - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall

cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.

5. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program “General Construction and Site Supervision Guidelines,” including, but not limited to, the following:
  - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
  - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
  - c. Performing clearing and earth-moving activities only during dry weather.
  - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
  - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
  - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
  - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
  - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
  - i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
  - j. Limiting construction access routes and stabilization of designated access points.
  - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
  - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.

- m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
  - n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
6. The applicant shall include an erosion and sediment control plan meeting County guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and to prevent erosion and sedimentation off-site.
  7. The applicant shall apply for a building permit and shall adhere to all requirements of the Building Inspection Section, the Department of Public Works and the Menlo Park Fire Protection District.
  8. No site disturbances shall occur, including any land disturbance, until a building permit has been issued.
  9. This permit does not allow for the removal of any trees. Removal of any tree with a diameter equal to, or greater than, 12 inches in diameter, as measured 4.5 feet above the ground, shall require a separate tree removal permit.
  10. To reduce the impact of construction activities on neighboring properties, comply with the following:
    - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
    - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
    - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Alameda De Las Pulgas or on the adjoining private road. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Alameda De Las Pulgas or on the adjoining private road. There shall be no storage of construction vehicles in the public right-of-way.

11. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo Ordinance Code Section 4.88.360).
12. Prior to pouring the foundation for the addition, the applicant shall provide to Planning staff a letter from a licensed surveyor identifying the distance of the foundation “forms” to the front property line. The foundation of the ADU addition cannot be poured until Planning staff has confirmed that the location and size of the ADU addition, specifically the encroachment into the required front setback, conform to the approved site plan which is the basis of this permit.
13. The new uncovered parking space for the ADU shall be constructed using a pervious surface.

#### County Arborist

14. Based on the County Arborist’s review, project impact to a significant Redwood Tree appears to be minimal, however, the tree protection measures of the Arborist Report are unlikely to be implemented as proposed due to the location of the fire hydrant. County Arborist’s review of the Utility Plan, Drainage Plan, and Tree Protection Plan is required at the building permit application stage. The Tree Protection Plan should consider earthwork and construction of the new uncovered parking space.

#### Building Inspection Section

15. The applicant shall apply for a building permit.
16. The applicant shall address the following comments from the Drainage Section at the building permit application stage:
  - a. Provide a C.3 and C.6 Development Review Checklist with pages 1 and 2 and any relevant worksheets completed.
  - b. For reference, additional building permit comments sent to Applicant 2/4/21 pasted below. These will need to be addressed under building permit, BLD 2020-02271:
    - (1) Project size is such (appears to be less than 750 sq. ft. of new and replaced impervious surface) that the project qualifies for basic drainage review. Please show the following on your site plan (guidance for basic drainage review attached; full County Drainage Manual available online here: <https://planning.smcgov.org/drainage-manual>)
    - (2) Show all existing and proposed impervious area on the plan.



- (3) Show all existing and proposed drainage features onsite, including roof downspout locations. Specify splashblocks at base of roof rain gutter downspouts adjacent to landscaping to promote dispersion.
- (4) Show ground slopes in project vicinity. Slope hard surfaces minimum 2 percent (2%) away from structure.
- (5) Specific to 2447 Alameda de las Pulgas: The patio area you are converting to an ADU is slightly depressed; please show proposed finish floor elevation (in same units as survey) and FF elevation of existing house. I have some concerns that water from the roof gutters of the new addition is just going to pond in the existing depression and cause moisture issues and/or flow to the neighboring parcel – particularly if you are keeping the existing fence/wall (please specify). Consider adding pop-up emitter connections to the center of a landscaping area and/or a small drywell feature within the landscaping area to fully divert water to a safe infiltration location. Example drywell details are available in our drainage manual at link above. Any grade changes made to the property should be clearly specified on the site plan.
- (6) In addition, provide a separate erosion control plan for the project. Guidelines available here: <https://planning.smcgov.org/erosion-and-sediment-control-plan-requirements>

#### County Sewer District

17. The applicant shall submit building plans to the Sewer District for review when the building permit application is submitted to County of San Mateo Building Department.
18. A Sewer Inspection Permit (SIP) may need to be obtained to cap the existing sewer lateral prior to demolition of the existing building. A Sewer Inspection Permit may be obtained from the Sewer District office at 555 County Center, 5th Floor, Redwood City.
19. The applicant shall pay a plan review fee in the amount of \$300. Payment shall be made to the County of San Mateo.
20. The Sewer District would approve the re-use of an existing sewer lateral if the applicant provides the Sewer District with evidence (i.e., closed circuit video camera inspection), prior to final plan approval, that the existing lateral between the property line cleanout and sewer main meets Sewer District standards and is in acceptable condition and the lateral connection to the main is also acceptable. The existing lateral shall be removed and replaced at the property owner's expense if the Sewer District determines that the line is in poor condition or if the lateral does not meet Sewer District standards.

21. If the existing lateral is to be replaced, the plans must show sufficient information of the proposed sewer lateral and property line cleanout for the Sewer District's review and approval. Attached is the County Sanitary Sewer and Streetlight Requirements Checklist, for your use. All appropriate information and notes shall be included on the plans.
22. The Sewer District will allow the proposed second unit connection, providing that the lateral from the second unit ties into the primary house lateral on private property upstream of the property/easement line cleanout and all associated fees are paid.
23. The Sewer District requires the purchase of a second unit sewer connection and payment of an additional sewage treatment capacity fee.
24. The plans shall indicate the location of the primary house lateral and the proposed second unit lateral including its connection point to the primary house lateral.
25. Please be advised that Alameda de las Pulgas between Stockbridge Avenue and Woodside Road, including the section in front of the subject property, is scheduled to be repaved during the summer of 2021. It is recommended that the sewer lateral and other work within the public right-of-way be accomplished prior to the reconstruction of the road, as County policy prohibits the disturbance of any newly treated surfaces until two (2) years after the completion of the project.
26. Lighting Comments: There is one (1) Lighting District maintained streetlights located in front of the property on 2447 Alameda de las Pulgas. Plans shall indicate the actual locations of the streetlights. Attached is a map showing the approximate locations of Lighting District facilities for your information.

#### Department of Public Works

27. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
28. The project would not impede future widening of the street to the Official Plan Line, but the building may be located at the back of sidewalk should widening of Alameda De Las Pulgas to the Official Plan Line occur in the future. Based on this acknowledgement by the owner, DPW staff have preliminarily approved the proposal subject to a condition that the current sidewalk on Alameda De Las Pulgas meet the County standard for a 5.5-foot-wide concrete sidewalk without narrowing the existing road width.
29. The applicant shall dedicate a 17.25-foot easement along Alameda de las Pulgas to be used as a right of way easement along this portion of the road to be consistent with nearby parcels. The easement area will be from Plan Line to the

Property line as shown on the site plan See Attachment D (Parcel Map) of the Staff Report.

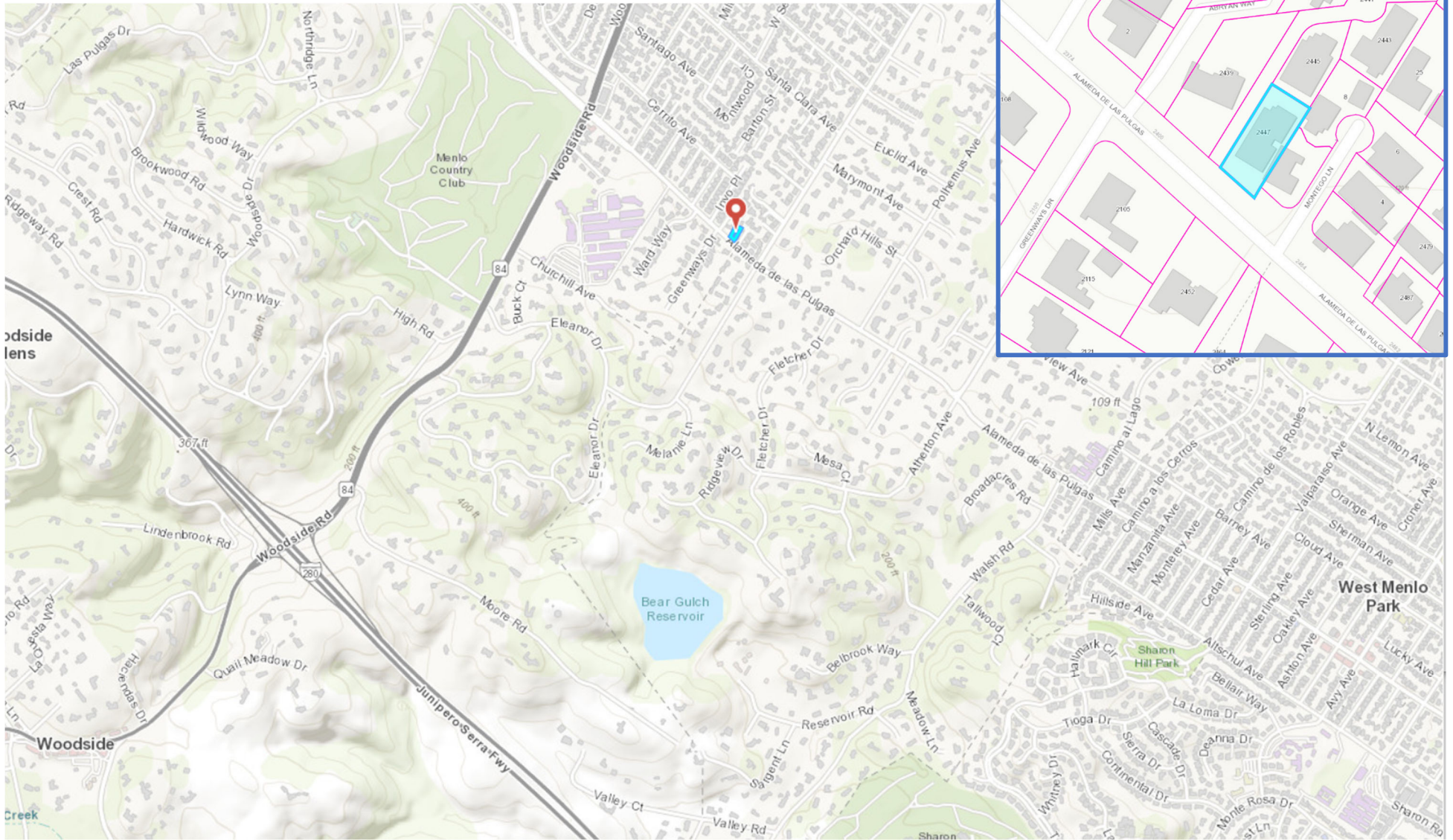
30. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.

