

# NEW ADDITION & REMODELING

## 504 LAKEMEAD WAY EMERALD HILLS, CA 94062

### DESIGN DATA

- 2019 CALIFORNIA ADMINISTRATIVE CODE
- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA EXISTING BUILDING STANDARDS CODE
- 2019 CALIFORNIA REFERENCED STANDARDS CODE
- 2019 CALIFORNIA HEALTH AND SAFETY CODE
- ADOPTION OF THE 2019 EDITION OF THE CALIFORNIA STATE BUILDING CODES, TITLE 24, CALIFORNIA CODE OF REGULATIONS IS MANDATED BY PART 25 OF DIVISION 13 OF THE CALIFORNIA HEALTH & SAFETY CODE (SECTION 19901 ET SEQ.) THE FOLLOWING LOCAL AMENDMENTS TO THE CALIFORNIA STATE BUILDING CODES WERE FILED WITH THE BUILDING STANDARDS COMMISSION.

### GENERAL NOTES:

1. ALL DETAILS, MATERIALS, FINISHES AND ASSEMBLIES ARE NOT NECESSARILY SHOWN. THESE FINAL FINISH DETAILS INCLUDING CASEWORK AND MATERIAL SELECTIONS WILL BE COORDINATED BY THE OWNER.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE, APPLICABLE EDITION, AND ALL OTHER PERTINENT CODES, LAWS AND REQUIREMENTS OF THE LOCAL BUILDING OFFICIALS, WHETHER OR NOT SPECIFICALLY SHOWN ON THESE DOCUMENTS. THESE DOCUMENTS ARE NOT INTENDED TO SHOW EVERY DETAIL OR CONDITION. MANY DETAILS IN RESIDENTIAL CONSTRUCTION ARE BUILT ACCORDING TO PROFESSIONAL CONTRACTOR PRACTICES AND ARE THEREFORE NOT DETAILED IN THESE DOCUMENTS. CONTACT J/C DESIGN IF CONDITIONS OR OTHER CIRCUMSTANCES REQUIRE CHANGES IN THE WORK SHOWN, OR REQUIRE CLARIFICATION. ALL WORK SHALL BE DONE IN A HIGH QUALITY MANNER ACCORDING TO THE PREVAILING STANDARDS OF THE INDUSTRY FOR EACH TRADE.
3. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION AND CLEAN-UP TO ACCOMPLISH ALL OF THE WORK SHOWN INCLUDING ALL WARRANTIES AND INSTRUCTIONS, TO PROVIDE A COMPLETE WORKING INSTALLATION, AND TO LEAVE THE OWNER WITH AN APPROVED PROJECT.
4. CONTRACTOR SHALL ASSUME COMPLETE AND SOLE RESPONSIBILITY FOR YEARS AND METHODS OF CONSTRUCTION, AND FOR ALL SAFETY MEASURES TO PROTECT ALL PROPERTY, PERSONNEL, AND THIRD PARTIES FROM DAMAGE OR INJURY. THIS RESPONSIBILITY SHALL BE CONTINUOUS AND NOT SOLELY DURING WORKING HOURS. CONTRACTOR SHALL DEMONSTRATE AND HOLD HAZARDOUS J/C DESIGN AND RELATED ENGINEERS FROM ANY CLAIM OF LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF HIS WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF J/C DESIGN AND RELATED ENGINEERS.
5. THESE DOCUMENTS DO NOT CONTAIN PROVISIONS FOR THE HANDLING OR REMOVAL OF ANY HAZARDOUS MATERIALS. SHOULD ANY SUCH MATERIALS BE SUSPECTED OR ENCOUNTERED, SPECIALISTS SHALL BE CALLED IN TO MAKE RECOMMENDATIONS.
6. PROVIDE ALL MANDATORY FEATURES REQUIRED BY THE T-24 ENERGY CODE INCLUDING WEATHER-STRIPPING BUILDING INSTALLATION, FIRE INSULATION, LIGHTING AND APPLIANCE FEATURES, AND OTHER FEATURES REQUIRED BY TITLE 24 OR OTHER STATE, FEDERAL, OR LOCAL CODES.
7. NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE HOURS PERMITTED BY THE LOCAL JURISDICTION.

### PROJECT DATA

- 1. LOT LOCATION: 504 LAKEMEAD WAY EMERALD HILLS, CA 94062
- 2. APN: 091-1461-1000
- 3. OCCUPANCY GROUP: R-3 DWELLING / U GARAGE
- 4. CONSTRUCTION TYPE: TYPE V-B
- 5. ZONING DISTRICT: R-H/D-R
- 6. LOT SIZE: IRRREGULAR LOT
- 7. SITE AREA (BASED ON THE COUNTY RECORDED): 919.0 SQ. FT.
- 8. MAXIMUM ALLOWABLE LOT COVERAGE RATIO: 35 %
- 9. MAXIMUM FLOOR AREA COVERAGE RATIO = 30 %
- 10. BUILDING DATA: 219130 SQ. FT.

- EXISTING GARAGE AREA: 42634 SF.
- EXISTING MAIN FLOOR: 93329 SF.
- EXISTING LOWER FLOOR AREA: 11810 SF.
- TOTAL EXISTING FLOOR AREA: 213173 SF.
- TOTAL LOT COVERED AREA / RATIO: 139663 SF/ 14.76 %
- PROPOSED LOWER FLOOR ADDITION AREA: 19171 SF.
- PROPOSED UPPER FLOOR ADDITION AREA: 99341 SF.
- TOTAL NEW FLOOR ADDITION AREA: 118512 SF.
- EXISTING CONDITIONED FLOOR AREA: 11193 SF.
- EXISTING + NEW CONDITIONED FLOOR AREA: 210426 SF.
- TOTAL FLOOR AREA / RATIO (FAR): 313120 SF/ 34.0 %
- EXISTING + NEW FLOOR AREA / RATIO (FAR): 313120 SF/ 34.0 %
- TOTAL LOT COVERED AREA / RATIO (LAR): 229108 SF/ 24.93 %

- STRUCTURAL OBSERVATION SPECIAL INSPECTION IS REQUIRED FOR
- 1. SHEAR WALLS WITH DESIGN LOAD OF 300 PLF OR GREATER
- 2. INSTALLATION OF EPOXY INSTALLED ANCHOR BOLTS.
- 3. ALL UTILITY TRENCHES, BUILDING PAD SHALL BE PROPERLY BACK-FILLED AND COMPACTED.
- 4. THE FOUNDATION OF EXCAVATION HOLDDOWN.
- 5. INSTALLATION OF SIMPSON STRONG WALL

- LUMINATED STREET ADDRESS
- ADDRESS NUMBERS ASSIGNED BY THE PLANNING AND BUILDING DIVISION SHALL BE POSTED ON ALL DWELLING UNITS.
- Provide an illuminated street address at the entry door per City ordinance. Approved numbers or addresses shall be placed in such a position as to be plainly visible and legible from the street, or road fronting the property. Said numbers shall contrast with their background and shall be a minimum of 1/2 inch stroke by 4 inches high, shall be either internally or externally illuminated. The power of such illumination shall not be normally suitable.
- ADDRESS NUMBER AND DIRECTIONAL SIGNS MAY BE REQUIRED AT THE ENTRANCE TO THE DRIVEWAY/ ACCESS ROAD, ROAD FORKS AND INTERSECTIONS WHEN LOCATED ON THE STREET. THE NUMBERS SHALL BE VISIBLE FROM EACH DIRECTION OF TRAVEL.
- NOTE:
  1. FIRE AUTOMATIC SPRINKLER SYSTEM (3SD) IS REQUIRED THROUGHOUT THE ENTIRE STRUCTURE UNDER A SEPARATE PERMIT.
  2. THE SEPARATE SPRINKLER SYSTEM SHALL BE A DEEREED SUBMITTAL FOR APPROVAL FROM THE FIRE MARSHALL OF THE CITY OF PALO ALTO PRIOR TO INSTALLATION.
- FIRE SPRINKLER NOTE:
  - 1. FIRE SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE ENTIRE STRUCTURE UNDER A SEPARATE PERMIT.

- 2. CONTRACTOR SHALL FINISH THE DESIGN AND CONSTRUCTION AND INSTALLATION OF AN APPROVED FIRE SPRINKLER SYSTEM. THE DESIGN SHALL BE PROVIDED BY AN APPROVED FIRE SPRINKLER CONTRACTOR THAT IS LICENSED TO WORK IN THE STATE. ALL LABOR MATERIALS, VALVES, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE THE PROJECT SHALL BE INCLUDED. LAYOUT DRAWINGS, DESIGN AND EQUIPMENT LISTS MUST BE REVIEWED AND APPROVED BY THE FIRE MARSHALL, AND THE BUILDING DEPARTMENT PRIOR TO INSTALLATION. DRAWINGS SHALL SHOW THE BUILDING TO BE COMPLETELY SPRINKLERED THROUGHOUT. ALL CONCEALED AREAS INCLUDING ATTIC AND GARAGES, A FOUR HEAD CALCULATION WILL ALSO BE REQUIRED TO ENGINEER THE SYSTEM.

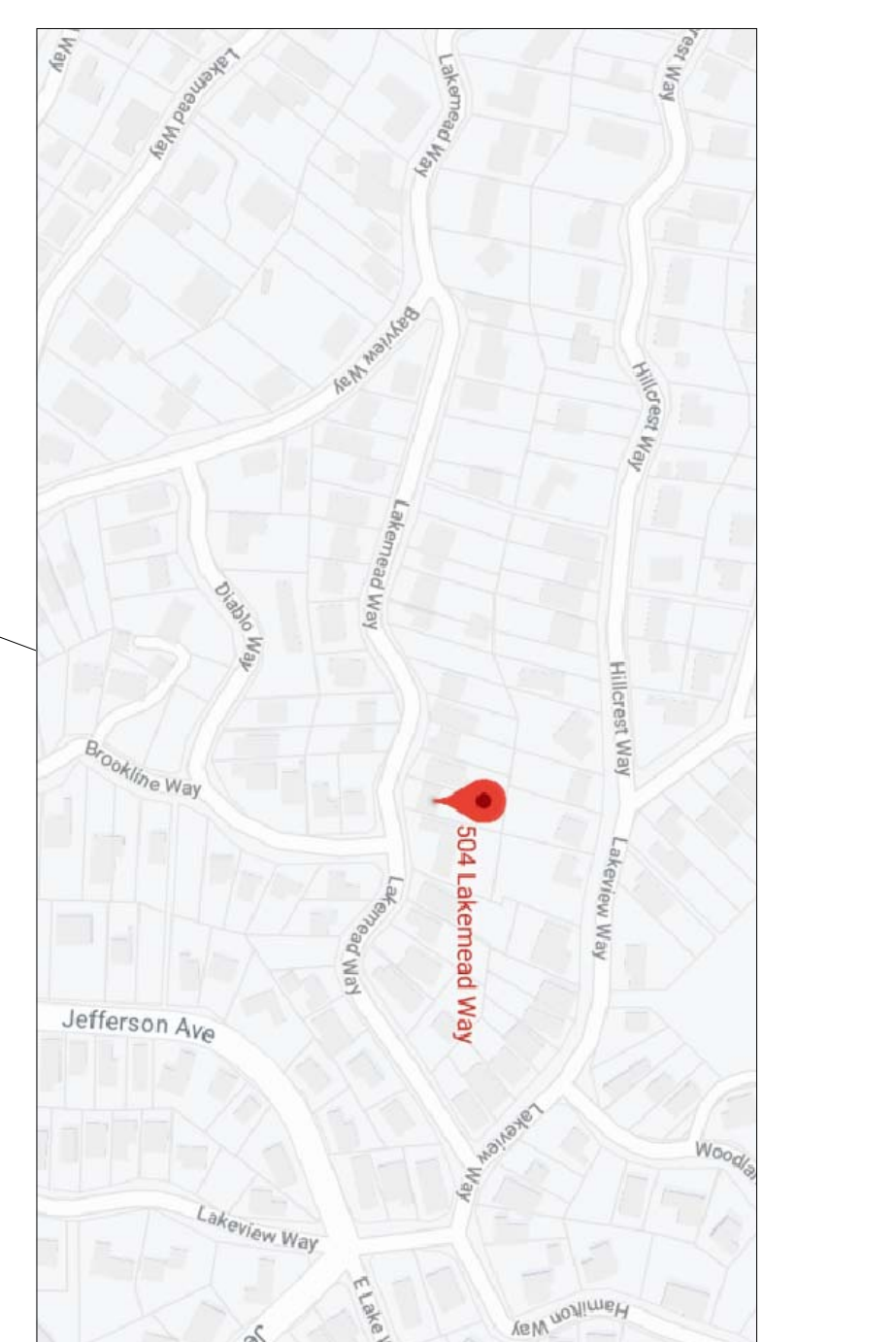
### SHEET INDEX

- ARCHITECTURAL
- A.0 COVER SHEET
- A.1 PROPOSED SITE/ ROOF PLAN
- A.2 EXISTING MAIN/ LOWER & UPPER FLOOR PLAN
- A.3 LOWER & MAIN & UPPER FLOOR DEMOLITION PLAN
- A.4 LOWER & MAIN FLOOR UPPER FLOOR UN-PERMITTED PLAN
- A.5 PROPOSED MAIN/ LOWER AND UPPER FLOOR PLAN
- A.6 EXISTING & PROPOSED FRONT & REAR ELEVATION
- A.7 EXISTING & PROPOSED RIGHT SIDE ELEVATION
- A.8 EXISTING & PROPOSED LEFT SIDE ELEVATION
- A.9 BUILDING CROSS SECTION
- B.M.P. CONSTRUCTION BEST MANAGEMENT PRACTICE
- CIVIL
- C.0 BOUNDARY SURVEY
- C.1 GRADING & DRAINAGE PLAN
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- LANDSCAPE
- L.11 LANDSCAPE PLAN & NOTES
- L.21 IRRIGATION PLAN & NOTES
- L.31 HYDROZONE PLAN

### PROJECT DIRECTORY

- PROPERTY OWNER: MR. CASEY KORSAK  
504 LAKEMEAD WAY EMERALD HILLS, CA 94062  
TEL.: 650-393-3433
- BOUNDARY SURVEY: SAAVOR P. MICHAEL  
471 WILLWOOD DRIVE SOUTH SAN FRANCISCO, CA 94060  
TEL.: 805-193-2433
- BUILDING DESIGN: JACK CHU DESIGN GROUP  
504 LAKEMEAD WAY EMERALD HILLS, CA 94062  
CELL: (650) 120-8898  
E-MAIL: jchudesign@gmail.com
- STRUCTURAL DESIGN: PHD Engineering, Inc.  
Mr. Francisco Duarte  
31025 ALVARADO BLVD., #340 UNION CITY, CA 94581  
TEL.: (510) 471-8741  
E-MAIL: fduarte@phdeng.com
- TITLE 24: NEG Compliance, LLC  
Mr. Rick Rockswiltz  
P.O. BOX 97111  
SANTA ROSA, CA 95402  
TEL.: (707) 231-6951

### LOCATION MAP



### SCOPE OF WORK :

- 1. DEMOLISH PARTIAL ROOF FOR THE COFFER CEILING (36071 SF. OR 111 % OF ROOF)
- 2. CONVERT EXISTING BATHROOM IN BETWEEN BEDROOM #2 AND #3 INTO TWO BATHS.
- 3. DEMOLISH INTERIOR NON-BEARING WALL AT DINING ROOM.
- 4. REVERSE THE RUN OF THE STAIR FROM LOWER GARAGE TO MAIN FLOOR.
- 5. DEMOLISH EXISTING OUT-DATED CABINETS AND COUNTER-TOP. REPLACE WITH NEW LOWER AND UPPER CABINETS WITH GRANITE COUNTER-TOP.
- 6. ADD NEW POWDER ROOM AND NEW PANTRY NEXT TO THE STAIRS.
- 7. ADD NEW LAUNDRY ROOM AND NEW BATH # NEXT TO EXISTING BEDROOM.
- 8. ADD NEW MASTER SUITE WITH NEW MASTER BATH AND WALK-IN-CLOSET.
- 9. NEW ADDITION WILL BE ON THE PIER AND GRADE BEAT PER SOLI ENGINEER REPORT.
- 10. NEW DOBLEG STAIR/ REPLACE EXISTING WITH 1 HOUR ENCLOSURE AT GARAGE LEVEL. NO OTHER WORK PROPOSED AT GARAGE LEVEL.

HERE'S FEATURE SUMMARY :

THE FOLLOWING IS A SUMMARY OF THE FEATURES THAT MUST BE FIELD-VERIFIED BY A CERTIFIED HERS RATER AS A CONDITION FOR MEETING IN MODELED ENERGY PERFORMANCE FOR THIS COMPUTER ANALYSIS. ADDITIONAL DETAIL IS PROVIDED IN THE BUILDING COMPONENTS TABLE BELOW.

