



VACINITY MAP

PLAN

1  
128"=1'-0"

CONTACT INFORMATION	
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<b>STRUCTURAL ENGINEER:</b>	<b>GENERAL CONTRACTOR:</b>

NOTES:

# MASSCHELEIN RESIDENCE

434 SUMMIT DRIVE, EMERALD HILLS, CA 94062

APN 057-143-100

## RH & DR PERMIT

DRAWING LIST		
Dwg #	Drawing Name	Scale
G100	COVER SHEET	NTS
G101	NOTES	NTS
G102	NOTES	NTS
AX001	SITE PLAN - EXISTING	3/16" = 1'-0"
A001	SITE PLAN - PROPOSED	3/16" = 1'-0"
AX100	PLANS - EXISTING - FIRST FLOOR	1/4" = 1'-0"
AX101	PLANS - EXISTING - ROOF PLAN	1/4" = 1'-0"
A100	PLANS - PROPOSED - FIRST FLOOR	1/4" = 1'-0"
A101	PLANS - PROPOSED - SECOND FLOOR	1/4" = 1'-0"
A102	PLANS - PROPOSED - ROOF PLAN	1/4" = 1'-0"
A110	PLANS - DIAGRAMS - FIRST FLOOR PLAN - EXISTING	1/4" = 1'-0"
A111	PLANS - DIAGRAMS - FIRST FLOOR PLAN - PROPOSED	1/4" = 1'-0"
A200	ELEVATIONS - PROPOSED	1/4" = 1'-0"
A201	ELEVATIONS - PROPOSED	1/4" = 1'-0"
A300	SECTIONS - PROPOSED	1/4" = 1'-0"
L100	LANDSCAPE PLAN - PROPOSED	3/16" = 1'-0"
L101	IMPERVIOUS AREA CALCULATIONS	3/16" = 1'-0"
L400	PLANTING PLAN - PROPOSED	3/16" = 1'-0"
LL100	LIGHTING PLAN - PROPOSED	3/16" = 1'-0"
5904-FIN	TOPOGRAPHIC SURVEY	1" = 10'
C-0	TITLE SHEET	AS SHOWN
C-1	NOTES SHEET	NTS
C-2	GRADING AND UTILITY PLAN	1" = 10'
C-3	EROSION AND SEDIMENT CONTROL PLAN	AS SHOWN
C-3.1	BEST MANAGEMENT PRACTICES	NTS
C-3.2	TREE PROTECTION PLAN	1" = 10'
C-4	DETAIL SHEET	AS SHOWN
C-4.1	DETAIL SHEET	AS SHOWN

SITE DATA:	
a) PROPERTY ADDRESS:	434 SUMMIT DRIVE, EMERALD HILLS, CA 94062
b) APN:	057-143-100
c) BUILDING TYPE:	2 STORY SINGLE FAMILY RESIDENCE
d) ZONING:	RH, DR
e) OCCUPANCY:	R-3
f) HEIGHT LIMIT:	28'
g) LEGISLATIVE SETBACKS:	N/A
h) STORIES:	2
i) BASEMENT:	0
j) TYPE OF CONSTRUCTION:	V-B
k) LOT AREA:	6,757.3 SF (NON-CONFORMING)
l) PROJECT DATA:	
EXISTING FLOOR AREA:	
1ST:	985 SF
GARAGE (DETACHED):	427.5 SF
TOTAL:	1,412.5 SF
PROPOSED FLOOR AREA:	
1ST/GROUND:	1,754 SF
2ND FLOOR:	934 SF
TOTAL:	2,688 SF
SCOPE OF WORK	
THE PROPOSED PROJECT INCLUDES A NEW 2688 SF RESIDENCE LOCATED TOWARDS THE NORTH WEST SIDE OF THE LOT. THE PROPOSED LOCATION ENCROACHES 5' ON THE FRONT SETBACK TO GIVE MORE SPACE FOR THE EXISTING OAK TREES IN THE REAR YARD AND TO PROVIDE MORE NATURAL LANDSCAPE THROUGHOUT THE SITE. THE PROJECT ALSO INCLUDES NEW LANDSCAPING CONSISTING OF A NEW COURTYARD SPACE, AN ORCHARD, AND A NEW LAWN.	