#### Menlo Park Fire Protection District

31. Install a NFPA 13-D fire sprinkler system including in the garage and house under separate fire permit. Based on a review of the provided plans, this ADU will require the fire sprinkler system to be designed to a 2 head calculation. Fire sprinkler system to comply with Menlo Park Fire Protection District Standards.
32. Residential fire sprinkler shall have an interior alarm, activated by the flow switch that is audible in all sleeping areas.
33. Fire flow data from the water purveyor shall be provided at time of deferred submittal for the fire suppression system.
34. Install smoke detectors in each sleeping area, the area outside sleeping areas and on each level of the house (2019 CBC 907.2.10.2). Install carbon monoxide detector outside the sleeping areas and on each level of the house. Smoke and carbon monoxide detectors shall be inter-connected for alarm.
35. The address shall be visible from the street and contrasting to its background. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained solar or switch is not accepted.
36. Approved plans and approval letter must be on site at the time of inspection.
37. Final acceptance of this project is subject to field inspection.
38. Upon completion of work and prior to closing ceiling, contact Deputy Fire Marshal Bob Blach of the Menlo Park Fire Protection District at 650/688-8430 to schedule a final inspection. 48 HOURS NOTICE IS REQUIRED FOR ALL INSPECTIONS.

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Project Site: 2447 Alameda de las Pulgas, Sequoia Tract



**LOCATION MAP - ATTACHMENT B**



APN 069-301-790  
**PARCEL B**  
 VOL. 25 PG. 13

**PARCEL A**  
 VOL. 25 PG. 13

APN 069-301-640

APN 069-301-670

INYO PLACE

STOCKBRIDGE AVE

GREENWAYS DRIVE

ALAMEDA DE LAS PULGAS

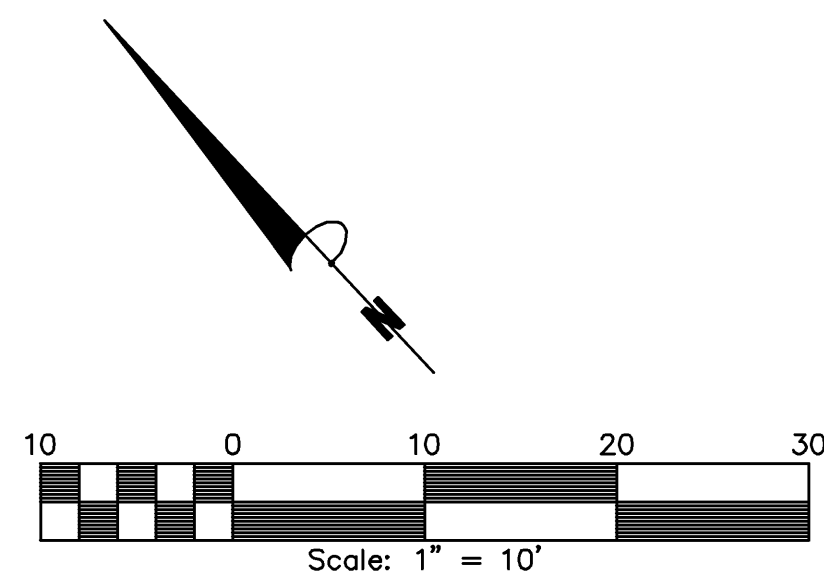
ATTACHMENT C

**NOTES**

- CONTRACTOR SHALL CONTACT U.S.A. AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (800)642-2444.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY, IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.
- DATE OF SURVEY: DECEMBER 13, 2019
- TEMPORARY BENCHMARK (TBM): FINISH FLOOR OF RESIDENCE AS SHOWN HEREON. ASSUMED ELEVATION = 100.00
- BASIS OF BEARINGS: THE BEARING OF SOUTH 46°54'37" EAST OF THE CENTERLINE OF ALAMEDA DE LAS PULGAS AS SHOWN ON THAT MAP ENTITLED "RECORD OF SURVEY OF A MONUMENT LINE ON ALAMEDA DE LAS PULGAS" FILED IN BOOK 14 OF MAPS AT PAGES 117 THRU 119, RECORDS OF SAN MATEO COUNTY, WAS TAKEN AS THE BASIS OF BEARINGS AS SHOWN HEREON.

**ABBREVIATIONS**

AC	ASPHALTIC CONCRETE
AD	AREA DRAIN
COL	COLUMN
CONC	CONCRETE
EL	ELECTROLIER
EM	ELECTRIC METER
FF	FINISH FLOOR
FH	FIRE HYDRANT
GM	GAS METER
GV	GAS VALVE
HB	HOSE BIB
HV	HIGH VOLTAGE
IRR	IRRIGATION BOX
MON	MONUMENT
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
TBM	TEMPORARY BENCHMARK
TVLT	TELEPHONE VAULT
TW	TOP OF WALL
VLT	VAULT
W	WATER
WD	WOOD
WM	WATER METER
WV	WATER VALVE

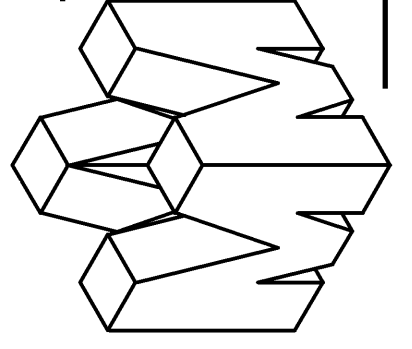


PHILIPPE AUGER, P.C.E. 21500-EXPIRES 9-30-21  
 DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-22, L.S. 9212-EXPIRES 09-30-21

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

**MISSION ENGINEERS, INC.**

RESPONSIVE, RELIABLE RESULTS SINCE 1953  
 2355 De La Cruz Blvd. Santa Clara, California 95050  
 Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: missionengineersinc.com

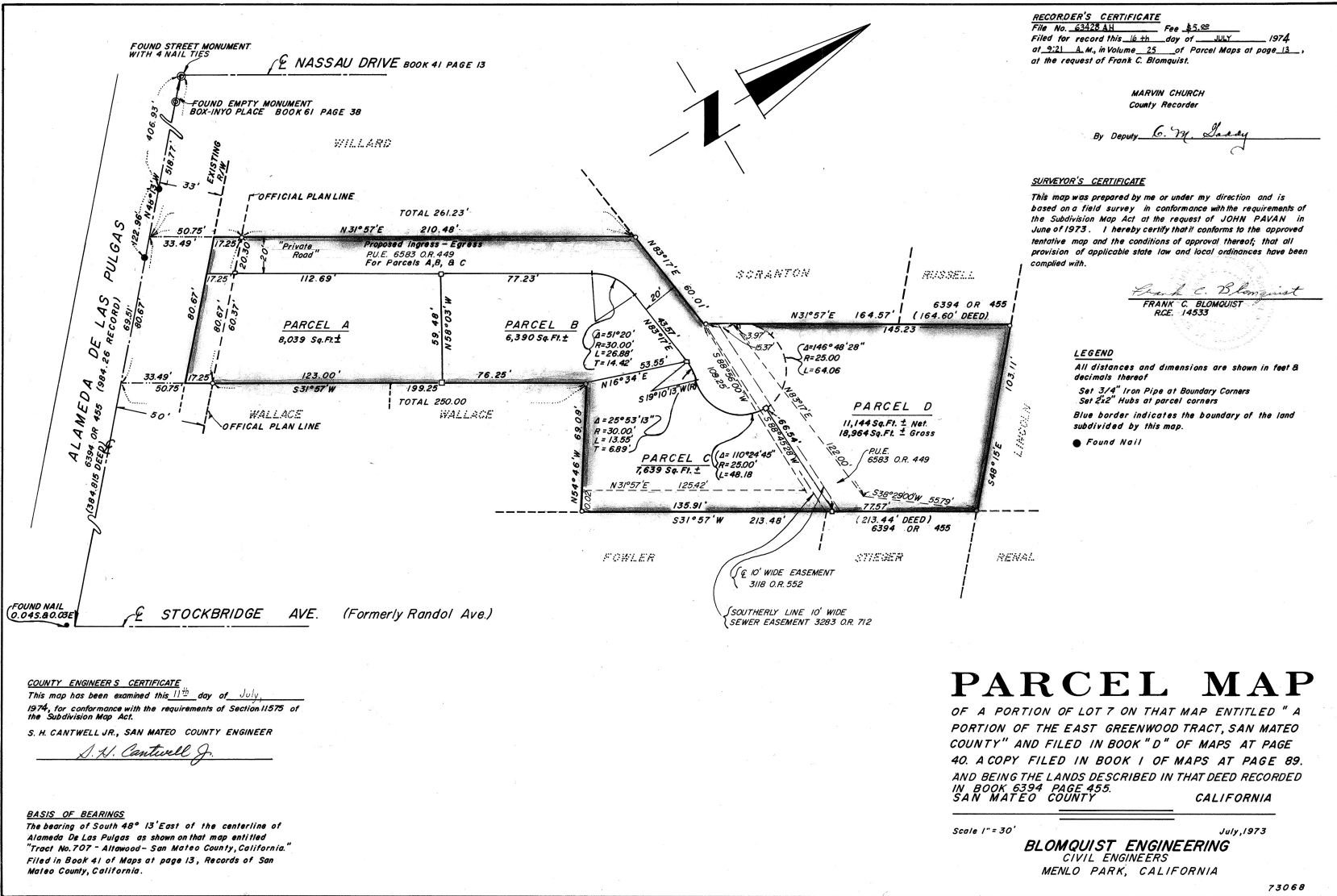


TOPOGRAPHIC SURVEY  
 APN 069-301-780  
 2447 ALAMEDA DE LAS PULGAS  
 IN THE CITY OF REDWOOD CITY, CALIFORNIA

REVISIONS	
DATE	BY / DESCRIPTION

SCALE 1" = 10'  
 DATE 12-23-19  
 DWN JS ME16  
 C/P/K/D  
 JOB NO. 19050  
 DWG. NO. L15005

SHEET  
 1  
 OF 1 SHEET





**PROJECT DATA:**

ZONE: R-1/S-74  
 OCCUPANCY GROUP: R3  
 CONSTRUCTION TYPE: V-B  
 APN#: 069-301-780  
 YEAR BUILT: 1941  
 LOT SIZE: 8,015 SF

BUILDING SETBACKS:  
 FRONT - 20'  
 SIDE - 5'  
 REAR - 20'

FIRESPRINKLERS TO BE INSTALLED INSIDE ADU

**LOT COVERAGE:**

50% of lot area = 8,015 x 0.5 = 4,007.5sf

	EXISTING	PROPOSED	TOTAL:
HOUSE	1,778.94	0	1,778.94
GARAGE	477.75	0	477.75
ADU	0	+656.66	656.66
<b>TOTAL:</b>	<b>2,256.69</b>		<b>2,913.35</b>

**FLOOR AREA:**

.26 (building site area - 5,000) + 2,600 sq. ft.  
 0.26 x (8,015 - 5,000) + 2,600 = 3,383.9sf

	EXISTING	PROPOSED	TOTAL:
HOUSE	1,778.94	0	1,778.94
GARAGE	477.75	0	477.75
ADU 1ST FLR	0	+656.66	656.66
ADU 2ND FLR	0	+218.49	218.49
<b>TOTAL:</b>	<b>2,256.69</b>		<b>3,131.84</b>

Floor Area of Attached Second Units. The floor area of an attached second unit shall not exceed seven hundred fifty (750) square feet or fifty percent (50%) of the floor area of the existing or proposed primary residence, whichever is larger, up to a maximum of one thousand five hundred (1,500) square feet. The floor area of the primary residence shall be calculated in the manner described in the relevant base or overlay district Zoning Regulations.