1. BUILDING -LEVEL VERIFICATIONS : NONE

2. COOLING SYSTEM VERIFICATION : MINIMUM AIRFLOW AND FAN EFFICACY (WATT)/ CPM.

3. HVAC DISTRIBUTION SYSTEM VERIFICATIONS : DUCT SEALING.

4. DOMESTIC HOT WATER SYSTEM VERIFICATION : NONE.

## Jack Chu DESIGN

PLANNING CONSULTING CUSTOM HOMES REMODELING ADDITION

210 Industrial Rd #209  
San Carlos, CA 94070  
C 650-486-0550  
C 650-208-8898  
jackchu21@yahoo.com

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## ADDITION & REMODELING

Owner : Mr. Casey Korsak  
504 Lakemead Way Emerald Hills, CA 94062  
Tel. : 650-393-3433  
Email : casey.korsak@wellsfargoadvisors.com

DATE: JAN. 12, 2021

SCALE: AS NOTED

DRAWN: Jack Chu

CHECK: Konak

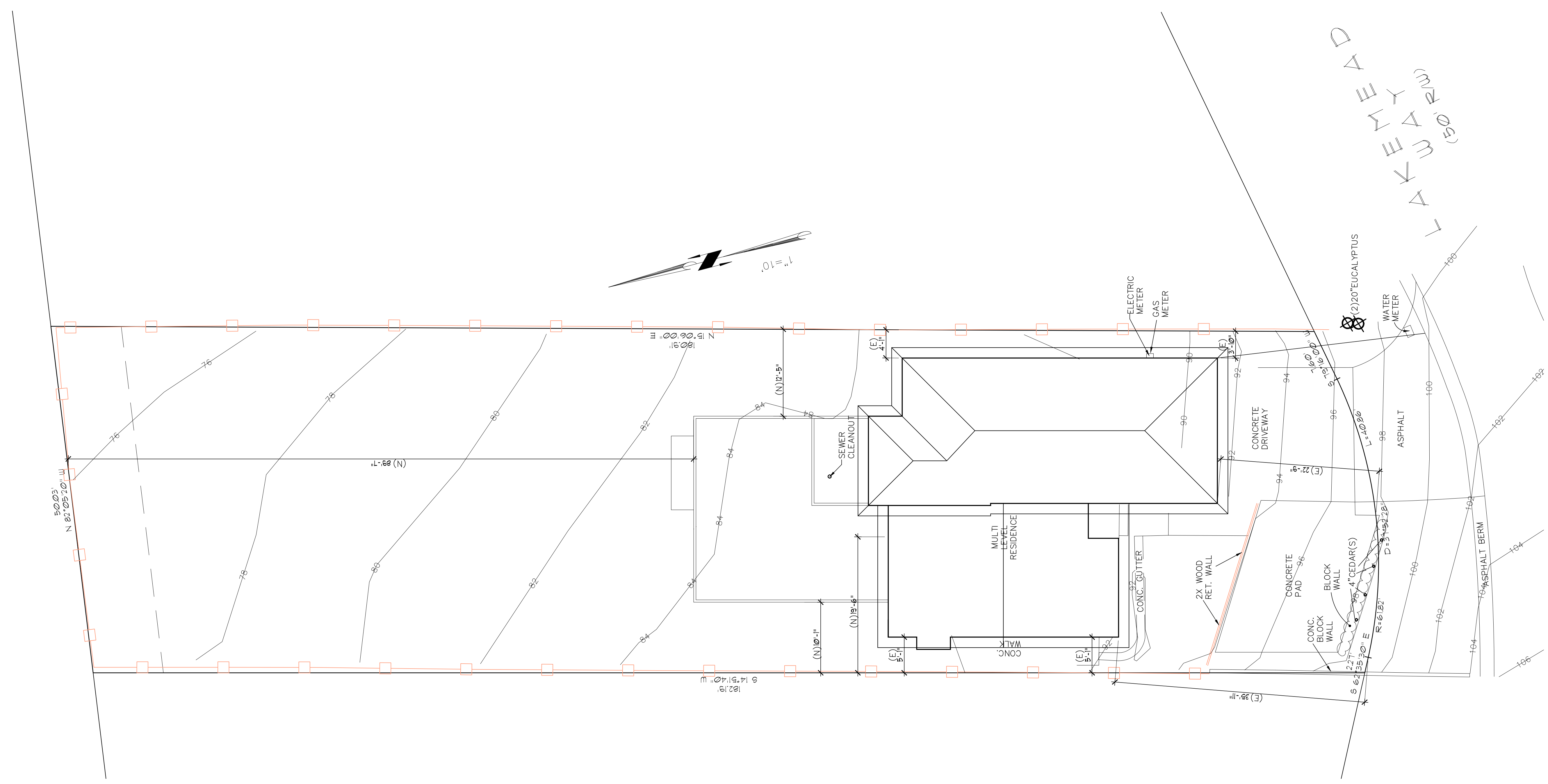
SHEET NO:

# A.0

# Jack Chu DESIGN

PLANNING  
CONSULTING CUSTOM HOMES  
REMODELING ADDITION  
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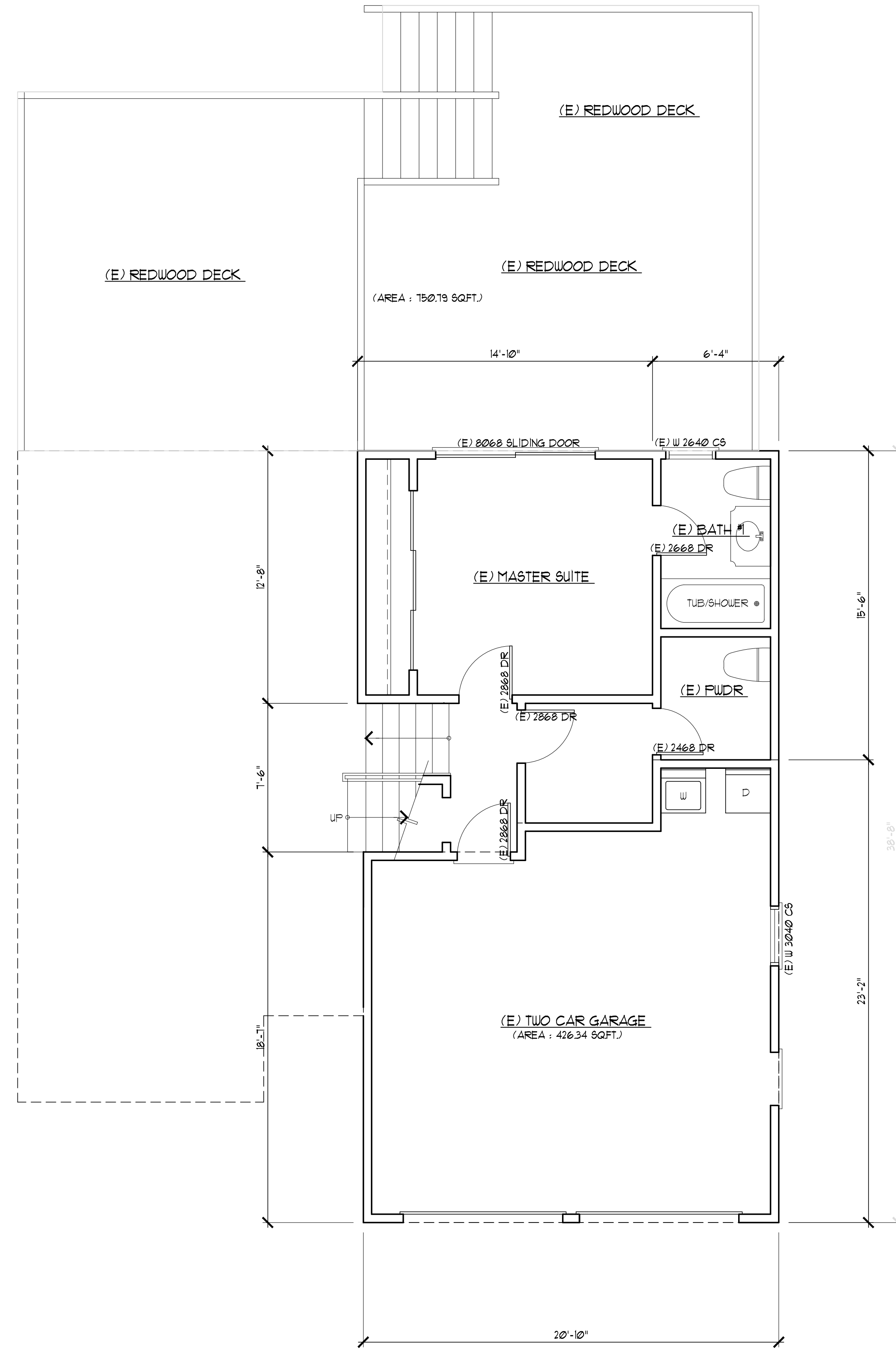


**SITE PLAN**  
SCALE: 1/8" = 1'-0"

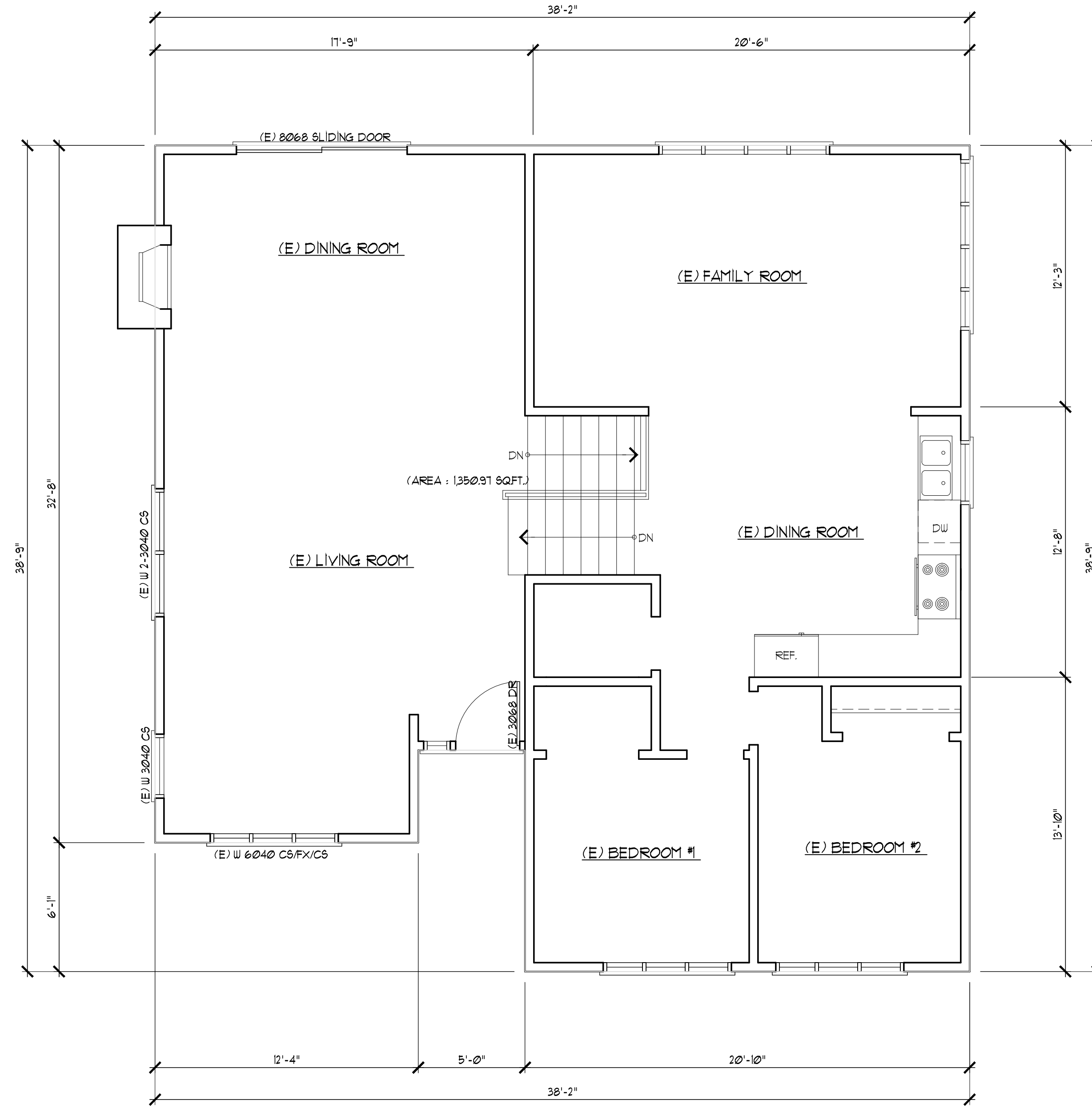
**ADDITION & REMODELING**  
Owner : Mr. Casey Korsak  
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Tel. : 650-393-3433  
Email : casey.korsak@wellsfargoadvisors.com

COMMENTS	BY

DATE: JAN. 12, 2021  
SCALE: AS NOTED  
DRAWN: Jack Chu  
FOR: Korsak  
SHEET NO.



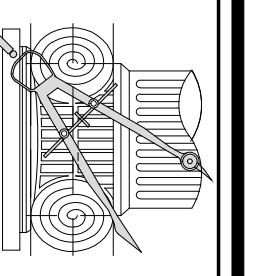
EXISTING LOWER FLOOR PLAN  
SCALE: 1/4" = 1'-0"



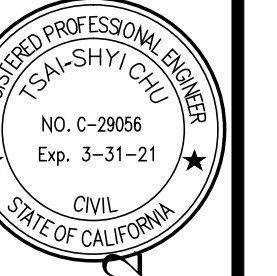
EXISTING MAIN & UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0"

REVISIONS	BY

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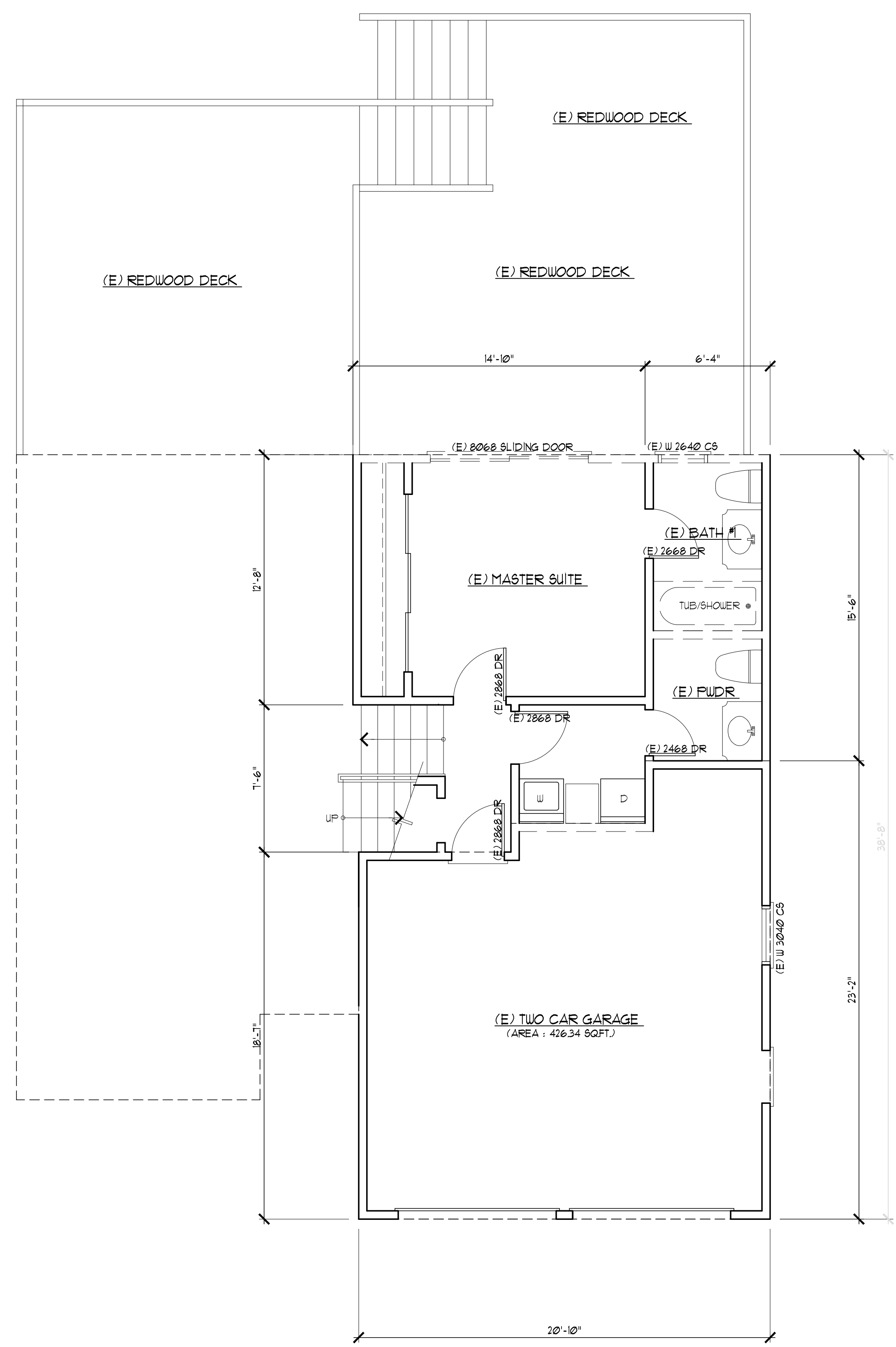