CODES:
ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE CODES INCLUDING, BUT NOT LIMITED TO:
1. 2019 CALIFORNIA BUILDING CODE - VOLUMES 1 & 2
2. 2019 CALIFORNIA RESIDENTIAL CODE
3. 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
4. 2019 CALIFORNIA MECHANICAL CODE
5. 2019 CALIFORNIA ELECTRICAL CODE
6. 2019 CALIFORNIA PLUMBING CODE
7. 2019 CALIFORNIA ENERGY CODE
8. 2019 CALIFORNIA FIRE CODE
9. CURRENT SAN MATEO COUNTY MUNICIPAL CODE



MASSCHELEIN  
RESIDENCE

434 SUMMIT DRIVE  
EMERALD HILLS, CA 94062

PLANNING PERMIT SET

COVER SHEET

Date: April 1, 2021

Drawn By: JF

Checked By: DS

G100

Scale: NTS

## NOTES:

## DEMOLITION

- 1) THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND MEANS FOR TEMPORARY SHORING AS NEEDED TO PREVENT DAMAGE AND MINIMIZE SETTLEMENT OF EXISTING AND ADJACENT STRUCTURE(S).
- 2) EFFORTS SHALL BE EXERCISED TO PROTECT THE BUILDING FINISHES AND OTHER ITEMS TO REMAIN.
- 3) HE CONTRACTOR SHALL MAINTAIN BUILDING SECURITY AT ALL TIMES.
- 4) THE PROPERTY SHALL BE KEPT DRY FROM THE RAIN AND ALL BUILDING MATERIALS ARE TO BE STORED IN DRY AREAS.
- 5) ALL MATERIALS, FIXTURES, DEBRIS REMOVED DURING DEMOLITION ARE TO BE DOCUMENTED, EXTENSIVE EFFORTS ARE TO BE MADE TO RECYCLE EVERYTHING. THE DESIGN TEAM IS TO REVIEW SUBCONTRACTOR BID FOR DEMOLITION IN ADVANCE TO VERIFY ANTICIPATED DIVERSION RATE.
- 6) PRIOR TO DEMOLITION, THE CONTRACTOR SHALL CONDUCT A PRE-DEMOLITION JOB SITE MEETING TO SCHEDULE THE WORK WITH THE DESIGN TEAM AND KEY SUBCONTRACTORS.
- 7) CONTRACTOR IS TO TAKE PRECAUTIONS TO ADEQUATELY PROTECT ANYONE FROM POSSIBLE INJURY.
- 8) DEMOLITION IS TO BE CONDUCTED SO AS TO ENSURE MINIMUM INTERFERENCE WITH STREET'S WALLS, OR OTHER OCCUPIED OR USED FACILITIES.

## FIXTURES

- 1) PROVIDE SEISMIC ANCHORAGE OF ALL APPLIANCES, BOILERS, HVAC, AND WATER HEATERS.
- 2) VERIFY CLEARANCES FOR BOILERS, WATER HEATERS, AND APPLIANCES PER MANUFACTURERS' SPECIFICATIONS AND INSTALL ACCORDINGLY.
- 3) GENERAL CONTRACTOR SHALL ENSURE THAT ALL APPLIANCES, WINDOWS, FLOORING, FIXTURES, EQUIPMENT AND OTHER SYSTEMS ARE INSTALLED PER MANUFACTURER RECOMMENDATIONS AND REQUIREMENTS.
- 4) WATER HEATERS / FURNACES LOCATED IN GARAGE SPACES MUST BE PLACED ON A PLATFORM THAT ELEVATES THE POINT OF IGNITION A MIN. OF 18" ABOVE GARAGE FLOOR.
- 5) PROVIDE EXHAUST VENTILATION TO THE OUTSIDE FROM ALL GAS BURNING APPLIANCES. THE VENT IS TO TERMINATE MINIMUM 4' FROM PROPERTY LINE.