$1778.94 \times .5 = 889.47sf > 656.66 + 218.49 = 875.15sf$  (new ADU)

**MAX HEIGHT:**

26' max height (for 2nd unit)

Daylight Plane. Neither second units built above an existing detached or attached garage or accessory structure, nor detached second units taller than sixteen (16) feet in height, shall be subject to daylight plane requirements.

**PARKING REQUIREMENTS:**

(N) ADU EXEMPT FROM ADD'L PARKING

**FLOOD ZONE:** NO

**PROTECTED TREES:** SEE SURVEY

**(N) ATTACHED ADU ADDITION TO (E) SINGLE FAMILY RESIDENCE**

APN#: 069-301-780

PROJECT ADDRESS

**2447 ALAMEDA DE LAS PULGAS, REDWOOD CITY, CA 94061**

OWNERS: SVETLANA SUTKIN

**PROJECT DESCRIPTION:**

BUILD New accessory dwelling unit (2 bedroom, 2 bathroom) two story attached to existing single story 3 bedroom 2 bathroom single family dwelling. NO WORK ON EXISTING HOUSE

**PLANNING/BUILDING DEPARTMENT:**

County of San Mateo  
 400 County Center, Redwood City, CA 94063  
 (650) 363-4000

**CONSULTANTS:**

STRUCTURAL ENGINEER  
 TSA  
 TONY SAMRA  
 433 AIRPORT BLVD  
 BURLINGAME CA  
 (650) 620-9555  
 WWW.TSASE.COM

TITLE 24 report  
 Igor Pichko, CEA/CEPE  
 (424) 247-7658  
 www.title24ez.com

SURVEY  
 MISSION ENGINEERS  
 INCORPORATED

(E) WATER LINE: PROVIDE SIZE OF EXISTING WATER SUPPLY LINE AND EXISTING WATER METER MUST BE FIELD VERIFIED AND UPGRADED (as needed), per CPC 102.4 & 610.0.

(E) LOT SEWER LATERAL: must be field verified to have sufficient size to allow addition of (N) plumbing fixtures. At min., a 4"-diameter pipe can serve 4 or more water closets."

**GENERAL NOTES:**

CODE COMPLIANCE: THIS PROJECT SHALL COMPLY WITH THE CALIFORNIA CODE OF REGULATIONS AND TITLE 24 AS AMENDED BY THE STATE OF CA AND TOWN OF REDWOOD CITY & SAN MATEO COUNTY.

CRC 2019 EDITION CMC 2019 EDITION CAL GREEN 2019  
 CBC 2019 EDITION CEC 2019 EDITION CA ENERGY 2019  
 CPC 2019 EDITION CFC 2019 EDITION

VERIFICATION: CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS AND CONDITIONS AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE DRAWINGS PRIOR TO COMMENCING ACTIVITIES. ERRORS, OMISSIONS OR INCONSISTENCIES BETWEEN THESE AND ALL DOCUMENTS OR AGAINST FIELD CONDITIONS SHALL BE AT ONCE REPORTED TO THE DESIGNER & STRUCTURAL ENGINEER IN WRITING.

DIMENSIONS: ALL DIMENSIONS MUST BE VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DRAWINGS WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM THE DESIGNER & STRUCTURAL ENGINEER. MEASURED DIMENSIONS SUPERSEDE DIMENSIONS OBTAINED BY SCALING. EXTERIOR/INTERIOR DIMENSIONS ARE FACE OF STUD, UNLESS OTHERWISE NOTED. "CLR" MEANS CLEAR DIMENSION FROM FACE OF FINISH. NOTIFICATION: DESIGNER IS TO BE NOTIFIED IN WRITING IMMEDIATELY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS, DRAWINGS, SPECIFICATIONS, OR OTHER CONTRACT DOCUMENTS.

DOCUMENTS: THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, IN THAT WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES AND DETAILS, WHICH TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. UNLESS OTHERWISE SHOWN OR NOTED.

CONTINUOUS OPERATIONS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING THE WORK IN ACCORDANCE WITH THE LOCAL BUILDING JURISDICTION OFFICIAL: BETWEEN 8am AND 6:00pm, MON-FRI, AND BETWEEN 9am AND 5:00 pm. THE MOST RESTRICTIVE WORK HOURS SHALL GOVERN. WORKING OUTSIDE OF THE PRE-DEFINED SCHEDULE SHALL BE COORDINATED WITH THE OWNER IN ADVANCE AND THE LOCAL BUILDING OFFICIAL IF THE PROPOSED WORKING HOURS FALL OUTSIDE OF THAT WHICH IS ALLOWED BY THE BUILDING OFFICIAL. STAGING, STORING MATERIALS AND PARKING SHALL BE COORDINATED WITH THE OWNER PRIOR TO START OF CONSTRUCTION. SUPPORT: PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, TOILET ACCESSORIES, HEATING EQUIPMENT AND ALL OTHER ITEMS REQUIRING SUPPORT. SHORING: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, ETC., DURING CONSTRUCTION AND/OR DEMOLITION.

MISCELLANEOUS: WORD "DEMOLISH" USED IN DRAWINGS MEANS REMOVE AS REQUIRED BY THE SCOPE OF WORK AND AND DISPOSE OFF-SITE. WORD "PROVIDE" USED IN DRAWINGS MEANS ITEM IS FURNISHED, INSTALLED AND CONNECTED AS REQUIRED FOR COMPLETE INSTALLATION, EXCEPT AS SPECIFICALLY NOTED OTHERWISE. WORD "VERIFY" USED IN DRAWINGS MEANS ITEM, DIMENSION, CONDITION, OR PROVISION SHALL BE ACCURATELY VERIFIED AND WRITTEN CLARIFICATION SECURED FROM DESIGNER PRIOR TO INITIATION OF ASSOCIATED WORK.

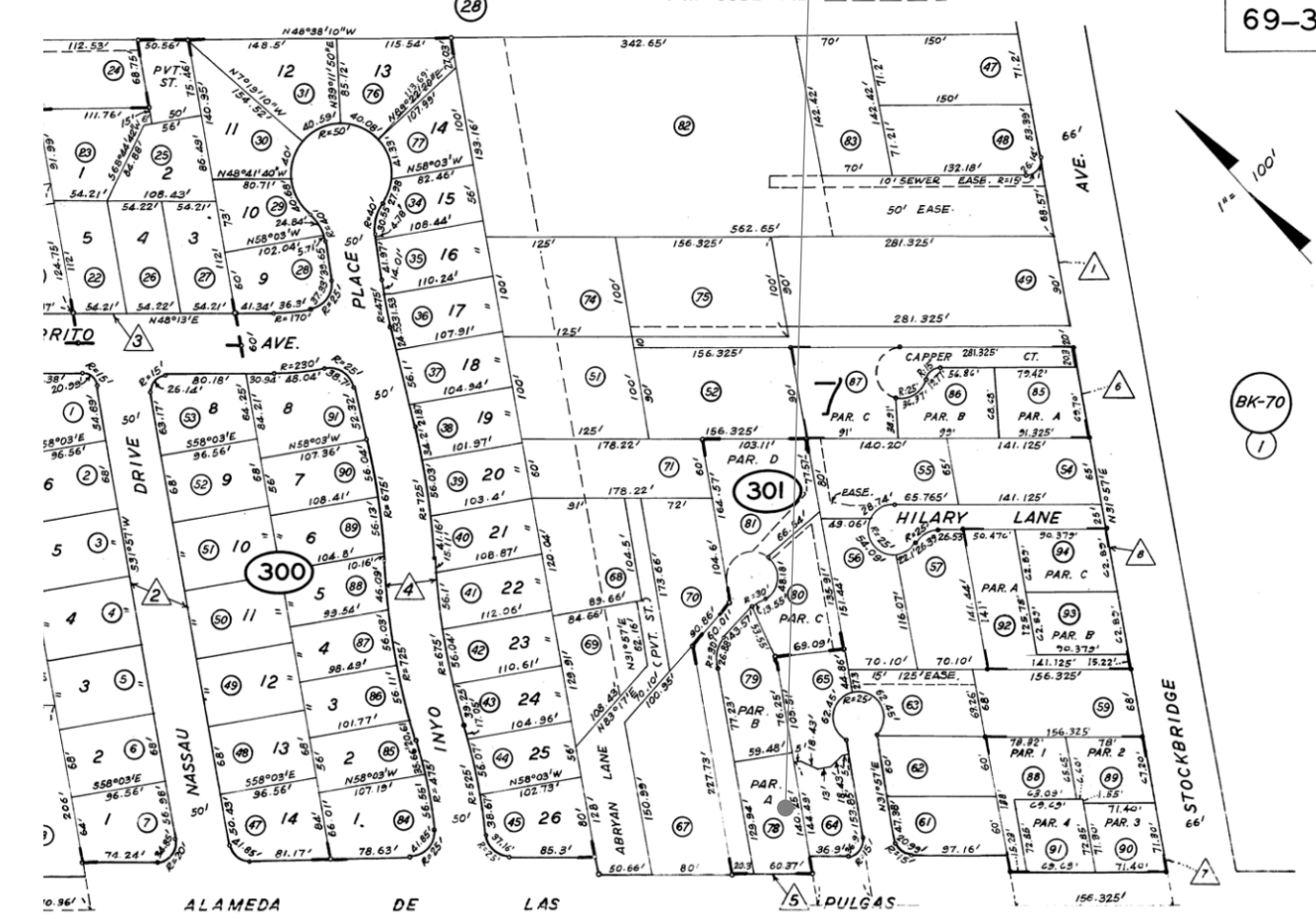
**DRAWING INDEX:**

T-00	TITLE SHEET
	SURVEY
A-01	SITE PLAN
A-02	(E) FLOOR & ROOF PLAN
A-03	(E) ELEVATIONS
A-04	(N) ADU PLANS
A-05	(N) ELEVATIONS
A-06	(N) BUILDING SECTIONS
A-07	(N) INTERIOR ELEVATIONS
A-08	(N) SCHEDULES
A-09	(N) MEP PLANS
GN1	GENERAL NOTES
GN2	GENERAL NOTES