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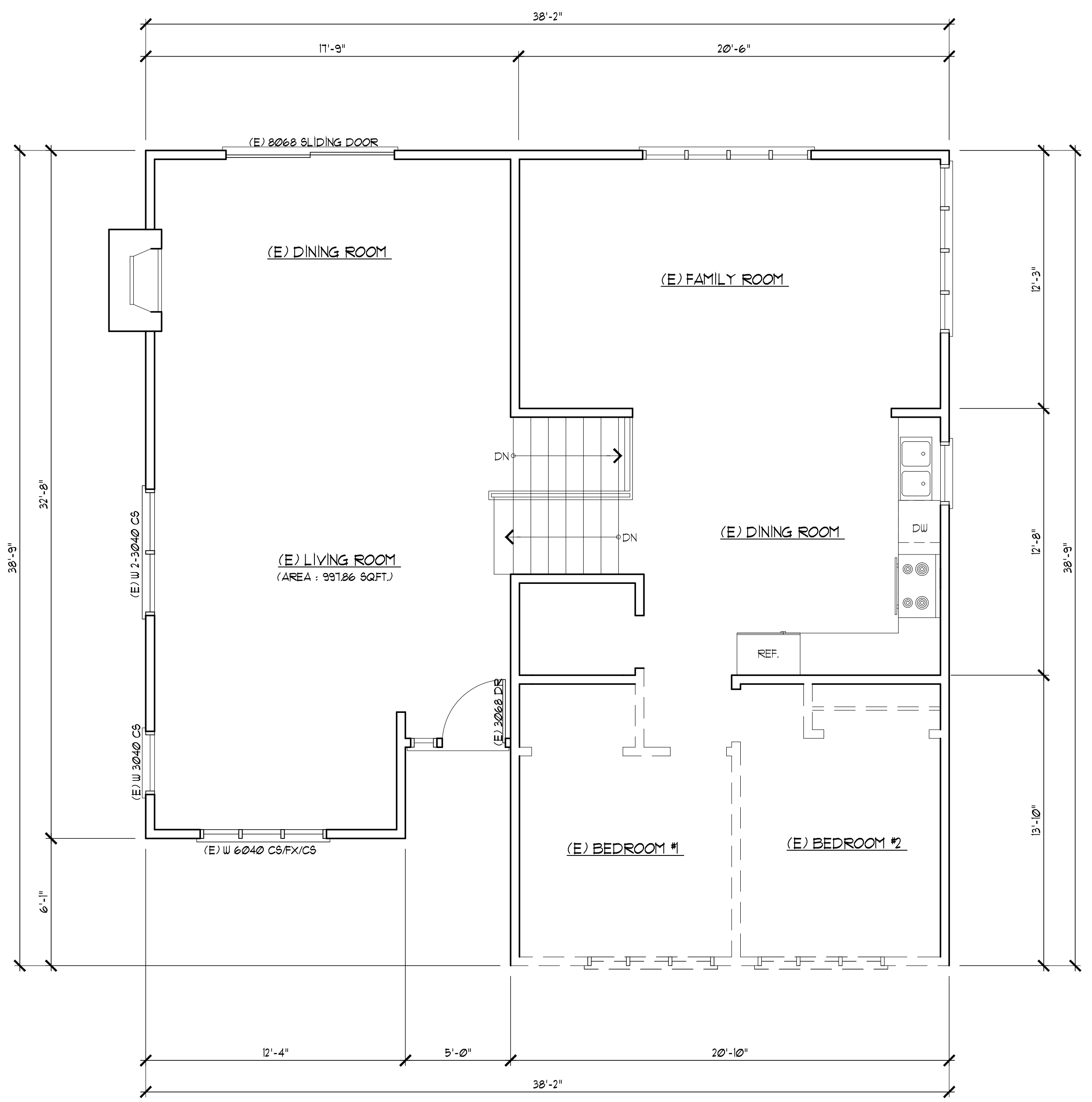


**ADDITION & REMODELING**  
 Owner : Mr. Casey Korsak  
 504 Lakemead Way Emerald Hills, CA 94063  
 Tel. : 650-393-3433

DATE: Oct. 30, 2020  
 SCALE: AS NOTED  
 DRAWN: JC  
 FOR: Korsak  
 SHEET NO:



**LOWER FLOOR DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"



**MAIN & UPPER FLOOR DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"

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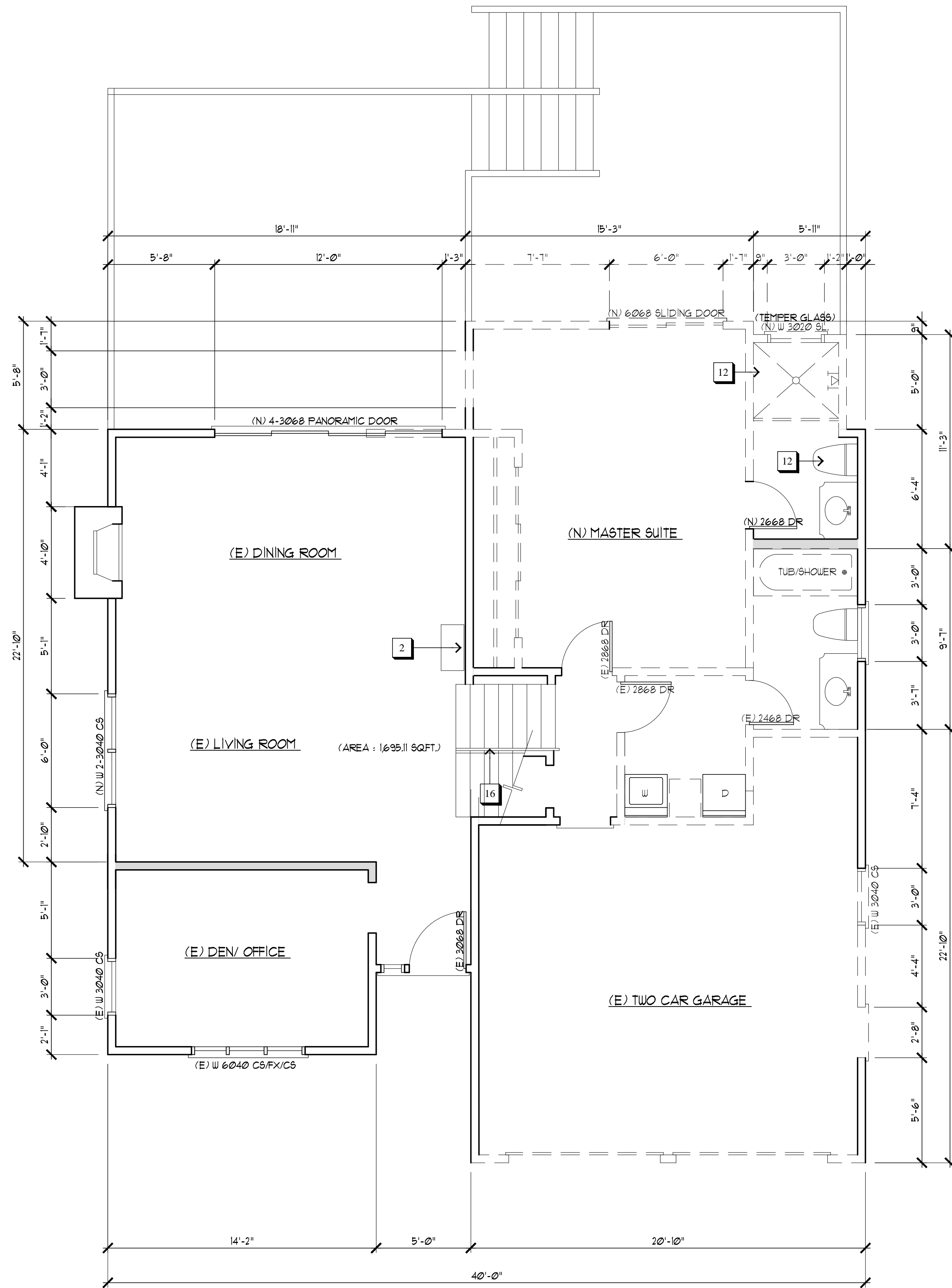
**CHU DESIGN ASSOCIATES INC.**  
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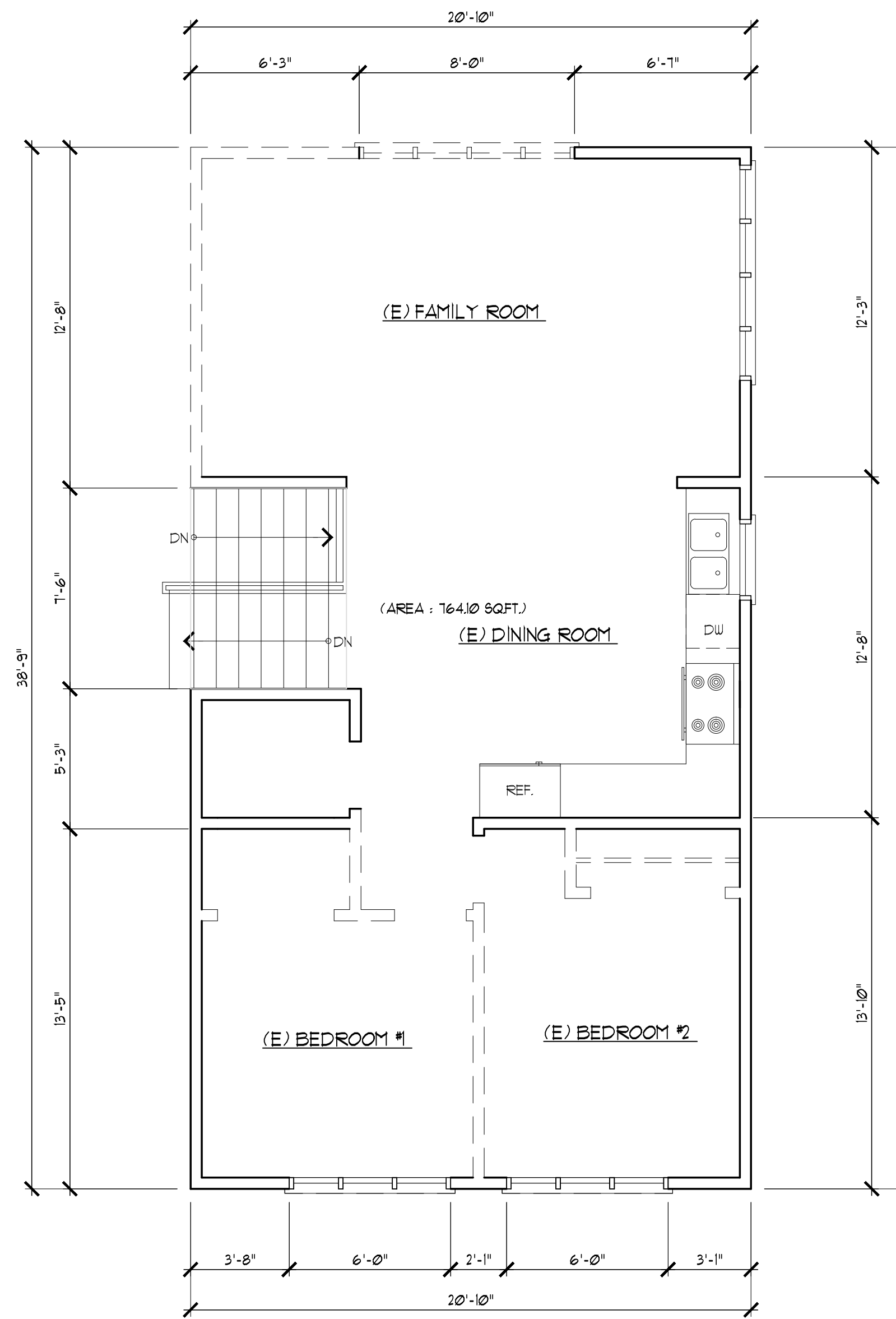


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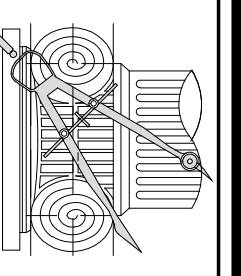
**LOWER & MAIN FLOOR UN-PERMITTED PLAN**  
SCALE: 1/4" = 1'-0"



**UPPER FLOOR UN-PERMITTED PLAN**  
SCALE: 1/4" = 1'-0"

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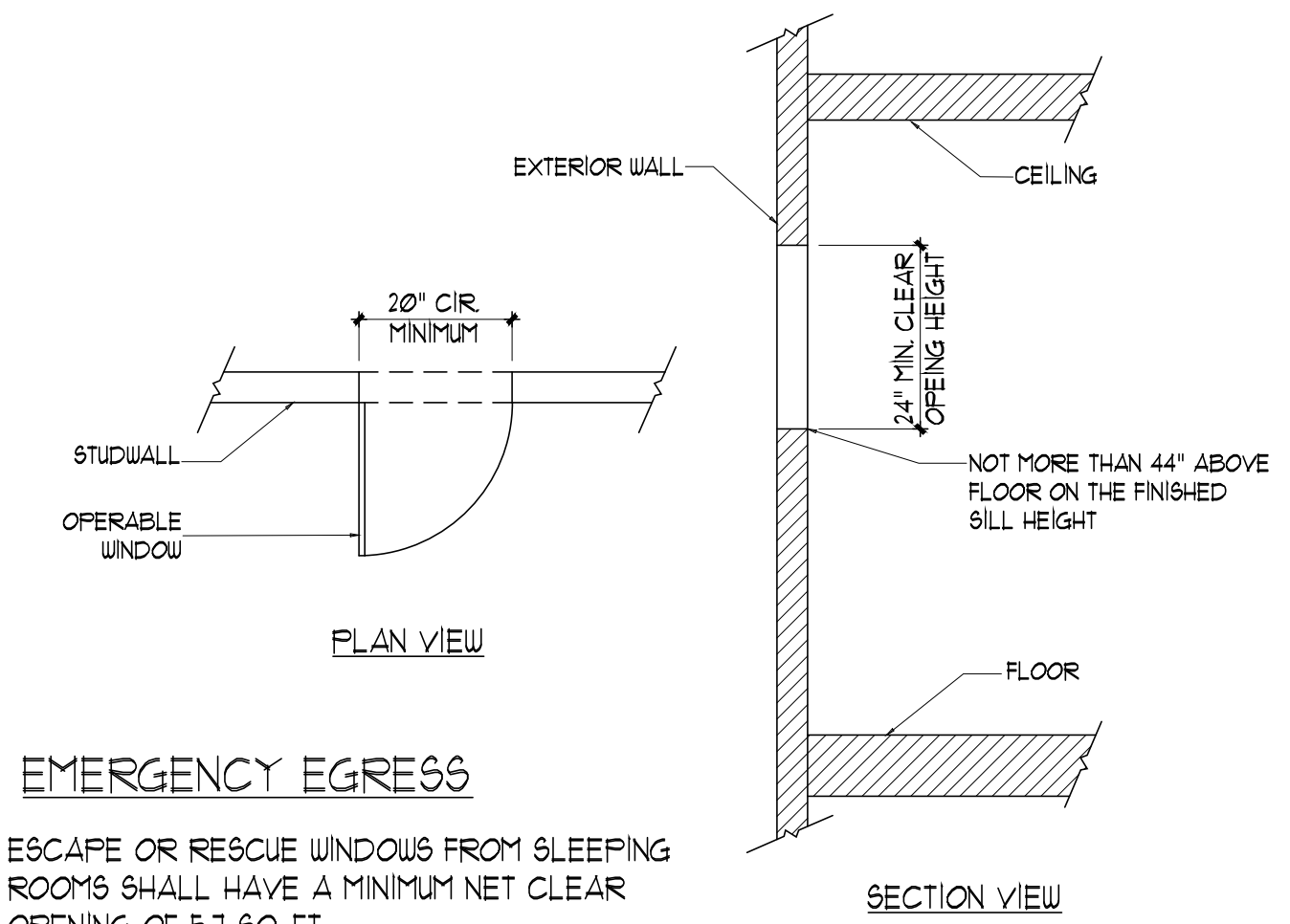
**ADDITION & REMODELING**  
Owner: Mr. Casey Korsak  
504 Lakemead Way Emerald Hills, CA 94061  
Tel.: 650-393-3433

DATE:	Oct. 30, 2020
SCALE:	AS NOTED
DRAWN:	JC
FOR:	Korsak
SHEET NO.	

**A.4**

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Email: casey.korsak@wellsfargoadvisors.com



### EMERGENCY EGRESS

ESCAPE OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. EVERY SLEEPING ROOM BELOW THE FOURTH STORY SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE. THE UNITS SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS.