## CONSTRUCTION

- 1) "TYPICAL" MEANS THAT THIS ITEM IS VIRTUALLY IDENTICAL ACROSS SIMILAR CONDITIONS. "TYP" SHALL BE UNDERSTOOD TO MEAN "TYPICAL WHERE OCCURS" AND SHALL NOT BE CONSIDERED AS WITHOUT EXCEPTION OR CONSIDERATION OF SPECIFIC CONDITIONS. IN CASE OF DISCREPANCY, CONSULT WITH THIS PLAN'S AUTHOR BEFORE PROCEEDING.
- 2) "AS REQUIRED" MEANS AS REQUIRED BY REGULATORY REQUIREMENTS, BY REFERENCED STANDARDS, BY EXISTING CONDITIONS, BY BEST GENERALLY CONSTRUCTION PRACTICE OR BY THE CONTRACT DOCUMENTS.

## GENERAL BUILDING

- 1) ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH ALL BUILDING CODES LISTED.
- 2) EACH BEDROOM IS TO HAVE AT LEAST ONE RESCUE WINDOW, WHICH MUST HAVE A 20" MINIMUM CLEAR WIDTH AND 24" MINIMUM CLEAR HEIGHT. 5.7 MINIMUM SQUARE FEET NET CLEAR OPENING, WITH WINDOW SILL WITHIN 44" OF FLOOR. (CRC R310.1.1)
- 3) "ELECTRICAL, MECHANICAL & PLUMBING DESIGN, ENGINEERING, DOCUMENTATION & INSTALLATION ARE THE DESIGN BUILD RESPONSIBILITY OF THE GENERAL CONTRACTOR. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO PROVIDE & COORDINATE THIS WORK & TO OBTAIN ALL RELEVANT PERMITS. THIS WORK SHALL BE COORDINATED WITH THE DESIGNER & SHALL COMPLY WITH THE CBC, CFC, CMC, CPC, CEC AND ALL LOCAL AMENDMENTS. SUCH WORK SHALL NOT PROCEED UNTIL ALL REQUIREMENTS REGARDING ENGINEERING, SUBMISSIONS & REVIEWS HAVE BEEN SATISFIED."
- 4) STAIRS PER CRC R311.7 FOR PRIVATE RESIDENCE: MAX. RISER HEIGHT: 7 3/4", MINIMUM TREAD DEPTH: 10" (UNLESS OCCUPANT LOAD IS 10 OR MORE, THEN MAX. RISER HEIGHT IS 7" AND MIN. TREAD DEPTH IS 11"). DEPTH OF LANDING GREATER THAN OR EQUAL TO STAIR WIDTH, 36" OK FOR STRAIGHT RUNS. MAINTAIN A CONSTANT CLEAR HEAD HEIGHT OF 6'8" AT ALL TIMES. MAX DIFFERENTIAL BETWEEN TREAD DEPTH TO BE 3/8" OR LESS.