**STRUCTURAL SHEETS:**

S01	SPECIFICATIONS
S02	NOTES AND DETAILS
S03	DETAILS
S1	PLANS
S2	ROOF PLAN AND DETAILS

**ASSESSOR MAP:**



**VIEW FROM ABOVE:**



**VICINITY MAP:**



MARIA BARMINA  
 DESIGNER

5753 GREENRIDGE ROAD  
 CASTRO VALLEY CA 94552  
 T: 650.704.4501  
 mbarmina@yahoo.com

**SUTKIN RESIDENCE**

2447 ALAMEDA DE LAS PULGAS  
 REDWOOD CITY, CA, 94061  
 APN#: 069-301-780

TITLE SHEET

CLIENT NAME:

SVETLANA SUTKIN

REVISIONS:

DATE	REV #	DESCRIP.
2021/01/26	R1	PLANCHHECK

DRAWN BY:

MVB

SCALE AS NOTED

DATE PRINTED:

3/2/21

SHEET NUMBER:

**T-00**

ATTACHMENT E



MARIA BARMINA  
DESIGNER

5753 GREENRIDGE ROAD  
CASTRO VALLEY CA 94552  
T: 650.704.4501  
mbarmina@yahoo.com



**SUTKIN RESIDENCE**

2447 ALAMEDA DE LAS PULGAS  
REDWOOD CITY, CA, 94061  
APN#: 069-301-780

SITE PLAN

CLIENT NAME:

SVETLANA SUTKIN

REVISIONS:

DATE	REV #	DESCRIP.

DRAWN BY:

MVB

SCALE AS NOTED

DATE PRINTED:

3/2/21

SHEET NUMBER:

**A-01**

GENERAL NOTES

1) SCOPE

A. GENERAL DESCRIPTION: REMOVE AND HAUL AWAY ONLY THOSE ITEMS NECESSARY TO ACCOMPLISH THE SCOPE OF WORK .

B. PROVIDE SUPERVISION, LABOR, EQUIPMENT TOOLS, MATERIALS, AND SUPPLIES TO COMPLETE THE PROJECT PER THE DRAWINGS AND SPECIFICATIONS, AND GENERAL TERMS AND CONDITIONS.

C. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE WORK DONE ON THIS PROJECT SHALL BE IN STRICT COMPLIANCE WITH APPLICABLE CODE REQUIREMENTS.

D. TREE PROTECTION FENCING SHOWN FOR REFERENCE ONLY, REFER TO TREE PROTECTION PLAN FOR ALL TREE PROTECTION REQUIREMENTS

E. CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET WORK PERMIT FROM THE PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT IS SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.

2) PROTECTION AND CONTROLS

A. CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR THE EXISTING SITE AND ITS IMPROVEMENTS THROUGHOUT THE WORK. ALL DAMAGE DONE TO THE EXISTING PROPERTY SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.

B. NOT USED

C. ADJACENT PROPERTY AND AREAS: PROTECT ANY ADJACENT AREAS AND IMPROVEMENTS FROM DAMAGE. ANY DAMAGE TO ADJACENT AREAS, STREETS AND THE LIKE SHALL BE RESTORED TO ORIGINAL CONDITION WITH NO COST TO THE OWNER.

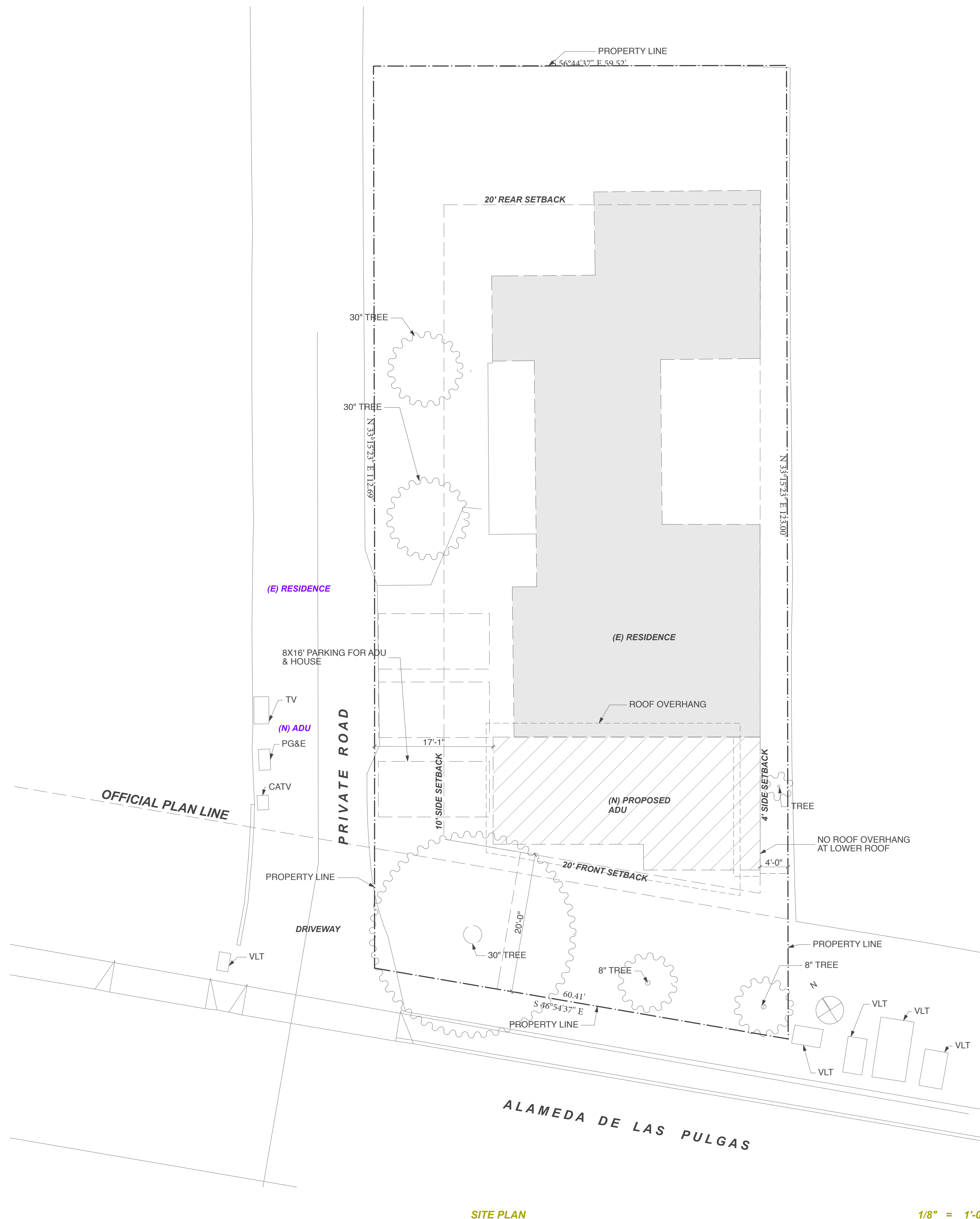
D. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO DIRT OF CONSTRUCTION DEBRIS ENTERS THE STORM DRAIN SYSTEM.

E. NOT USED

F. ANY CITY STORM DRAIN INLET USED SHALL BE PROTECTED FROM DEBRIS WITH SAND BAGS SURROUNDING THE STORM DRAIN INLET GRATE FOR THE DURATION OF THE PROJECT

G. AT THE END OF EACH WORKDAY AND JUST PRIOR TO RAINFALL, ROADWAYS AND SIDEWALKS MUST BE SWEEPED AND CLEANED OF ALL MATERIALS ATTRIBUTED TO THE PROJECT. WATER CANNOT BE FLUSHED DOWN THE PAVEMENT IN PLACE OF SWEEPING.

**SLAB ON GRADE FOUNDATION FOR ADU  
MINIMAL GRADING  
NO EXISTING TREES TO BE REMOVED  
EXISTING DRAINAGE TO REMAIN AS IS**



SITE PLAN



MARIA BARMINA  
DESIGNER

5753 GREENRIDGE ROAD  
CASTRO VALLEY CA 94552  
T: 650.704.4501  
mbarmina@yahoo.com

### SUTKIN RESIDENCE

2447 ALAMEDA DE LAS PULGAS  
REDWOOD CITY, CA, 94061  
APN#: 069-301-780

HOUSE FLOOR  
PLAN, ROOF  
PLAN

CLIENT NAME:

SVETLANA SUTKIN

REVISIONS:

DATE	REV #	DESCRIP.