### LOCAL VENTILATION RATE SUMMARY

ENTER THE REQUIRED FAN FLOW RATE (CFM)  
BATHROOM FAN FLOW (CFM) = 100 \* OF BATHROOM = 3  
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR SELECTION OF THE WHOLE-BUILDING VENTILATION FAN AND FOR THE DUCT DESIGN FOR THE WHOLE-BUILDING VENTILATION SYSTEM FROM TABLE T1  
DUCT SIZE (INCHES) = 6"  
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 125

### WATER USE WORKSHEET

EXIST + ADDED = SUM	TYPE OF FIXTURE	FIXTURE MULTIPLIER	UNITS
1 + 1 = 2	BATH TUB (WITH OR WITHOUT SHOWER)	x 4	8
+ = 1	CLOTHES WASHER	x 4	4
+ = 1	DISH WASHER	x 15	15
2 + 5 = 7	LAVATORY (BATHROOM SINK)	x 1	7
1 + 1 = 2	STALL SHOWER (COUNT EACH HEAD)	x 2	2
1 + 1 = 2	SINK (KITCHEN SINK OR OTHER SINK)	x 15	30
2 + 2 = 4	TOILET (WATER CLOSET)	x 25	100
FIXTURE UNIT TOTAL:			355.0

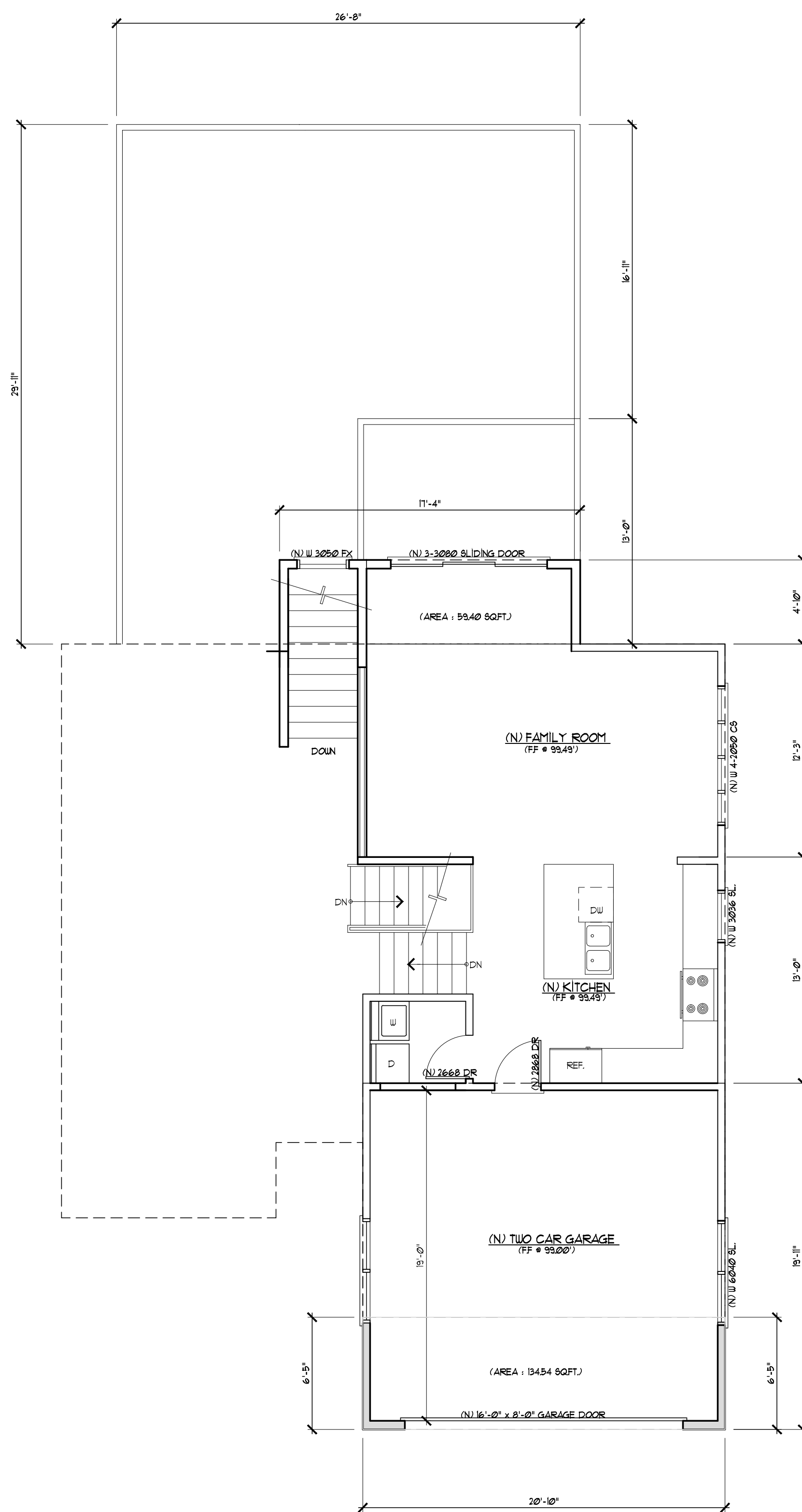
### BATHROOM VENT CALCULATION:

LOCATION	AREA	RATE	TOTAL REQUIRED
BATH #1	25.0 SQ.FT.	8%	224 SQ.FT.
BATH #2	63.95 SQ.FT.	8%	511 SQ.FT.
BATH #3	63.95 SQ.FT.	8%	511 SQ.FT.
MASTER BATH	96.37 SQ.FT.	8%	771 SQ.FT.
LAUNDRY	37.67 SQ.FT.		301 SQ.FT.

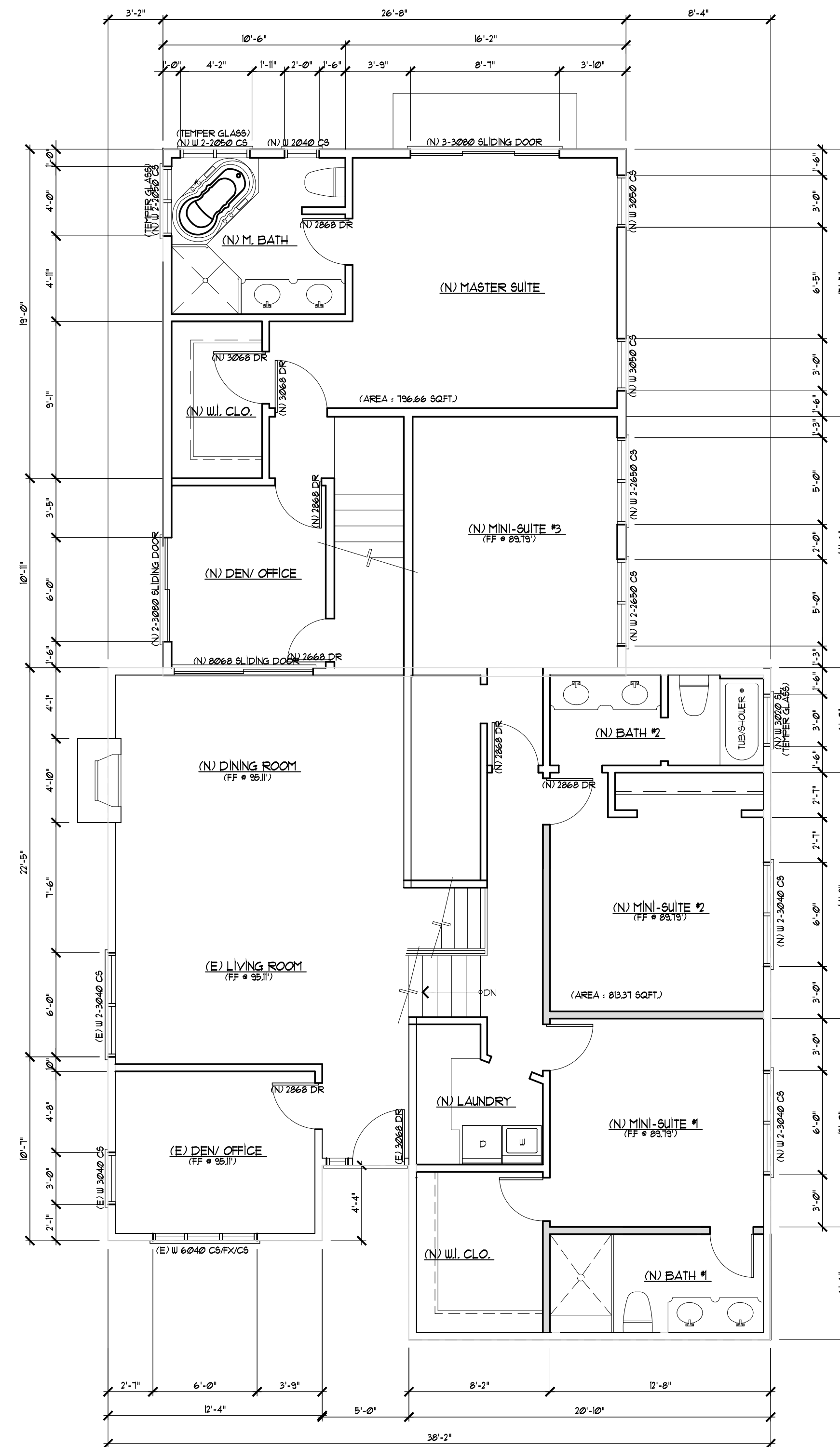
  

LOCATION	OPENING SIZE / TECH. VENT	QTY.	TOTAL PROVIDED
(E) BATH	2'-0"x2'-0"	1	400 SQ.FT.
BATH #2	2'-0"x3'-0"	1	600 SQ.FT.
MASTER BATH	2'-0"x4'-0"	1	800 SQ.FT.
LAUNDRY	2'-0"x2'-0"	1	400 SQ.FT.

FOR INTERMITTENT LOCAL EXHAUST, THE MINIMUM BATHROOM INTERMITTENT VENTILATION AIRFLOW SHALL BE 50 CFM AND FOR KITCHEN HOOD EXHAUST SHALL BE 100 CFM (OR AS AN ALTERNATE, PROVIDE CEILING OR WALL MOUNTED EXHAUST FAN OR DUCTED VENTILATION SYSTEM THAT PROVIDES AT LEAST 5 AIR CHANGES OF THE KITCHEN VOLUME PER HOUR). ASHRAE 62.2-2010, SEC. 4.6.5.



**PROPOSED UPPER FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



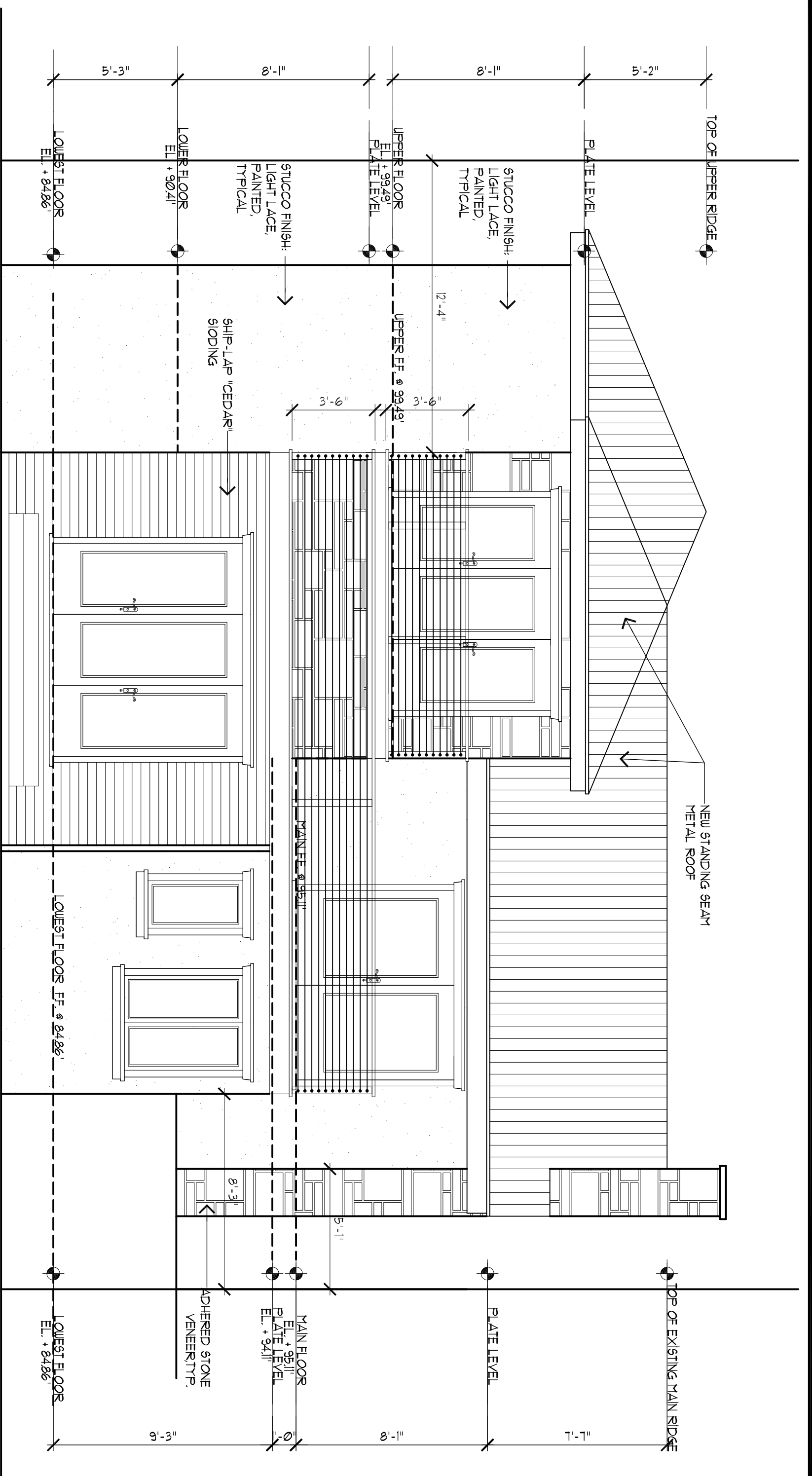
**PROPOSED MAIN & LOWER FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

### LEGEND:

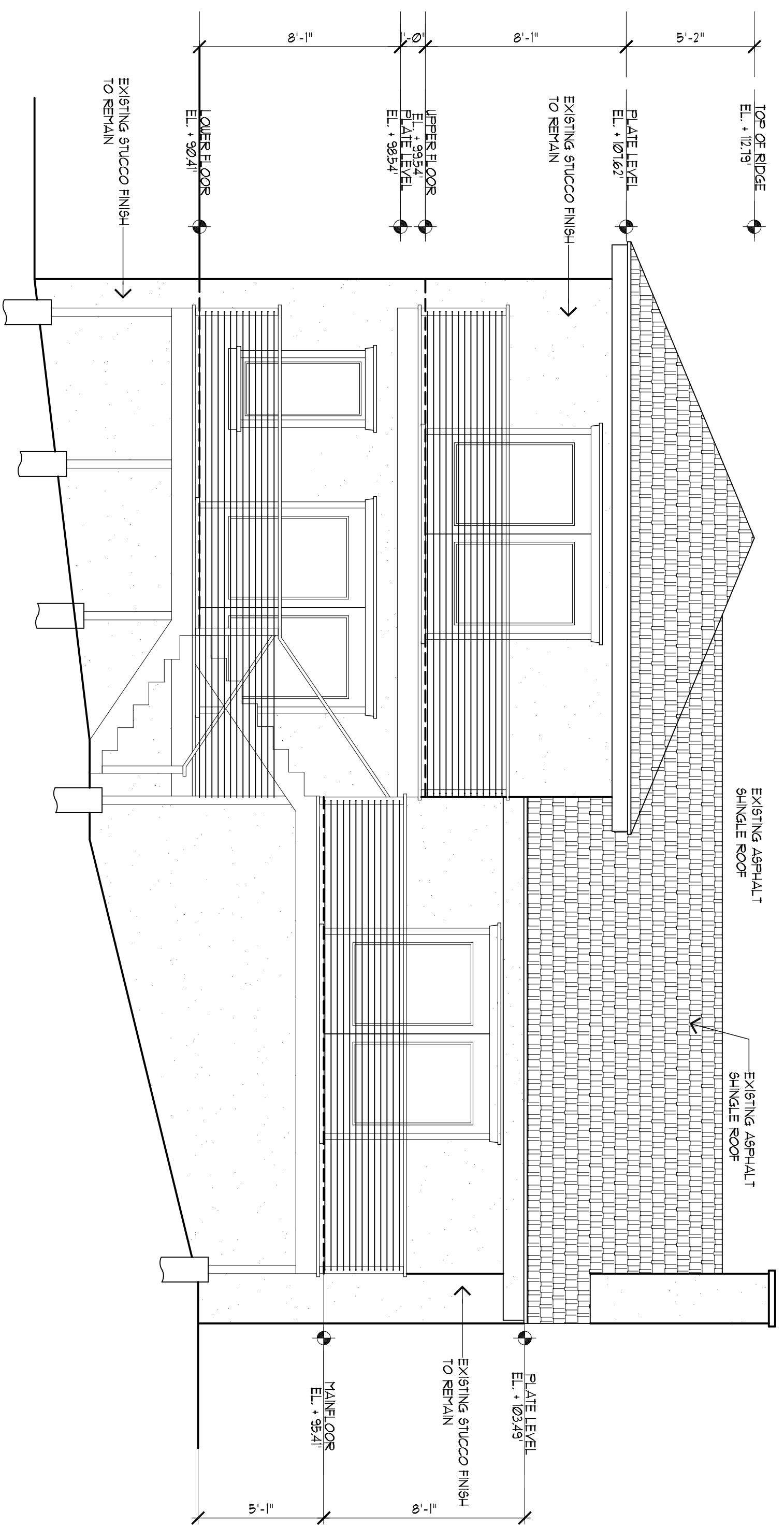
- (E) PARTITION TO REMAIN
- (E) PARTITION TO BE DEMOLISHED
- (N) PARTITION
- (N) ONE-HOUR FIRE WALL

COMMENTS	BY

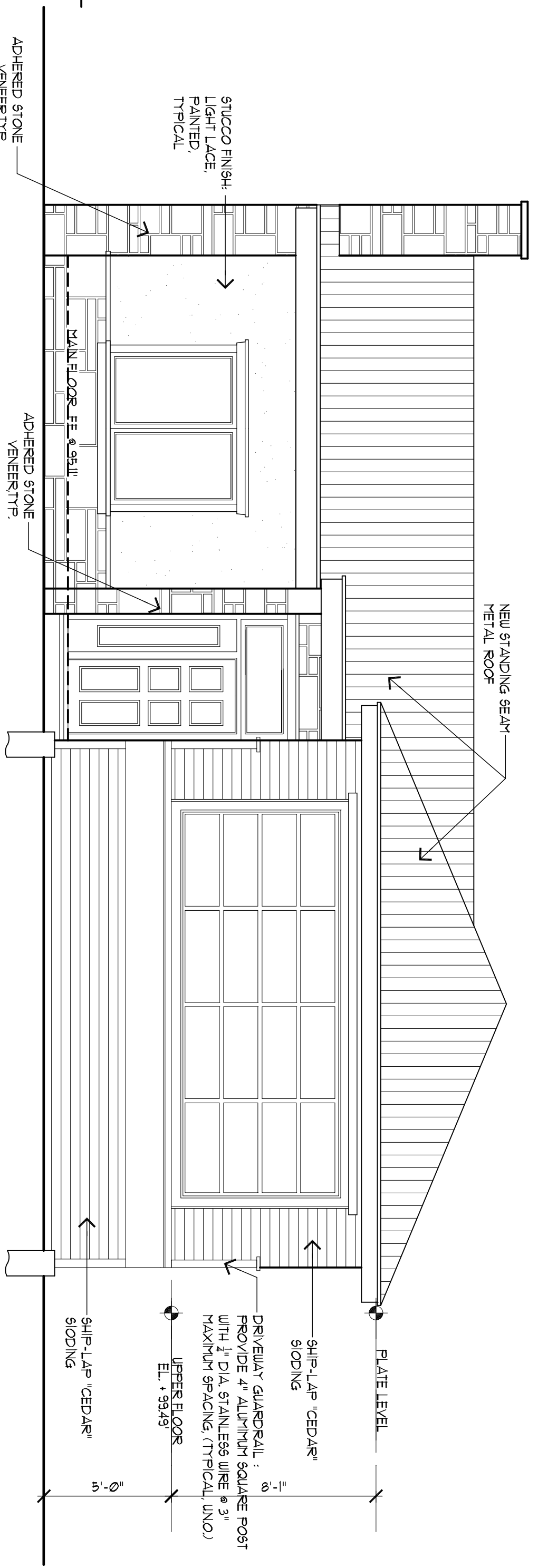
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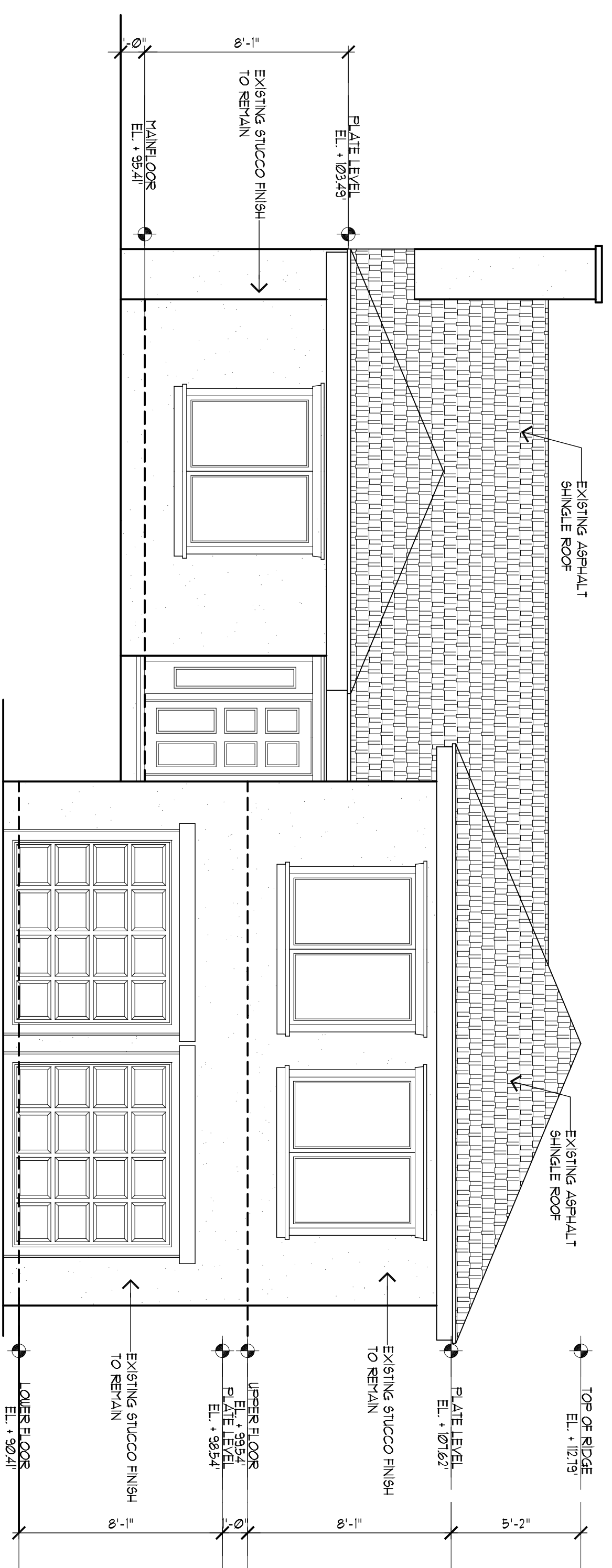
**PROPOSED REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**EXISTING REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**PROPOSED FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**EXISTING FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**Jack Chu DESIGN**  
PLANNING CONSULTING CUSTOM HOMES REMODELING ADDITION  
210 Industrial Rd #209  
San Carlos, CA 94070  
O 650-486-0550  
C 650-208-8898  
jackchu21@yahoo.com

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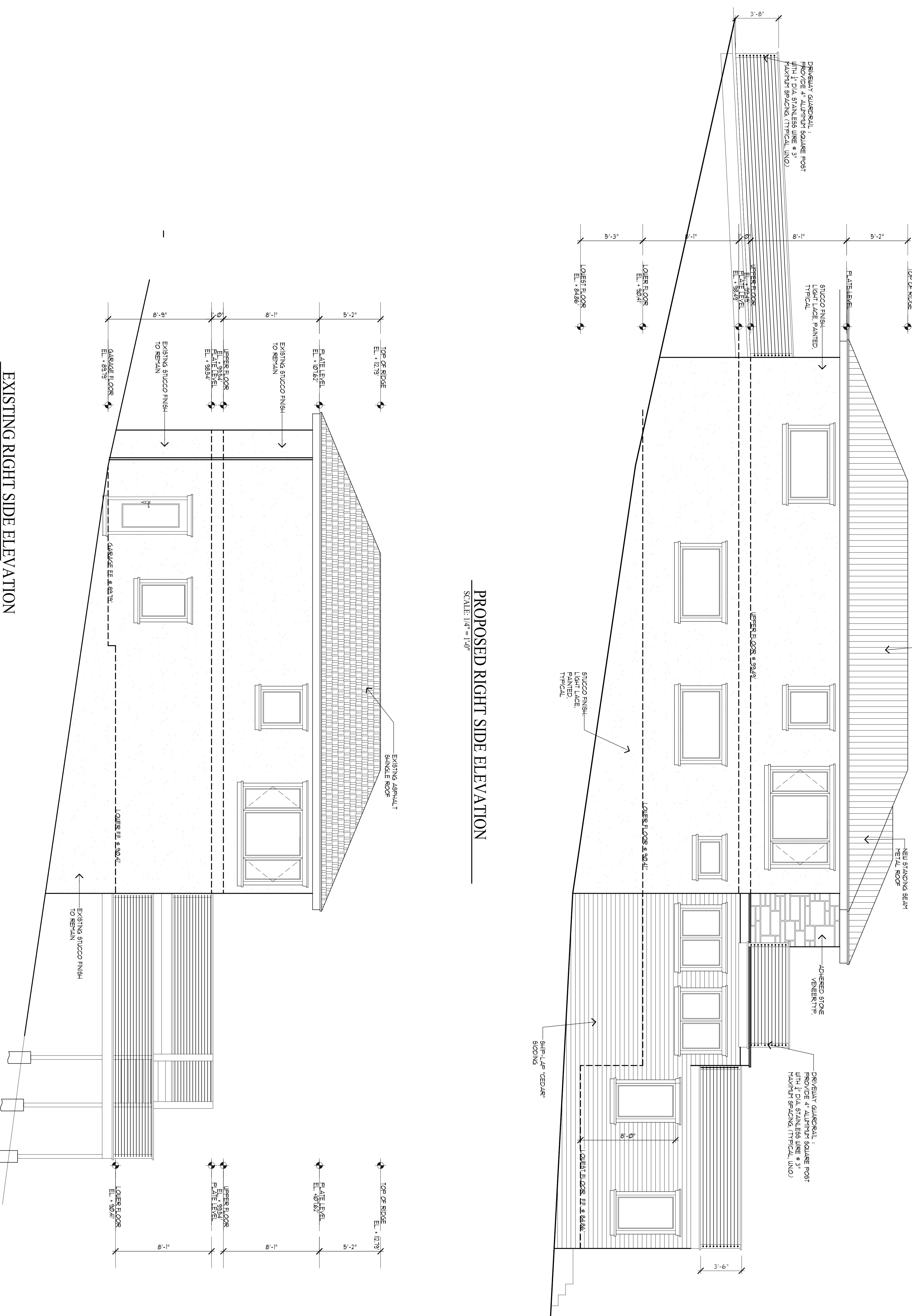
**ADDITION & REMODELING**  
Owner : Mr. Casey Korsak  
504 Lakemead Way Emerald Hills, CA 94062  
Tel. : 650-393-3433  
Email : casey.korsak@wellsfargoadvisors.com

DATE	SCALE	DRAWN	CHECKED	BY
JAN 12, 2021	AS NOTED	Jack Chu	Jack Chu	
		Korsak		

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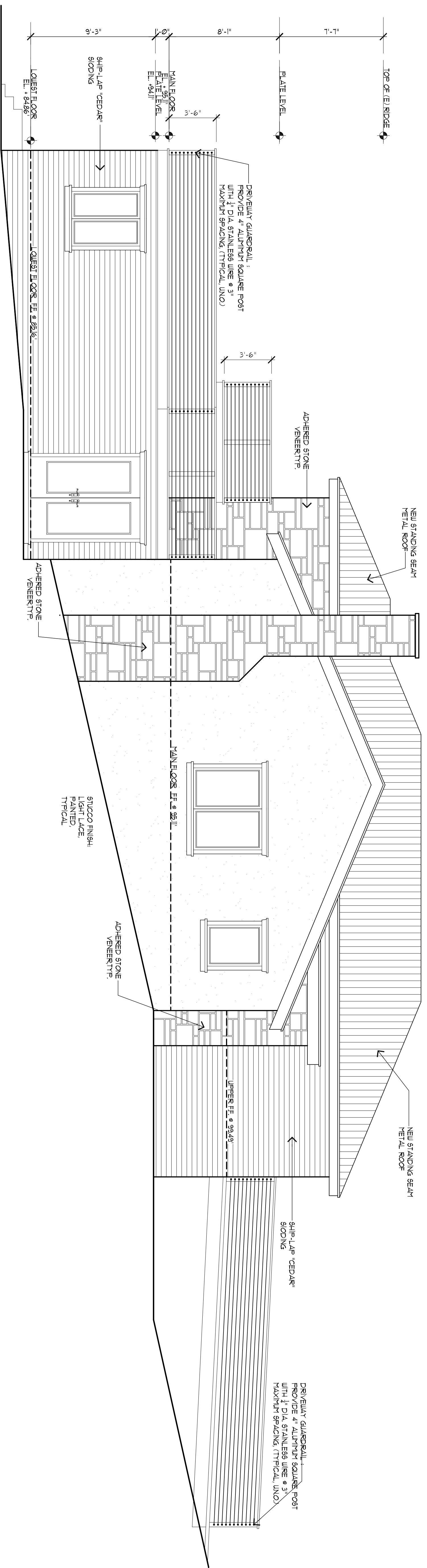
DATE	SCALE	BY	COMMENTS
JAN 12, 2021	AS NOTED	JACK CHU	
		KORSAK	



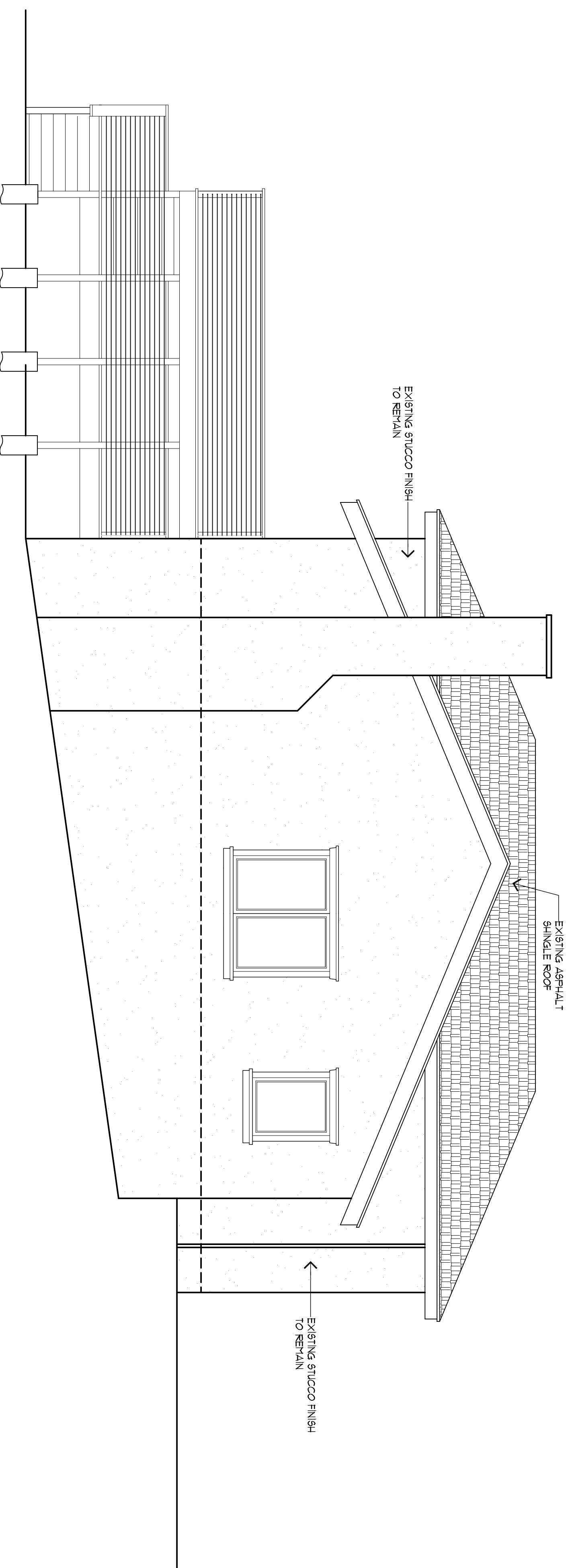
**PROPOSED RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

**EXISTING RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"





PROPOSED RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



EXISTING RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

**Jack Chu DESIGN**  
 PLANNING  
 CONSULTING CUSTOM HOMES  
 REMODELING ADDITION  
 210 Industrial Rd #209  
 San Carlos, CA 94070  
 O 650-486-0550  
 C 650-208-8898  
 jackchu21@yahoo.com

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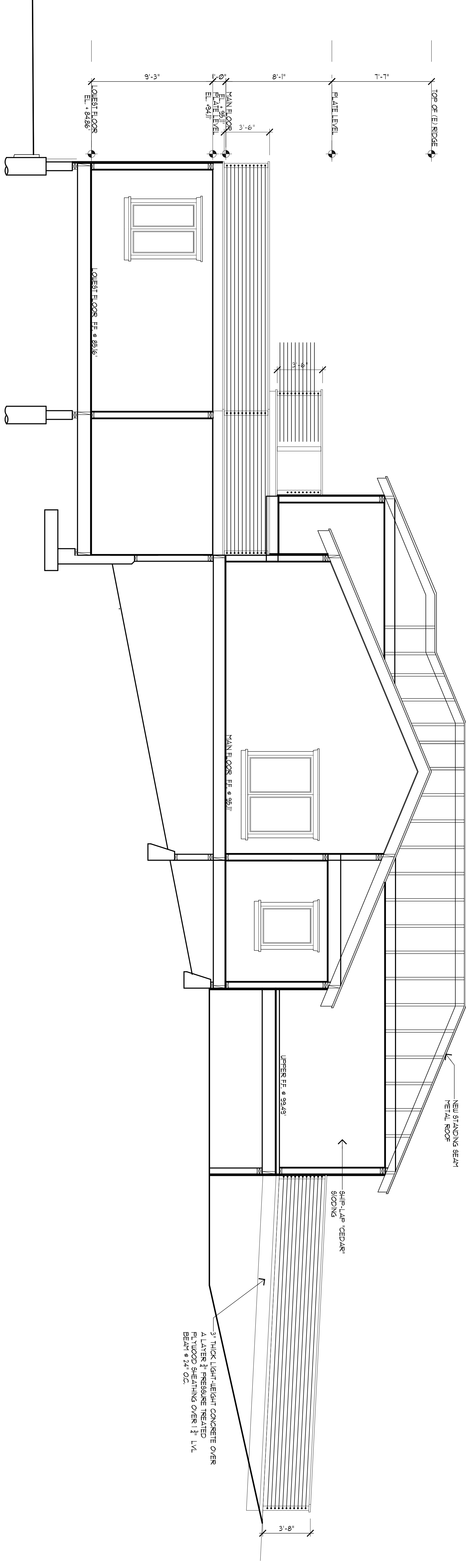
DATE	SCALE	BY	COMMENTS
JAN 12, 2021	AS NOTED	Jack Chu	
		Korsak	

# Jack Chu DESIGN

PLANNING  
CONSULTING CUSTOM HOMES  
REMODELING ADDITION  
210 Industrial Rd #209  
San Carlos, CA 94070  
O 650-486-0550  
C 650-208-8898  
jackchu21@yahoo.com

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**PROPOSED BUILDING CROSS SECTION**  
SCALE: 1/4" = 1'-0"

**ADDITION & REMODELING**  
Owner : Mr. Casey Korsak  
504 Lakemead Way Emerald Hills, CA 94062  
Tel. : 650-393-3433  
Email : casey.korsak@wellsfargoadvisors.com

COMMENTS	BY

DATE	JAN 12, 2021
SCALE	AS NOTED
DESIGNER	Jack Chu
JOB	Korsak
SHEET NO.	