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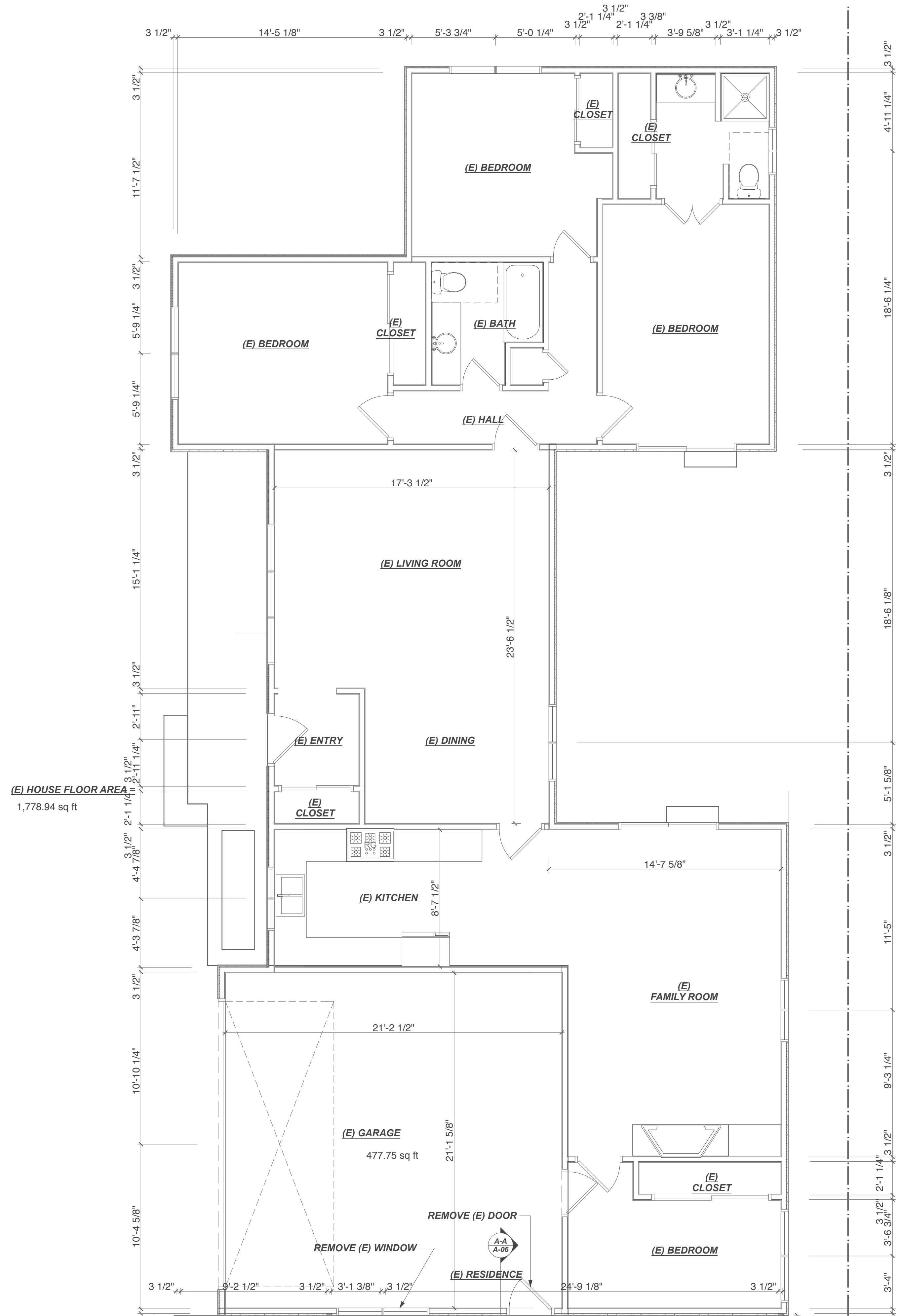
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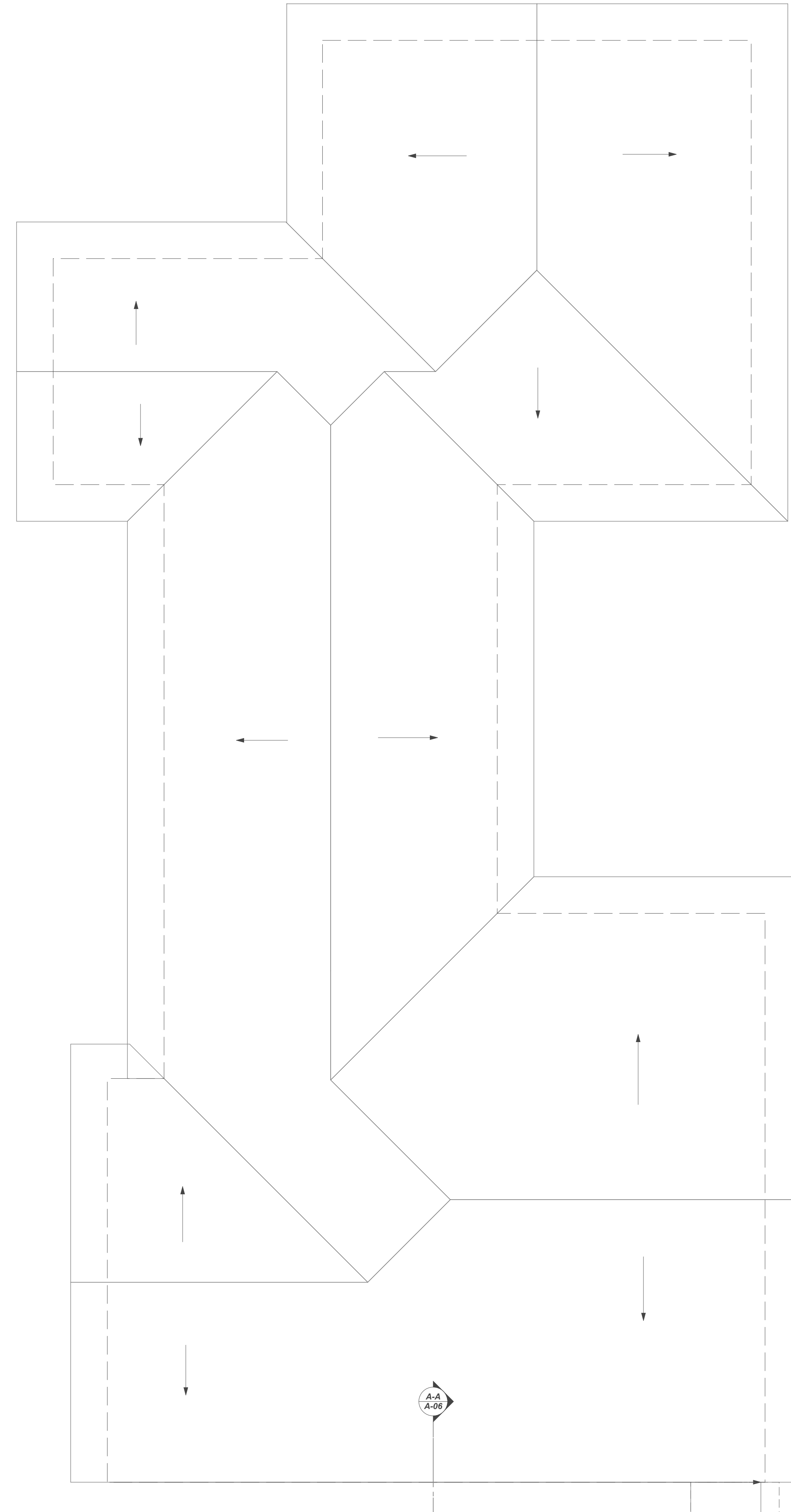
# A-02



EXISTING

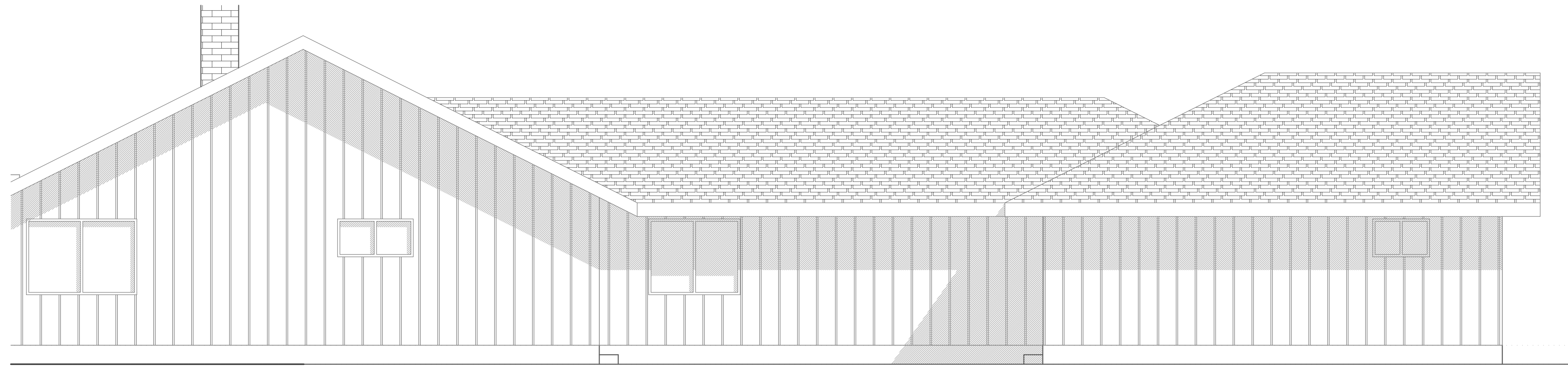
HOUSE FLOOR PLAN

1/4" = 1'-0"



EXISTING HOUSE

ROOF PLAN



EXISTING HOUSE

E ELEV E

1/4" = 1'-0"



EXISTING HOUSE

W ELEV W

1/4" = 1'-0"



SOUTH ELEV S HOUSE



MARIA BARMINA  
DESIGNER

5753 GREENRIDGE ROAD  
CASTRO VALLEY CA 94552  
T: 650.704.4501  
mbarmina@yahoo.com



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W ELEV W, E  
ELEV E, SOUTH  
ELEV S HOUSE

**CLIENT NAME:**

SVETLANA SUTKIN

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**A-03**



MARIA BARMINA  
DESIGNER

5753 GREENRIDGE ROAD  
CASTRO VALLEY CA 94552  
T: 650.704.4501  
mbarmina@yahoo.com

## SUTKIN RESIDENCE

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REDWOOD CITY, CA, 94061  
APN#: 069-301-780

1ST FLOOR,  
2ND FLOOR,  
ADU ROOF  
PLAN,  
SKYLIGHT  
SCHEDULE, 1  
HOUR RATED  
WALL DETAIL

CLIENT NAME:

SVETLANA SUTKIN

REVISIONS:

DATE	REV #	DESCRIP.
2021/01/26	R1	PLANCHHECK

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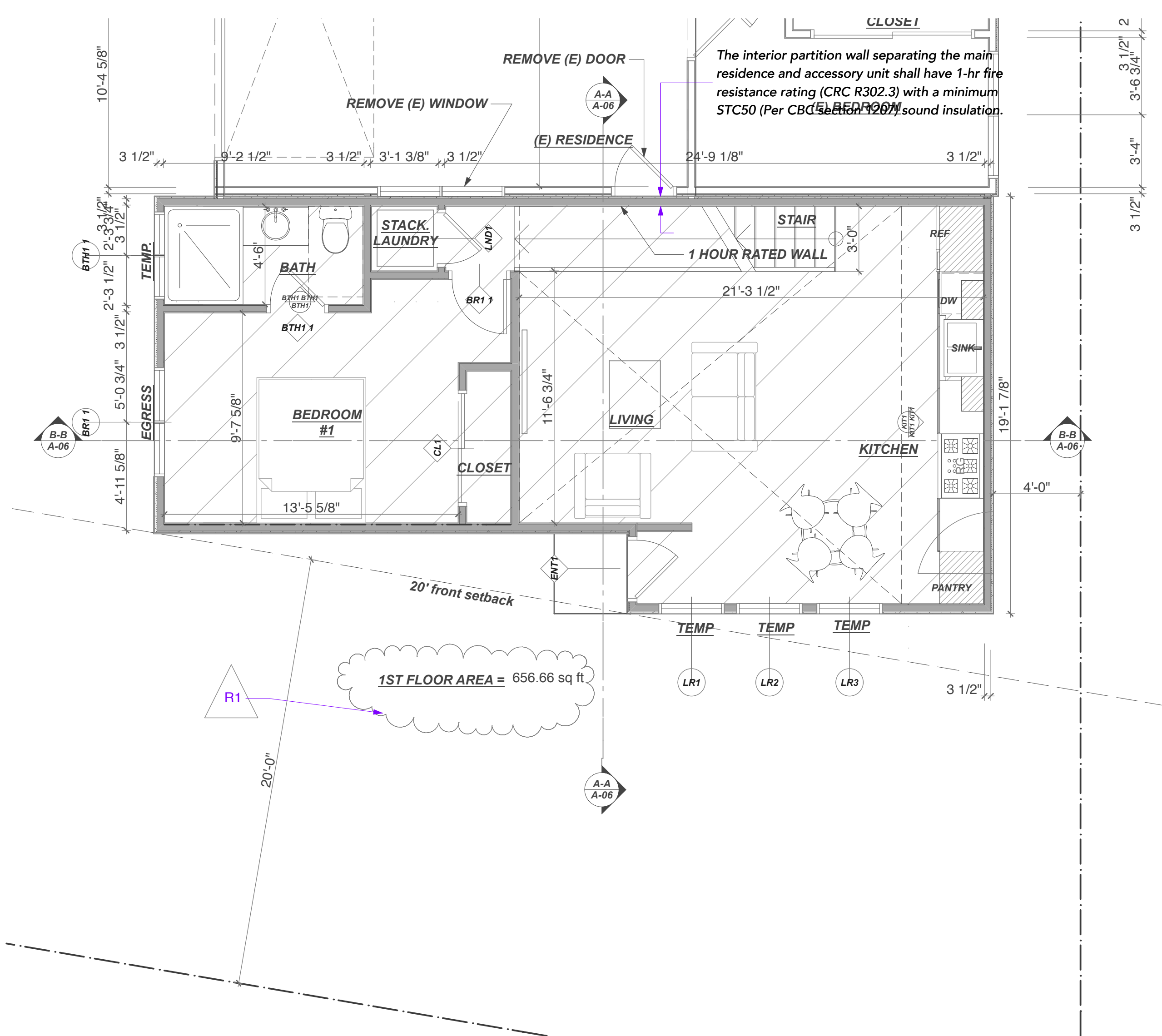
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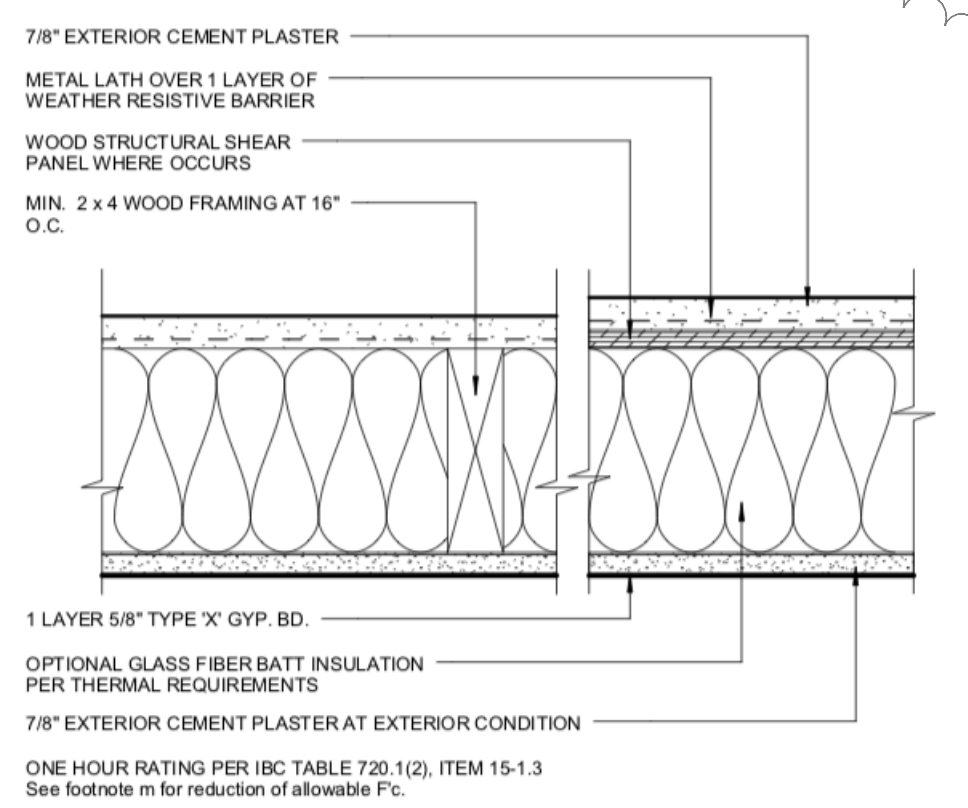
3/2/21

SHEET NUMBER:

# A-04



PROPOSED ADU 1ST FLOOR 1/4" = 1'-0"