# Jack Chu DESIGN

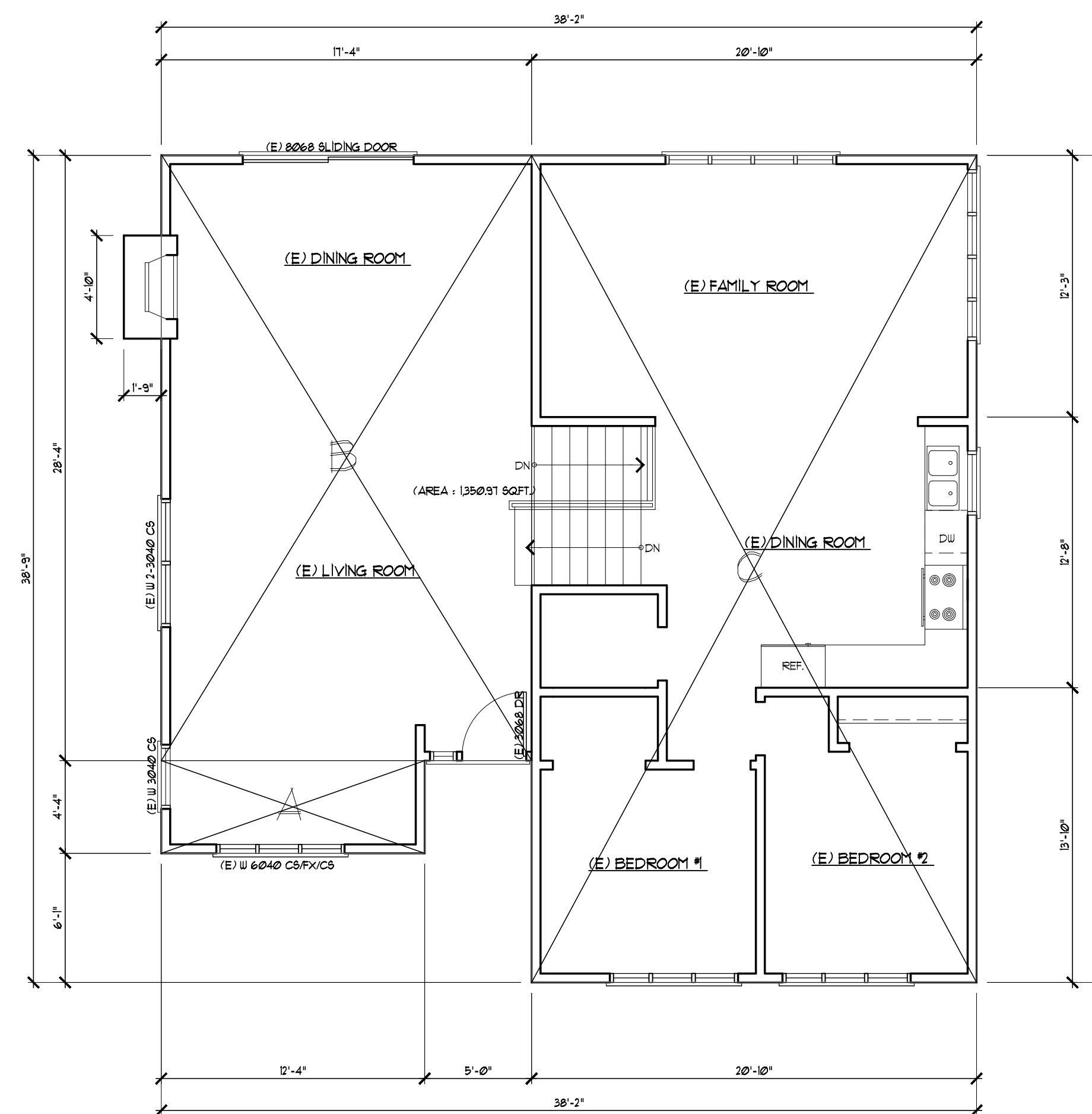
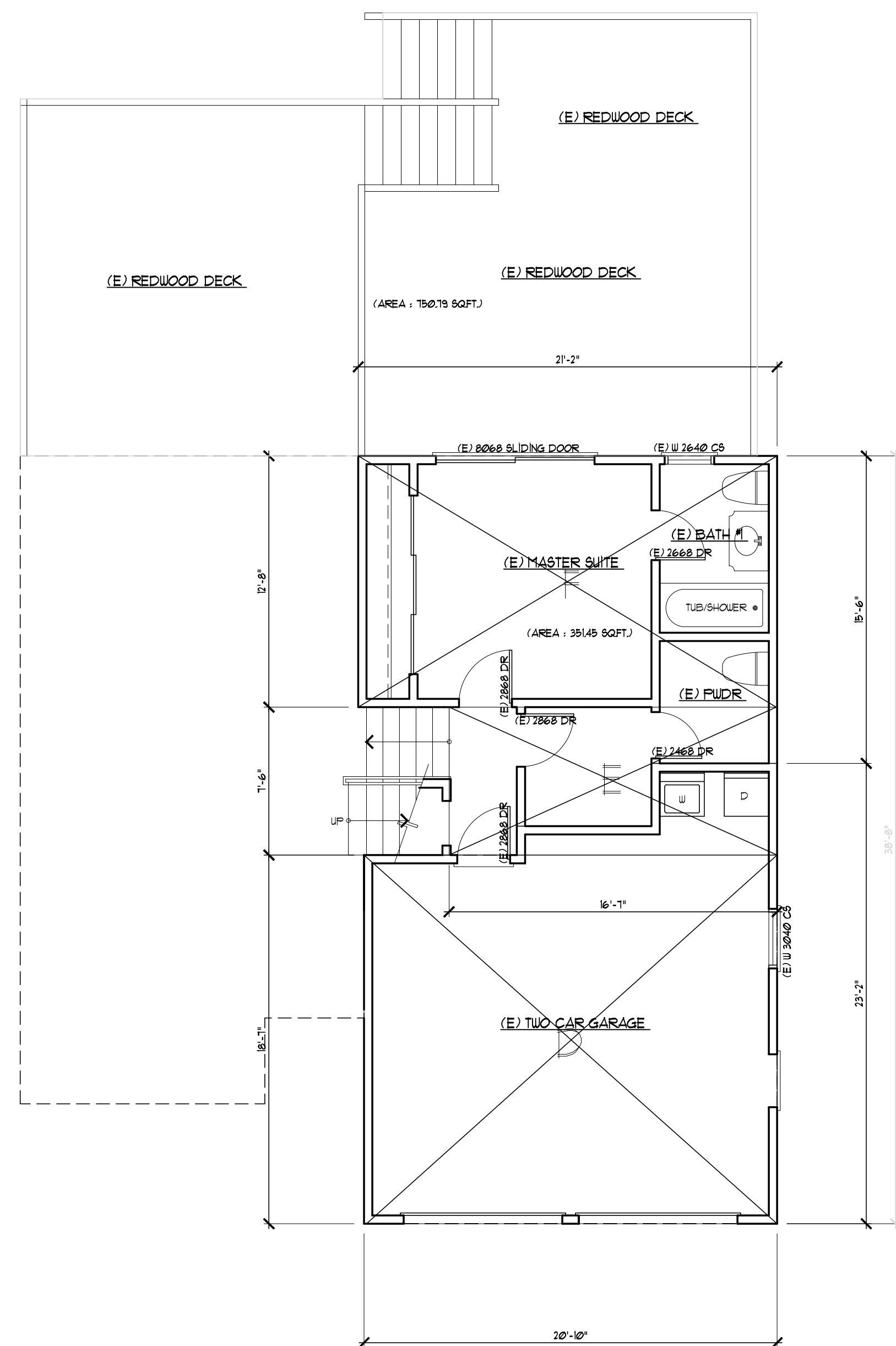
PLANNING  
CONSULTING CUSTOM HOMES  
REMODELING ADDITION  
55 West 43rd Ave  
San Mateo, CA 94403  
C 650-208-8898  
F 650-345-9287  
jackchu21@yahoo.com

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### LOWER FLOOR AREA

D	20'-10" x 18'-7"	=	387.15 SF
E	16'-7" x 7'-6"	=	123.37 SF
F	21'-2" x 12'-8"	=	267.58 SF

TOTAL FLOOR AREA: 778.10 SF



### MAIN & UPPER FLOOR AREA

A	12'-4" x 4'-4"	=	53.44 SF
B	17'-4" x 28'-4"	=	491.11 SF
C	20'-10" x 38'-9"	=	807.16 SF
FIREPLACE	1'-9" x 4'-10"	=	7.92 SF

TOTAL FLOOR AREA: 1,359.63 SF

### ADDITION & REMODELING

Owner: Mr. Casey Korsak  
504 Lakemead Way Emerald Hills, CA 94062  
Tel.: 650-393-3433  
Email: casey.korsak@wellsfargoadvisors.com

COMMENTS	BY

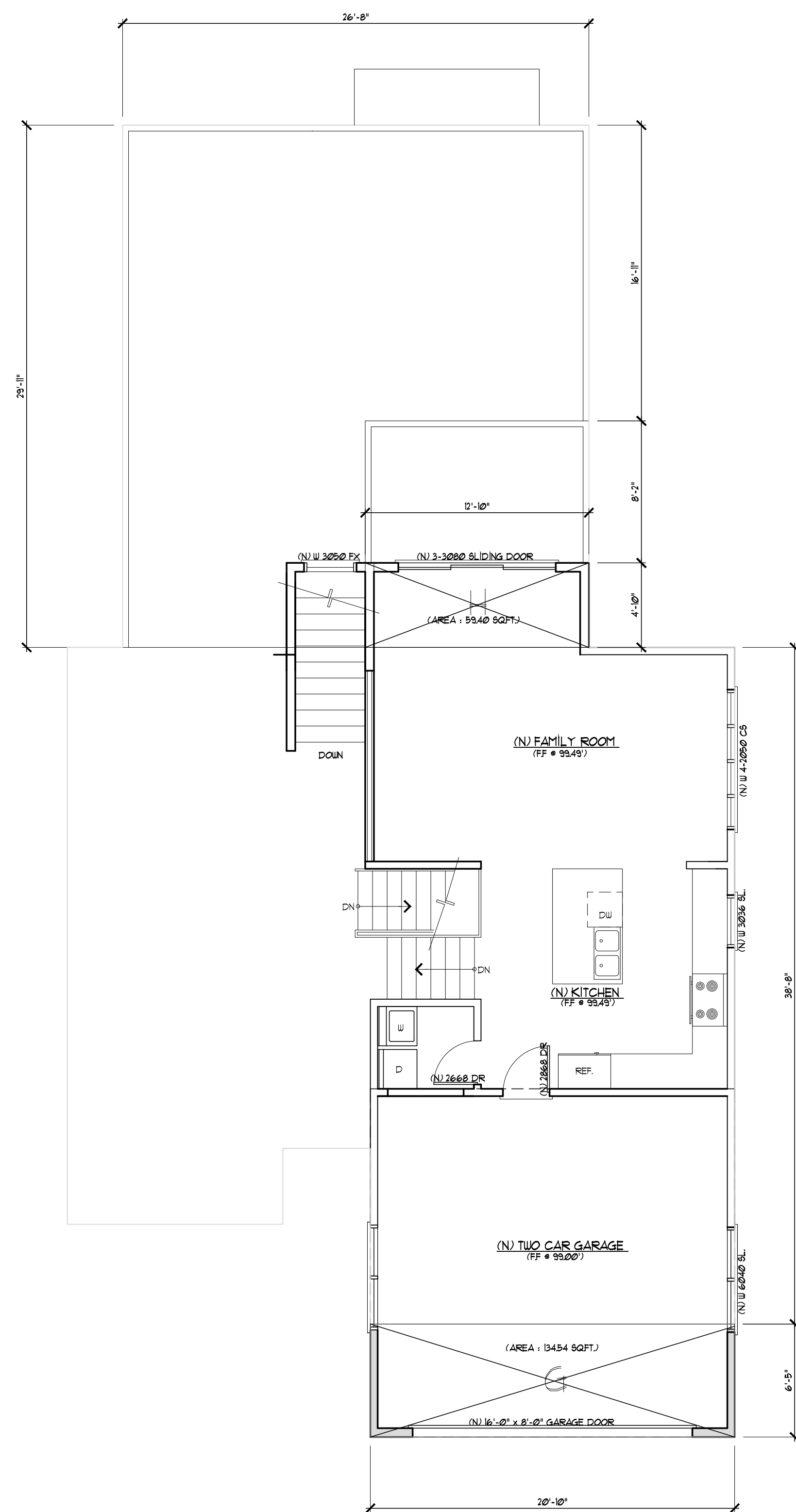
DATE: JAN. 12, 2021  
SCALE: AS NOTED  
DRAWN: Jack Chu  
JOB: Korsak  
SHEET NO.

AC.1

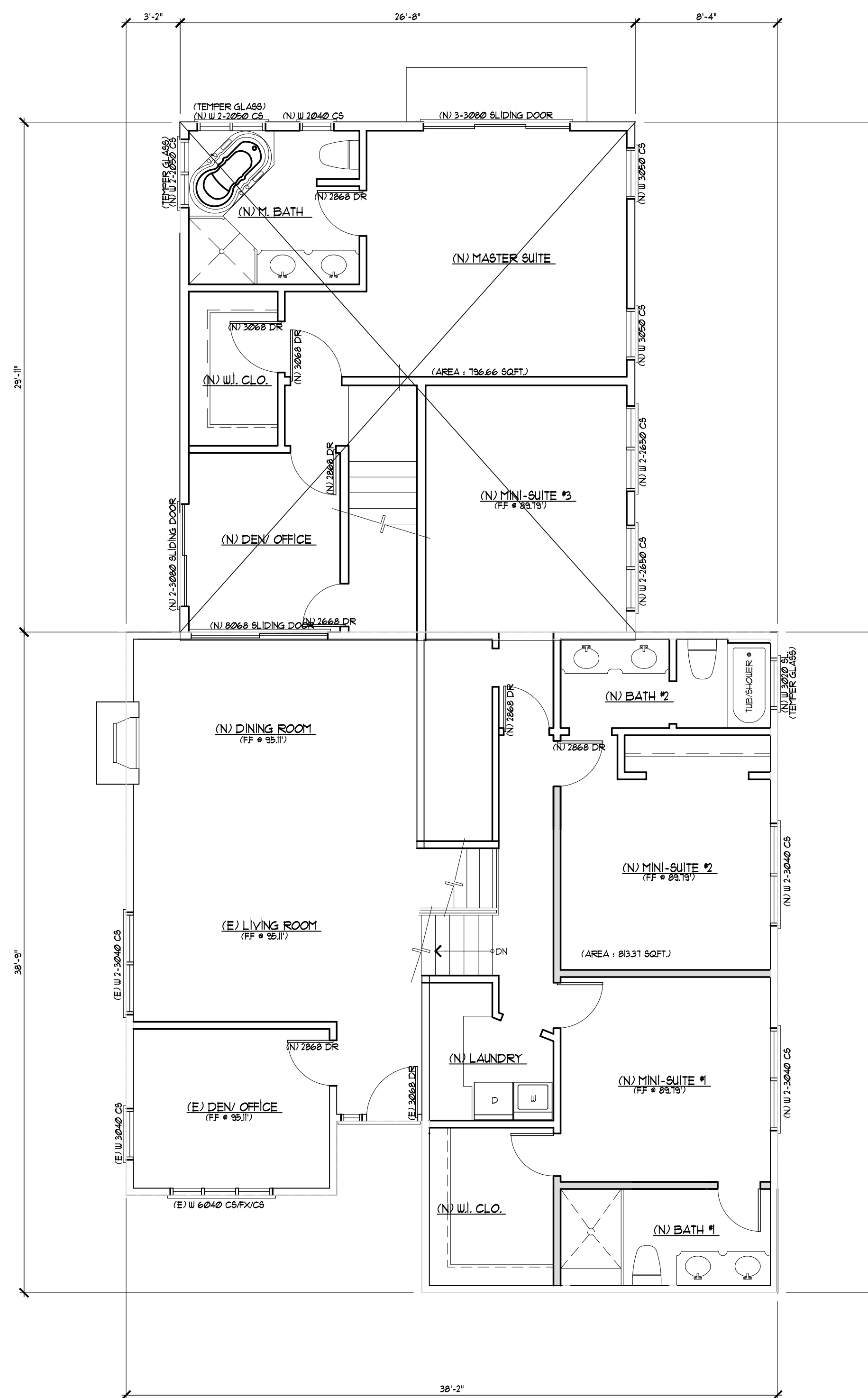
# Jack Chu DESIGN

PLANNING  
CONSULTING CUSTOM HOMES  
REMODELING ADDITION  
55 West 43rd Ave  
San Mateo, CA 94403  
C 650-208-8898  
F 650-345-9287  
jackchu21@yahoo.com

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**PROPOSED UPPER FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



**PROPOSED MAIN & LOWER FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

**PROPOSED LOWER FLOOR AREA**

- D 20'-10" x 18'-7" = 387.15 SF
- E 16'-7" x 7'-6" = 123.37 SF
- F 21'-2" x 12'-8" = 267.58 SF
- G 20'-10" x 6'-5" = 133.68 SF
- H 12'-10" x 4'-10" = 62.02 SF

TOTAL FLOOR AREA: 973.80 SF

**PROPOSED LOWER FLOOR AREA**

- I 26'-8" x 29'-11" = 797.11 SF

TOTAL PROPOSED FLOOR AREA: 797.11 SF

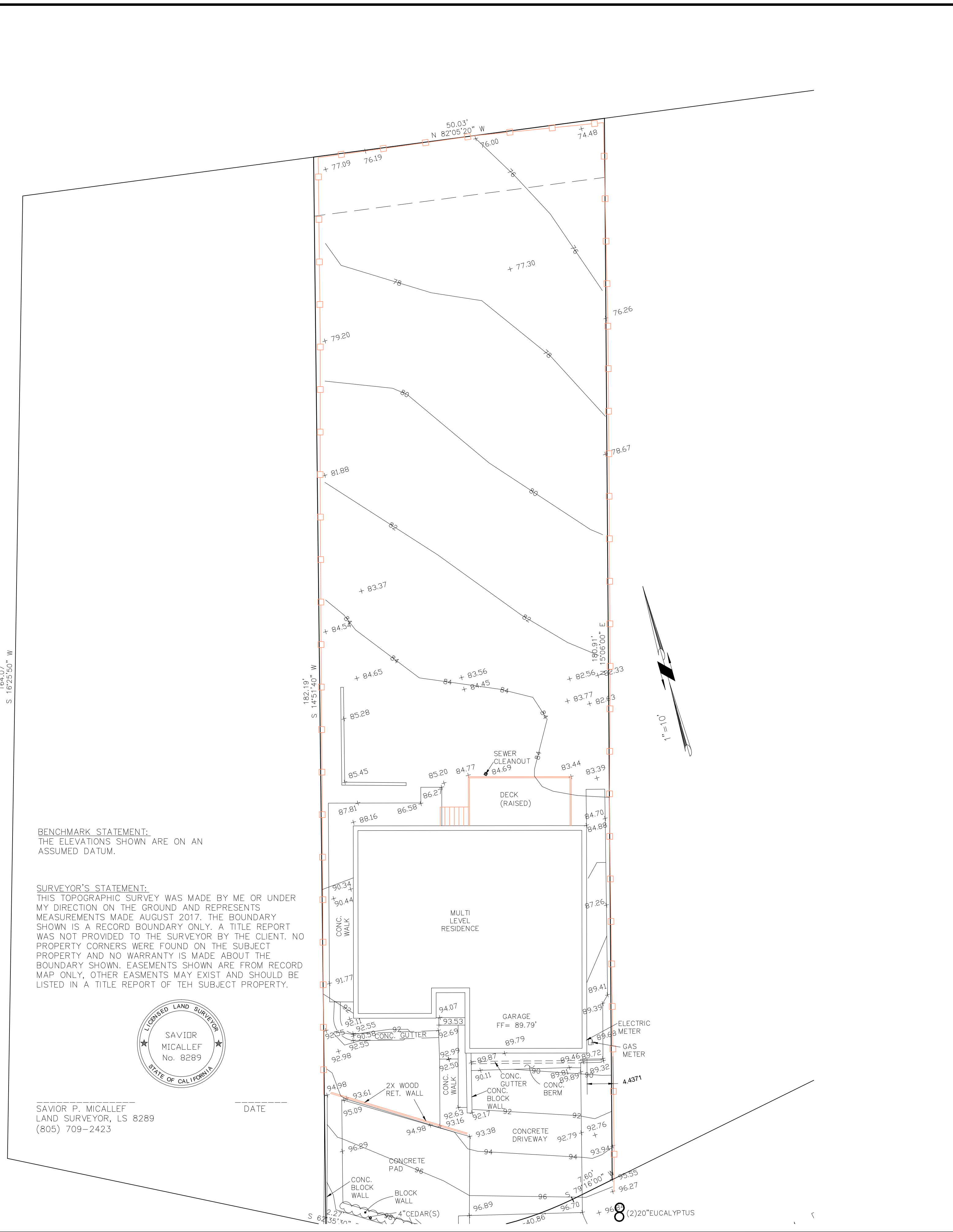
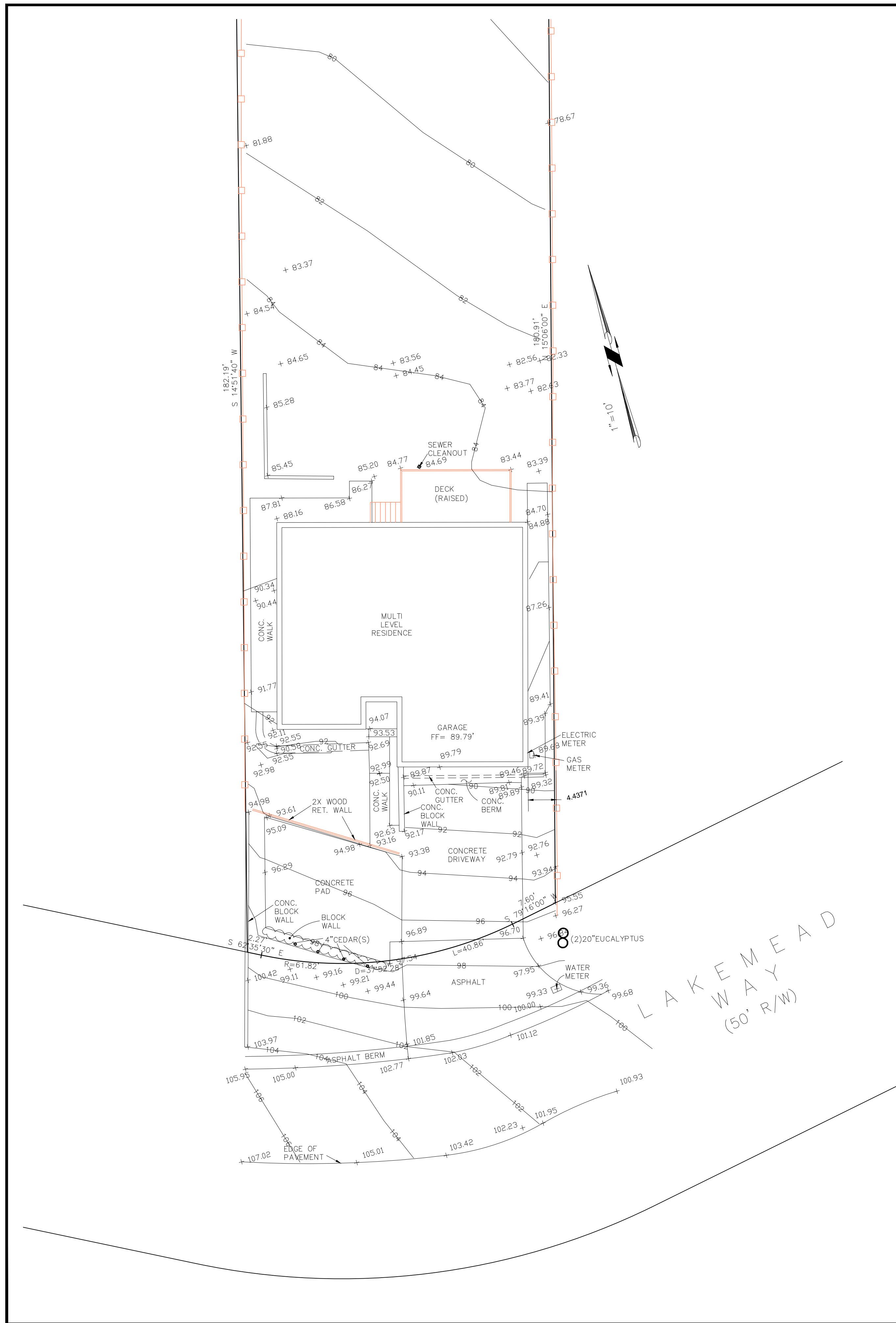
**ADDITION & REMODELING**

Owner : Mr. Casey Korsak  
504 Lakemead Way Emerald Hills, CA 94062  
Tel. : 650-393-3433  
Email : casey.korsak@wellsfargoadvisors.com

COMMENTS	BY

DATE:	JAN. 12, 2021
SCALE:	AS NOTED
DRAWN:	Jack Chu
FOR:	Korsak
SHEET NO.	

**AC.2**



**BENCHMARK STATEMENT:**  
THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

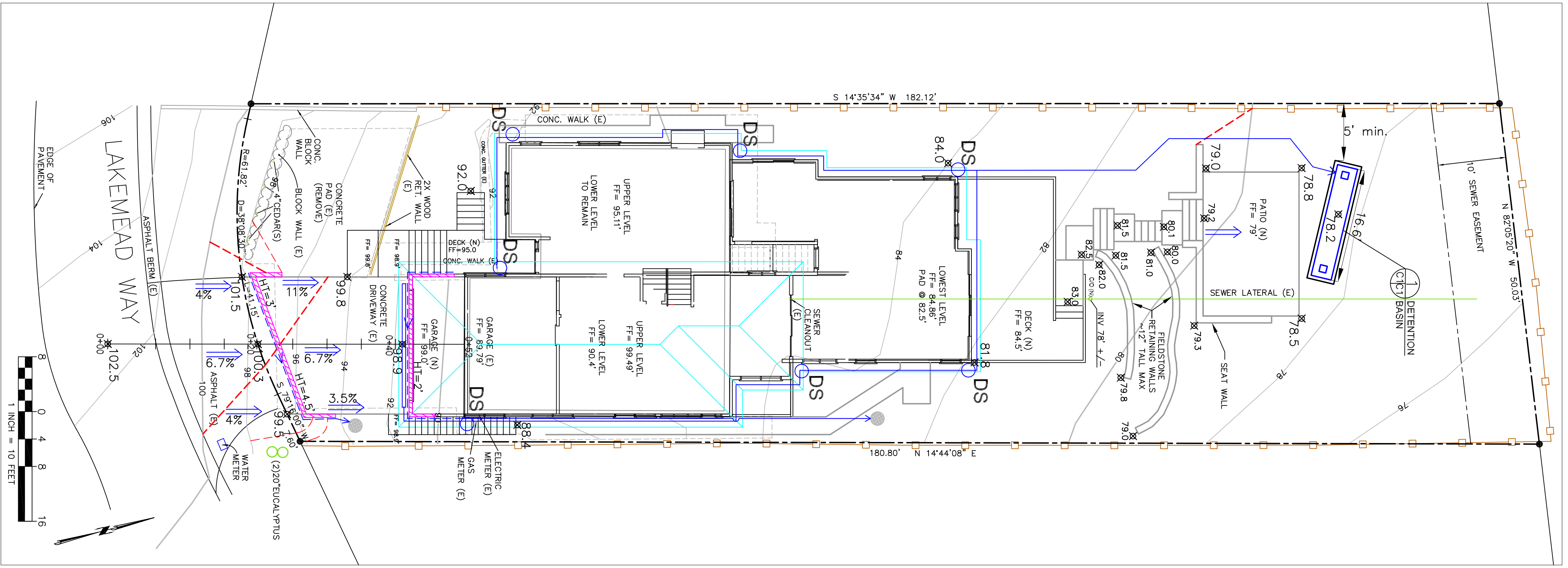
**SURVEYOR'S STATEMENT:**  
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE AUGUST 2017. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. EASEMENTS SHOWN ARE FROM RECORD MAP ONLY, OTHER EASEMENTS MAY EXIST AND SHOULD BE LISTED IN A TITLE REPORT OF THE SUBJECT PROPERTY.



SAVIOR P. MICALLEF  
LAND SURVEYOR, LS 8289  
(805) 709-2423

DATE \_\_\_\_\_

SAVIOR P. MICALLEF LAND SURVEYING 1500 DUNN DRIVE SOUTH SAN FRANCISCO, CA 94080 805/709-2423	
TOPOGRAPHIC SURVEY OF 504 LAKEMEAD WAY, REDWOOD CITY, CA SAN MATEO COUNTY CALIFORNIA	
Revisions	
No.	
Date 5-25-12	Scale 1"=20'
Design	SPM
Drawn	SPM
Approved	SPM
Job No.	
Drawing Number:	
1	OF 1



**LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- ENERGY DISSIPATER - PER DETAIL 2
- DOWNPOUT
- 4" STUD DRAINPIPE
- 4" STUD DRAINPIPE
- RETAINING WALL - PROPOSED