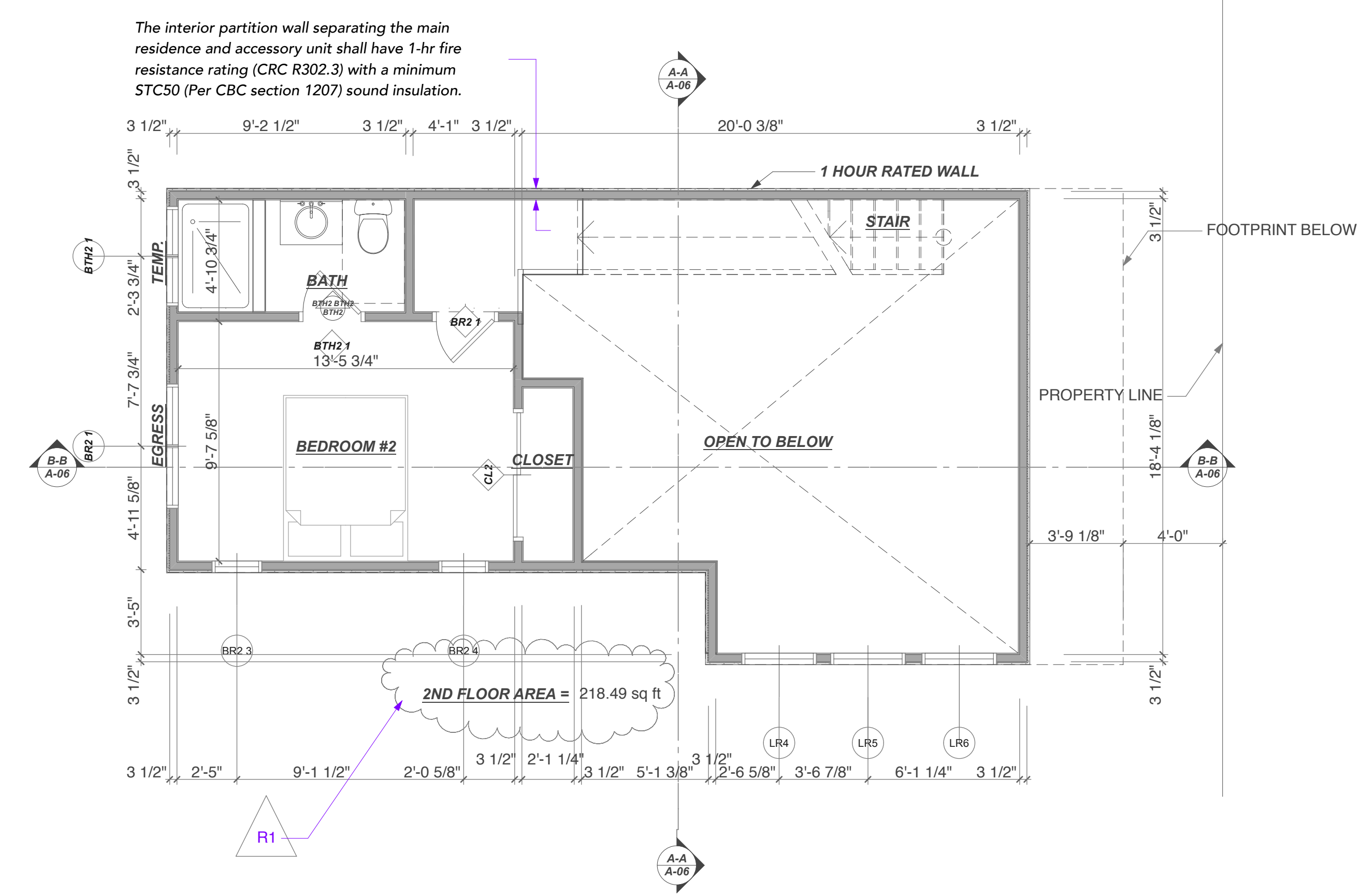


1 HOUR RATED WALL DETAIL

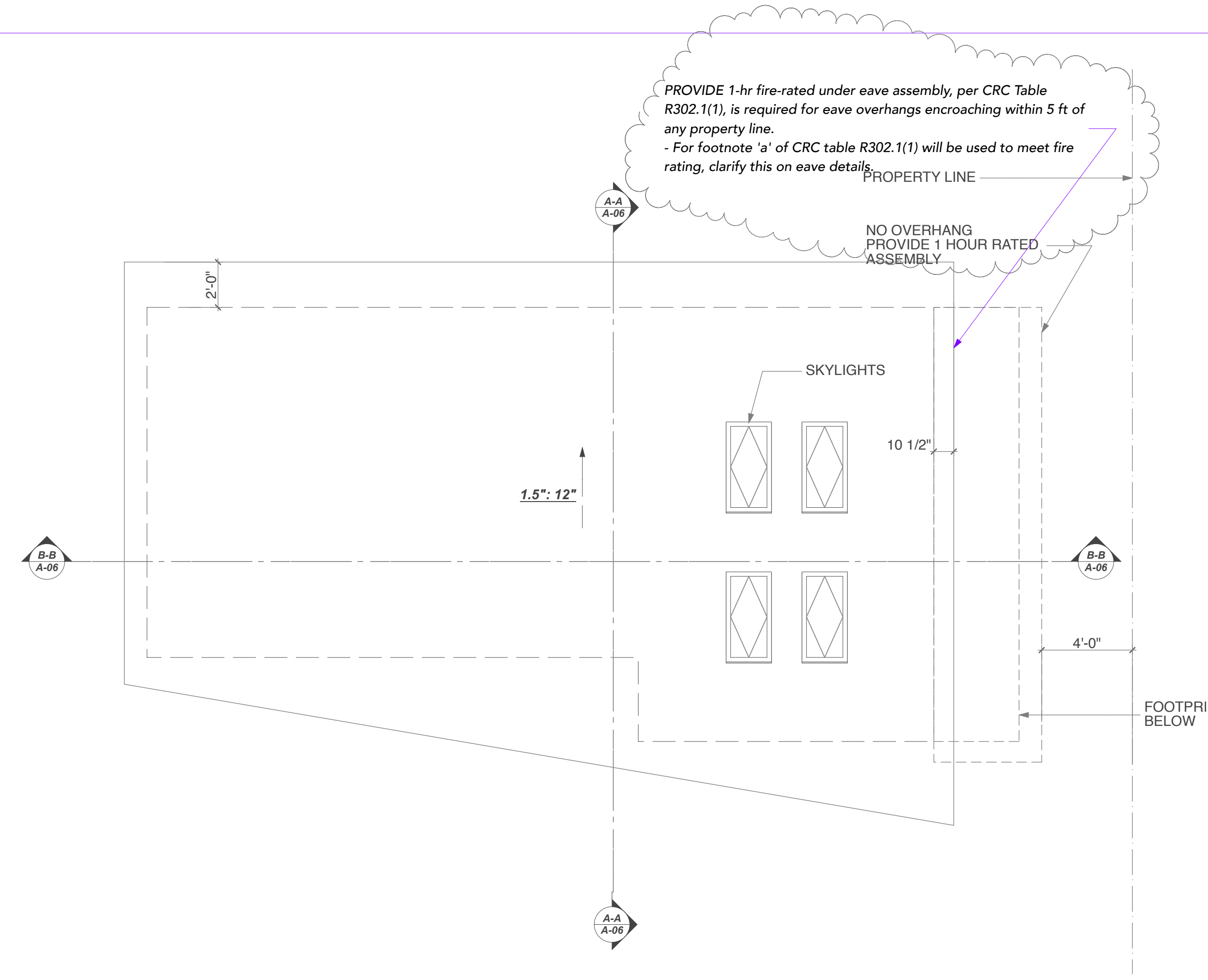
Plumbing vents shall terminate > 10' from or more than 3 ft above any operable skylight, per CPC 906.2.

SKYLIGHT SCHEDULE

ID	ROOM NAME	MANUFACTURER	2D Symbol	Length (A)	Width (B)	3D Front View	GLAZING	FRAME MATERIAL	TEMPERED GLASS	NOTES
SK1	LIVING ROOM	VELUX (FIXED)	[Symbol]	2'-0"	4'-0"	[View]				
SK2	LIVING ROOM	VELUX (FIXED)	[Symbol]	2'-0"	4'-0"	[View]				
SK3	LIVING ROOM	VELUX (FIXED)	[Symbol]	2'-0"	4'-0"	[View]				
SK4	LIVING ROOM	VELUX (FIXED)	[Symbol]	2'-0"	4'-0"	[View]				



PROPOSED ADU 2ND FLOOR 1/4" = 1'-0"



ADU ROOF PLAN 1/4" = 1'-0"



MARIA BARMINA  
DESIGNER

5753 GREENRIDGE ROAD  
CASTRO VALLEY CA 94552  
T: 650.704.4501  
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## SUTKIN RESIDENCE

2447 ALAMEDA DE LAS PULGAS  
REDWOOD CITY, CA, 94061  
APN#: 069-301-780

E ELEV S, W  
ELEV W, E ELEV  
E, SOUTH ELEV  
S HOUSE

**CLIENT NAME:**

SVETLANA SUTKIN

**REVISIONS:**

DATE	REV #	DESCRIP.

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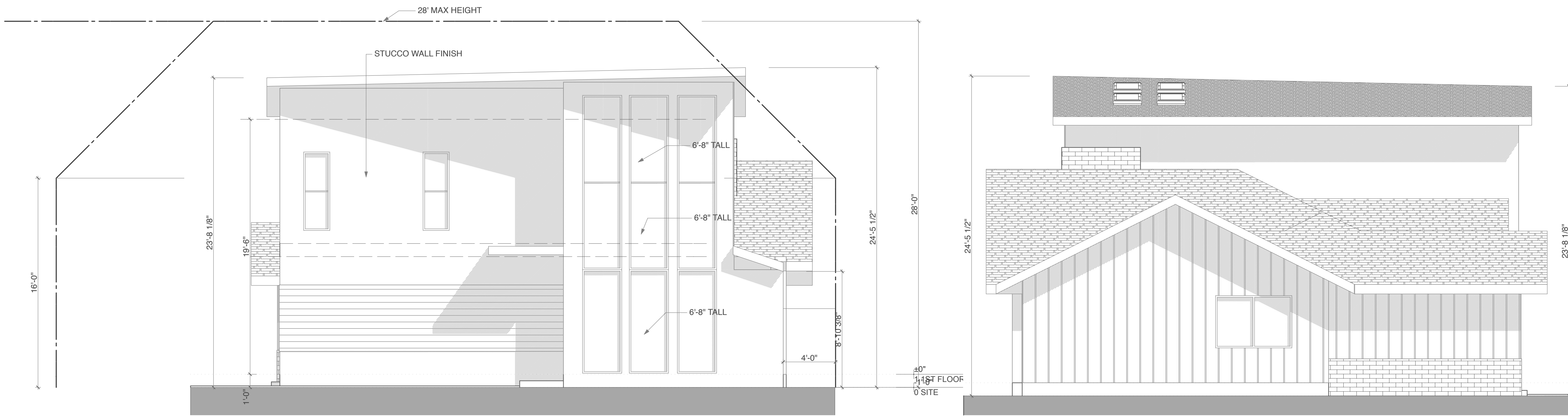
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# A-05



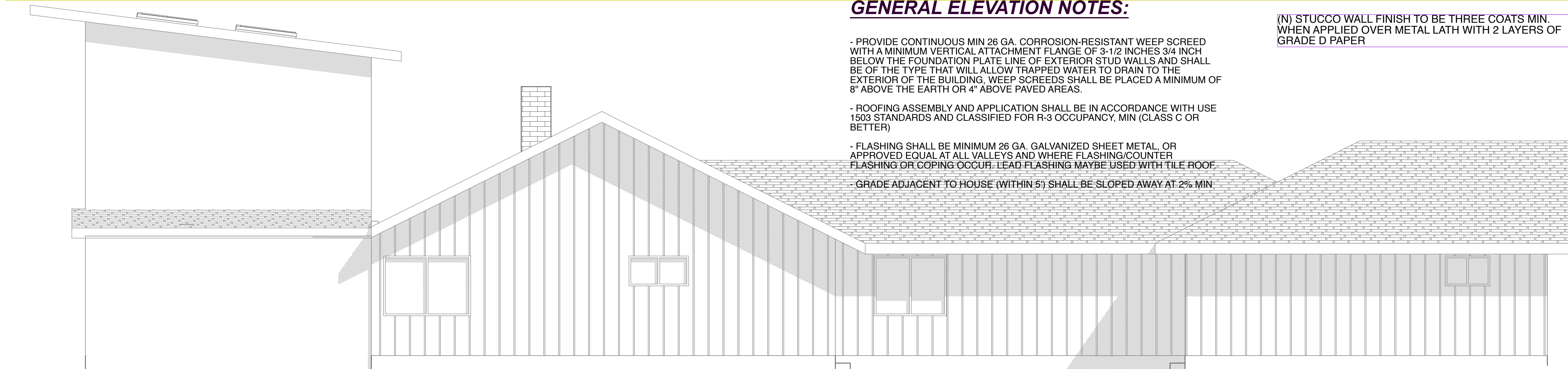
E ELEV S

SOUTH ELEV S HOUSE

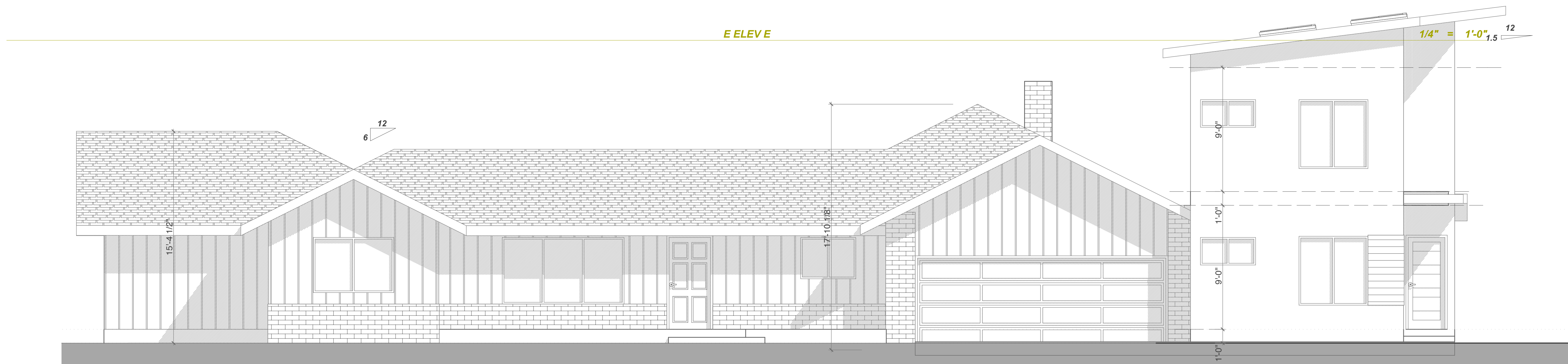
**GENERAL ELEVATION NOTES:** 1/4" = 1'-0"