**GENERAL NOTES**

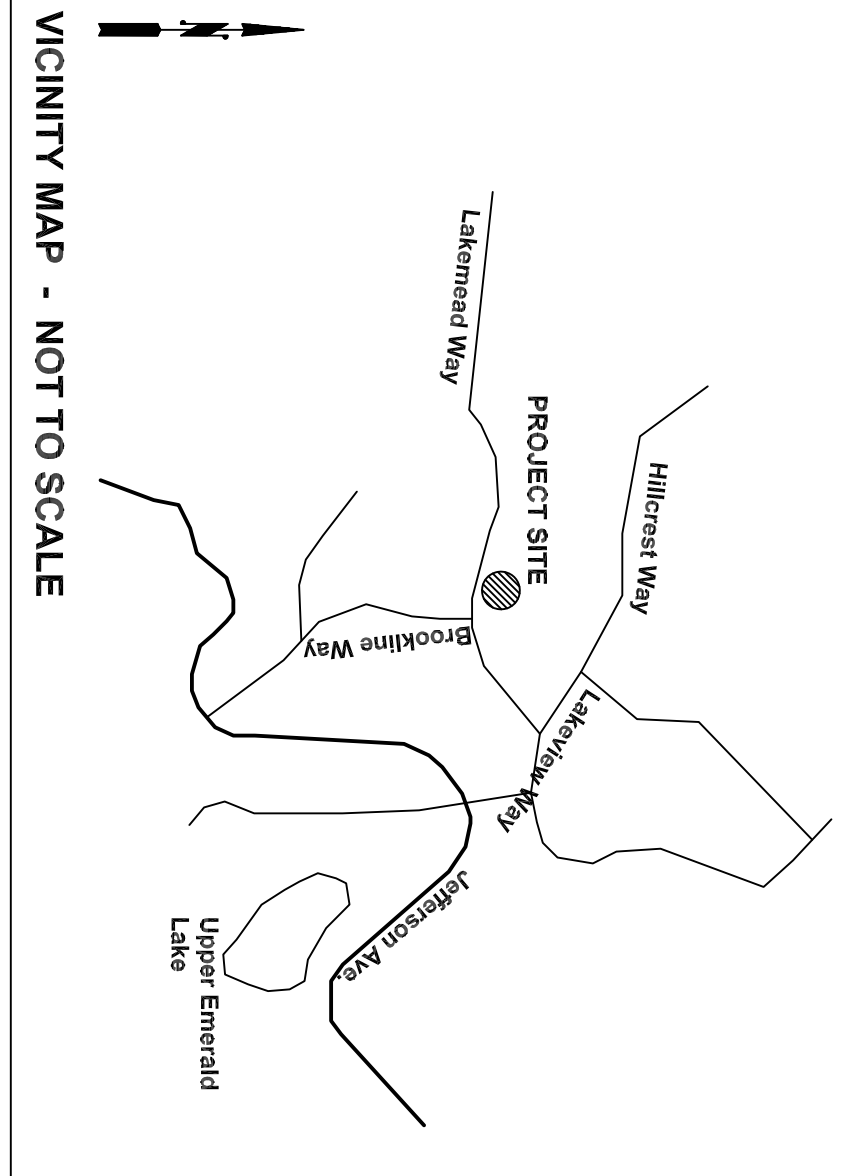
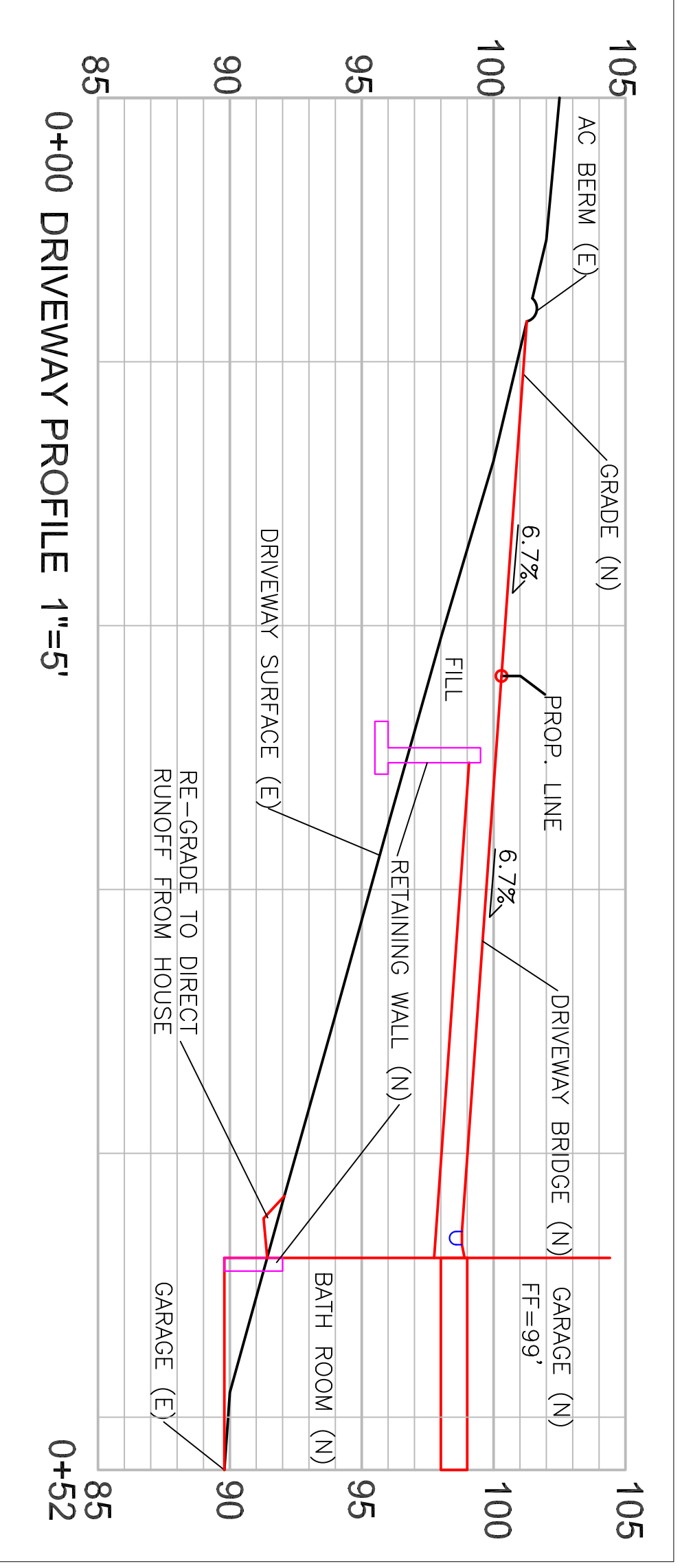
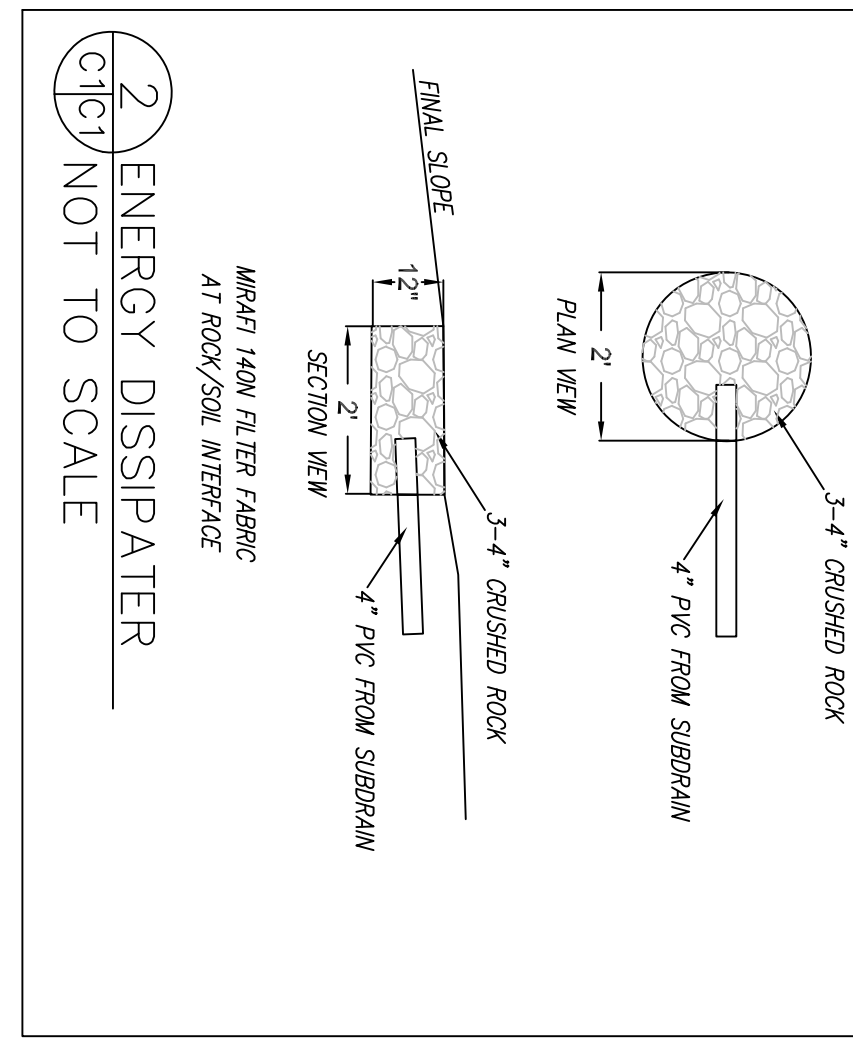
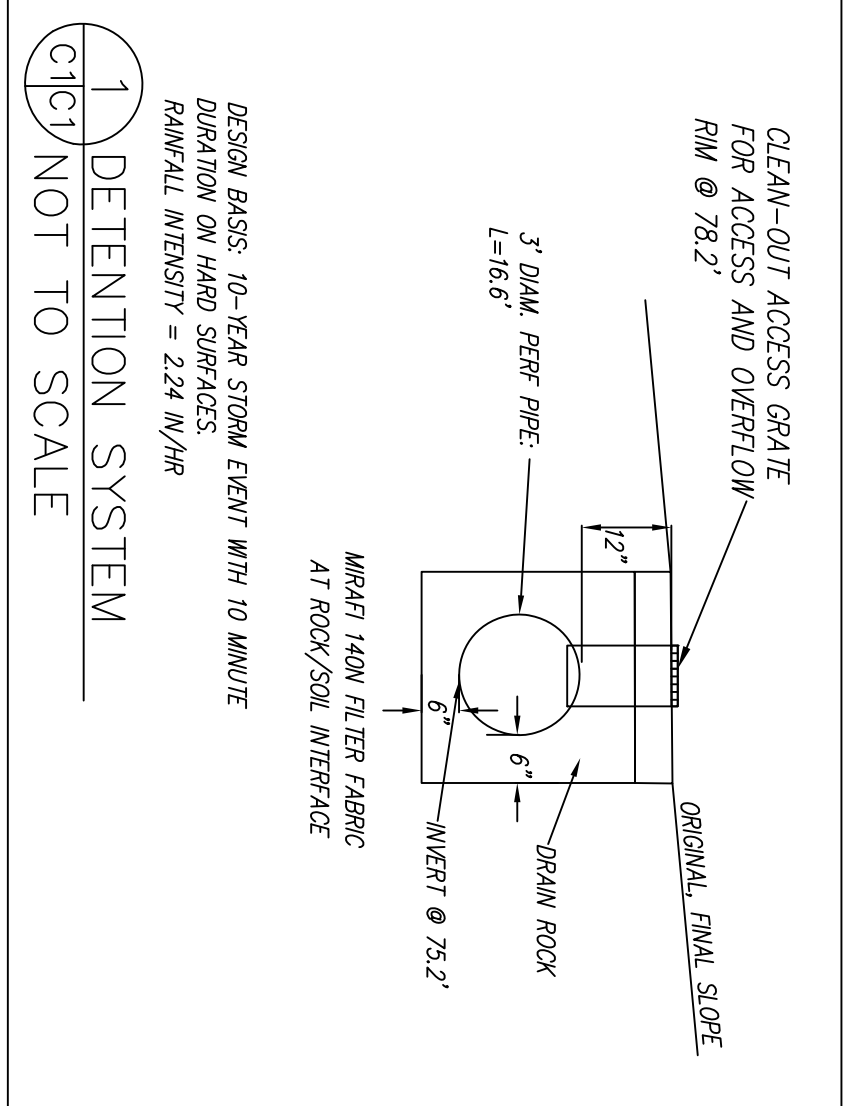
1. PLANS PREPARED AT THE REQUEST OF: CASEY KORSAK, OWNER
2. TOPOGRAPHY BY S. MICALLEF, SURVEYED AUGUST 3, 2018.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM ASSUMED: GEOTECHNICAL STUDY: KORSAK PROPERTY, 504 LAKEMEAD WAY, EMERALD HILLS, CALIFORNIA.
5. THE GEOTECHNICAL REPORT: DATE: MAY 2, 2019. BY SIGMA PRIME INC., PROJECT NO. 18-188
6. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, INC., WITH THE CONTRACT NUMBER 650-728-3590 (SIGMAPRIME@GMAIL.COM). THE CONTRACTOR MUST NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTION, MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
7. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT TREATMENT AND CONVEYANCE DEVICES BEFORE BEING BURNED (INCLUDING REQUIRED PATTERNS LABELS E.G. PILES, SUBGRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION SCHEDULE NOTATIONS AND PHONE NUMBER (650-340-1187) HEREIN TO SCHEDULE INSPECTIONS AND EROSION CONTROL INSTALLATION. ONE BEFORE DRAINAGE FACILITIES ARE BURNED, AND ONE FOR FINAL WALK AROUND.

**DRAINAGE NOTES**

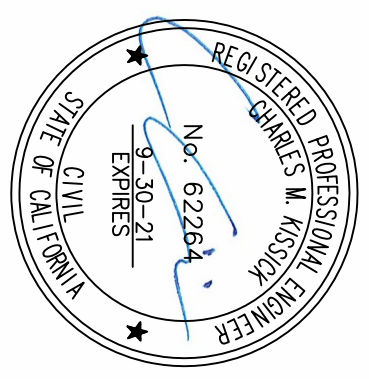
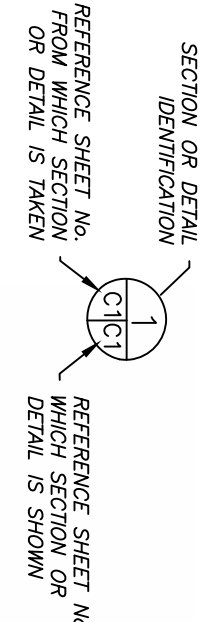
1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN. THE DETENTION BASIN SHALL BE WATER-TIGHT AND DRAIN BY GRAVITY TO AN ENERGY DISSIPATER, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNERS RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/SUMP PUMP TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

**GRADING NOTES**

- CUT VOLUME: 70 CY  
 FILL VOLUME: 40 CY (90 CY IN R.O.W., FOR DRIVEWAY)  
 VOLUMES ABOVE ARE APPROXIMATE.
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE AND THEN FILLED WITH HAND TAMPED SOILS.



**SECTION AND DETAIL CONVENTION**



DATE: 5-3-19	 SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593
DRAWN BY: CMK	
CHECKED BY: AZG	
REV. DATE: 4-22-21	
REV. DATE:	

**GRADING AND DRAINAGE PLAN**

KORSAK PROPERTY  
 504 LAKEMEAD WAY  
 EMERALD HILLS  
 APN 057-262-200

EROSION CONTROL NOTES

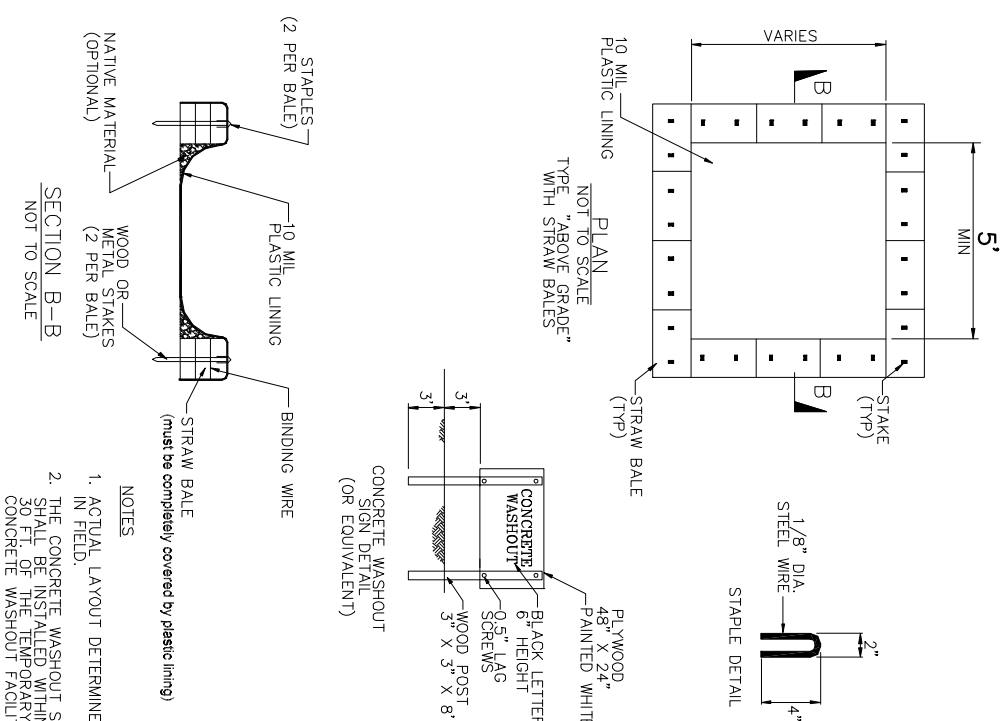
FIBER ROLL  
INSTALL AT LOCATIONS SHOWN.  
AFIX AS SHOWN IN DETAIL SE-5

1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE. IF SCHEDULED FOR OFF-HAUL.
5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEED OR APPROVED SUBSTITUTE. SEED SHALL BE PLACED AT A RATE OF 2 TONS/ACRE AT A RATE OF 2 TONS/ACRE.
6. THERE IS NO ROOM FOR A ROCKED CONSTRUCTION ENTRANCE. THE STEEP NATURE OF THE SITE EXCEPT FOR THE EXCAVATOR DOING THE FOUNDATION WORK, WHICH WILL LEAVE THE SITE ONE TIME, AFTER EARTHWORK IS COMPLETED.
7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D ABOVE)

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- Perform cleaning and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid dewatering, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points.
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.

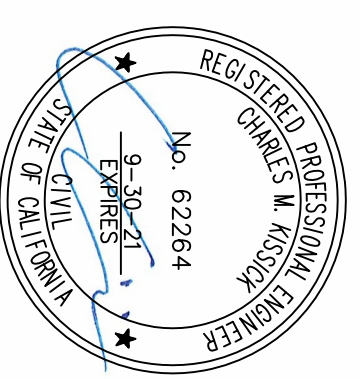
CONCRETE WASTE MANAGEMENT WM-8



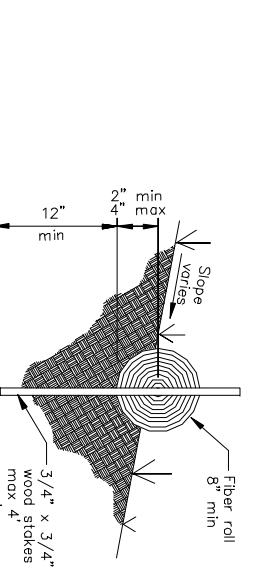
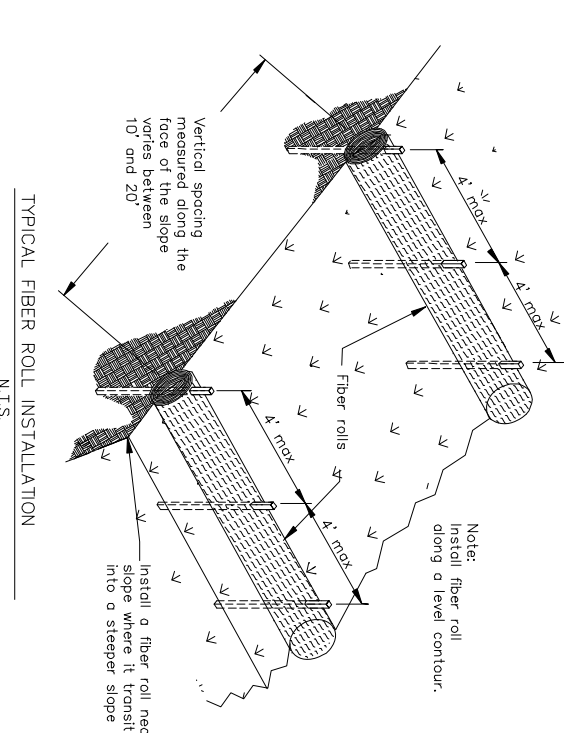
EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED

NAME: CASEY KORSAK  
TITLE/EQUALIFICATION: OWNER  
PHONE: 650-393-3433  
PHONE:  
E-MAIL: CASEYK3@YAHOO.COM



FIBER ROLLS SE-5



EROSION AND SEDIMENT CONTROL PLAN  
KORSAK PROPERTY  
504 LAKEMEAD WAY  
EMERALD HILLS  
APN 057-262-200

DATE: 5-3-19	<p>SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593</p>
DRAWN BY: CMK	
CHECKED BY: AZG	
REV. DATE: 4-22-21	
REV. DATE:	

SHEET  
C-2