- PROVIDE CONTINUOUS MIN 26 GA. CORROSION-RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES 3/4 INCH BELOW THE FOUNDATION PLATE LINE OF EXTERIOR STUD WALLS AND SHALL BE OF THE TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. WEEP SCREEDS SHALL BE PLACED A MINIMUM OF 8" ABOVE THE EARTH OR 4" ABOVE PAVED AREAS.
- ROOFING ASSEMBLY AND APPLICATION SHALL BE IN ACCORDANCE WITH USE 1503 STANDARDS AND CLASSIFIED FOR R-3 OCCUPANCY, MIN (CLASS C OR BETTER)
- FLASHING SHALL BE MINIMUM 26 GA. GALVANIZED SHEET METAL, OR APPROVED EQUAL AT ALL VALLEYS AND WHERE FLASHING/COUNTER FLASHING OR COPING OCCUR. LEAD FLASHING MAYBE USED WITH TILE ROOF.
- GRADE ADJACENT TO HOUSE (WITHIN 5') SHALL BE SLOPED AWAY AT 2% MIN

(N) STUCCO WALL FINISH TO BE THREE COATS MIN. WHEN APPLIED OVER METAL LATH WITH 2 LAYERS OF GRADE D PAPER

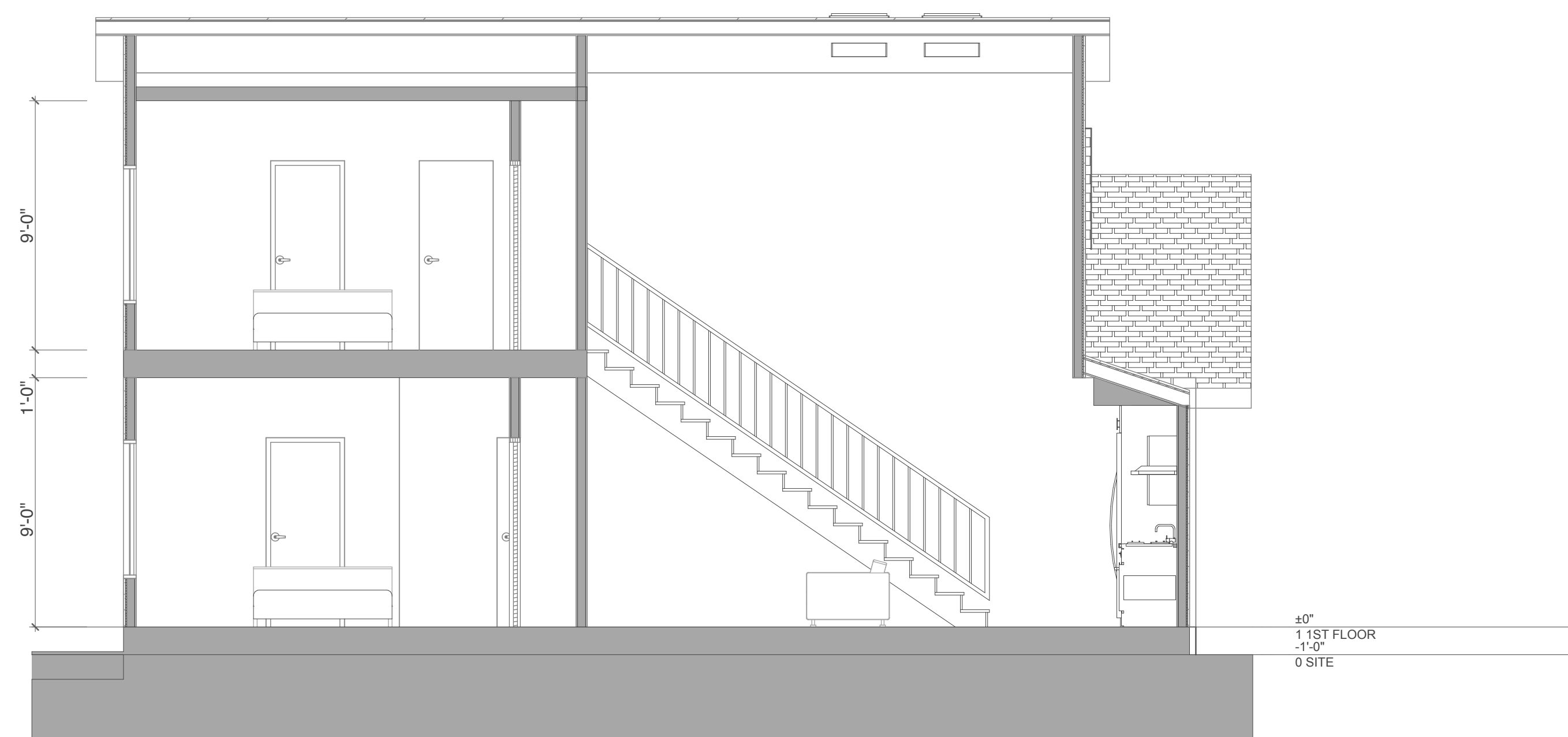


E ELEV E

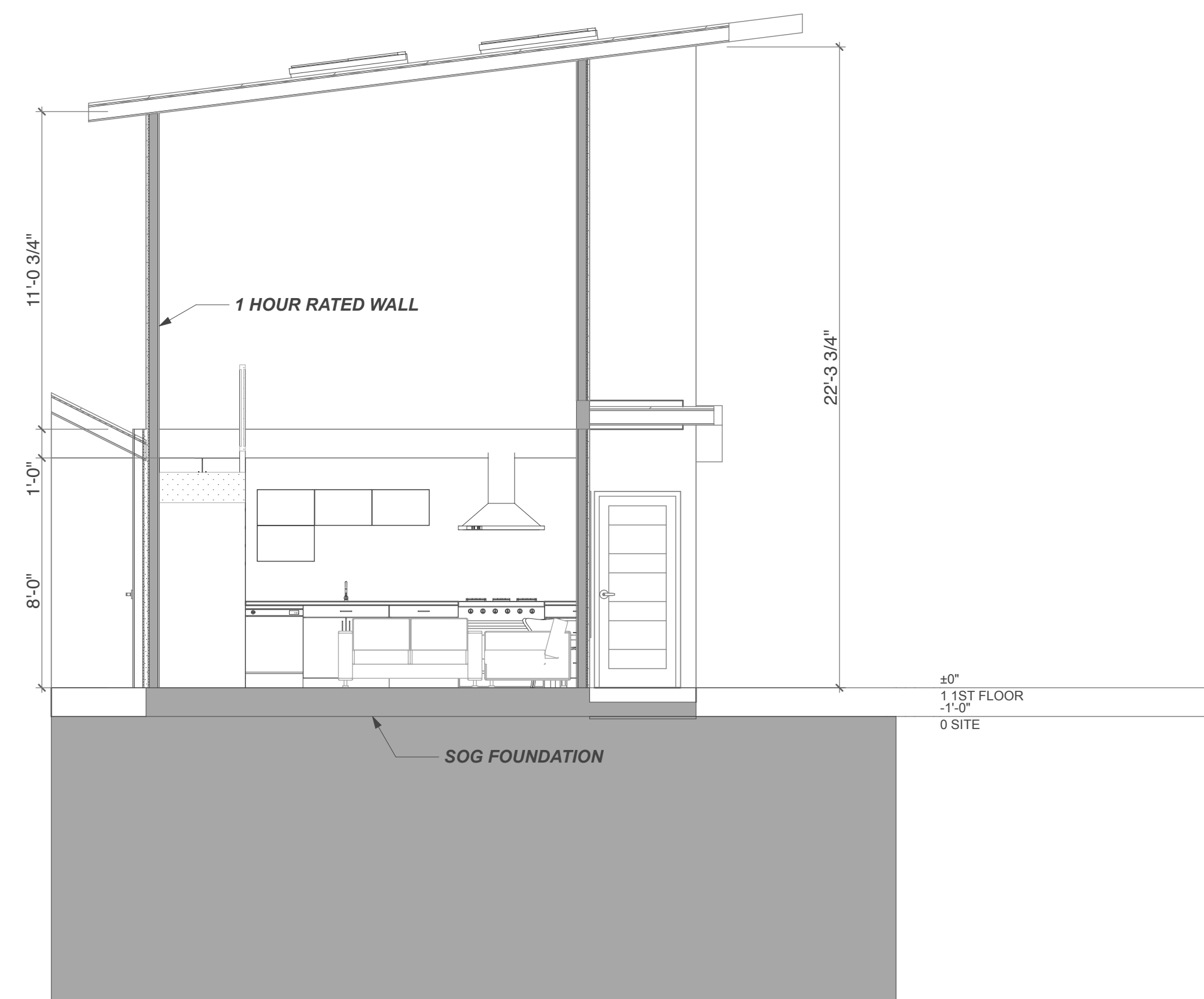


W ELEV W

1/4" = 1'-0"



PROPOSED B-B1 B-B 1/4" = 1'-0"



PROPOSED A-A A-A 1/4" = 1'-0"

**GENERAL NOTES:**

FOR ALL MEMBER SIZES, FOOTING DETAILS AND FRAMING - REFER TO STRUCTURAL DRAWINGS

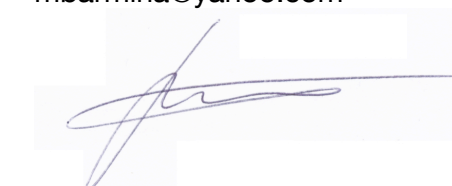
- INSULATION SHALL BE APPLIED IN ACCORDANCE WITH T-24 REPORT AND MANUFACTURER'S INSTRUCTIONS:

- FLOOR R-19
- WALL R-13
- VAULTED CEILING R-30 (USE CLOSED CELL FOAM INSULATION NO VENTING)



MARIA BARMINA  
DESIGNER

5753 GREENRIDGE ROAD  
CASTRO VALLEY CA 94552  
T: 650.704.4501  
mbarmina@yahoo.com



**SUTKIN RESIDENCE**

2447 ALAMEDA DE LAS PULGAS  
REDWOOD CITY, CA, 94061  
APN#: 069-301-780

A-A A-A, B-B1  
B-B

**CLIENT NAME:**

SVETLANA SUTKIN

**REVISIONS:**

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3/2/21

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**A-06**