## GENERAL BUILDING (CONT.)

- 5) HANDRAILS PER CRC R311.7.8 FOR PRIVATE RESIDENCE: ALL STAIRS WITH MORE THAN THREE RISERS ARE TO HAV ONE HANDRAIL. HANDRAILS ARE TO BE 1 1/4" MIN. TO 2" MAX. IN CROSS SECTIONAL DIMENSION (OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE), AND MUST MAINTAIN A HEIGHT BETWEEN 34" AND 38" ABOVE STAIR NOSINGS. HANDRAILS ARE TO BE CONTINUOUS AT EACH FLIGHT OF STAIRS, AND NEED NOT EXTEND BEYOND THE FIRST AND LAST RISER. HANDRAILS ARE PERMITTED TO BE INTERRUPTED BY A NEWEL POST. CLEAR SPACE BETWEEN A HAND-RAIL AND A WALL OR OTHER SURFACE SHALL BE AT LEAST 1 1/2". ENDS OF HANDRAILS SHALL RETURN TO A WALL, NEWEL POST, BALUSTER OR TO THE WALKING SURFACE.
- 6) GUARDRAILS PER CRC R312 FOR PRIVATE RESIDENCE: GUARDS ARE TO BE 42" MINIMUM ABOVE THE FINISHED FLOOR, AND ARE TO BE CONSTRUCTED SUCH THAT THERE ARE NO OPENINGS LARGE ENOUGH FOR A 4" DIAMETER SPHERE TO PASS THROUGH. GUARDRAILS WHOSE TOP RAIL ALSO SERVES AS A HANDRAIL SHALL HAVE A HEIGHT AS REQUIRED FOR HANDRAILS. THE TRIANGULAR OPENINGS FORMED BY THE RISER TREAD AND BOTTOM RAIL AT THE OPEN SIDE OF A STAIRWAY SHALL BE OF A MAXIMUM SIZE SUCH THAT A SPHERE OF 6" IN DIAMETER CANNOT PASS THROUGH.
- 7) AT TOILETS A MINIMUM DIMENSION OF 15" IS TO BE KEPT FROM CENTERLINE OF TOILET TO A WALL ON EITHER SIDE, AND A MINIMUM OF 24" CLEAR IN FRONT OF THE TOILET.
- 8) SHOWERS MUST HAVE A MINIMUM CLEAR AREA INSIDE OF 30" IN DIAMETER.
- 9) MINIMUM HEAD HEIGHT: 7' 6" IN HABITABLE ROOMS. 7' IN KITCHENS, HALLS AND BATHS. FOR SLOPED CEILINGS: PRESCRIBED MIN. HEAD HEIGHT TO OCCUR IN 50 PERCENT OF AREA.

10) ATTIC VENTING PER CRC R806.2: MIN. OF 1/150 OF ATTIC AREA TO BE VENTED OR 1/300 IF HI/LOW METHOD USED. LOW VENTS VIA EAVE OR CORNICE WITH HIGH VENTS MIN. 3' ABOVE EAVE OR CORNICE. USE 1/4" MESH.

11) 22" X 30" ATTIC ACCESS PANEL TO BE PROVIDED FOR ATTICS WITH GREATER THAN OR EQUAL TO 30" HT. PROVIDE 30" UNOBSTRUCTED HEADROOM ABOVE ACCESS PANEL. (CRC R807.1)

12) UNDER-FLOOR (OR CRAWL-SPACE) VENTING PER CRC R408.1: MIN. OF 1 SQUARE FOOT VENTING PER 150 SQ.

14) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER CONTRACTOR'S SUPERVISION AND SHALL MAINTAIN CURRENT CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION.

15) FINAL LOCATIONS OF ALL EQUIPMENT, SERVICES, PANEL BOARDS, FIXTURES, SWITCHES AND OUTLETS, WATER HEATER, FURNACES, BOILERS, ETC. SHALL BE APPROVED BY THIS PLAN'S AUTHOR PRIOR TO INSTALLATION.

16) ALL INSTALLED PLUMBING, MECHANICAL & ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY, SMOOTHLY & FREE OF VIBRATION. SEE MANUFACTURERS' RECOMMENDATIONS FOR ACOUSTICALLY SOUND CONSTRUCTION METHODS.

17) CONTRACTOR IS TO DISCUSS WITH OWNER OR THE OWNER'S REPRESENTATIVE THE VARIOUS INSULATION OPTIONS PRIOR TO ENGAGING THE SUB, INCLUDING BUT NOT LIMITED TO BATS, FOAM AND CELLULOSE. THE OWNER OR THE OWNER'S REPRESENTATIVE SHOULD BE ENABLED TO VALUE-ENGINEER THEIR DECISION GIVEN THAT, WHILE CONCEALED, INSULATION MATTERS IN THE LONG-TERM ENERGY PERFORMANCE OF THE BUILDING.

18) CONTRACTOR IS TO ENSURE THAT INSULATION IS INSTALLED SO THAT IT IS THE MOST EFFECTIVE. PRIOR TO CLOSING UP THE WALLS, INSULATION INSTALLATION IS TO BE VERIFIED BY A THIRD-PARTY PROFESSIONAL AND/OR THIS PLAN'S AUTHOR.

19) THE CONTRACTOR SHALL FURNISH TO THE OWNER AN OWNER MANUAL FOR THE HOME, WHICH SHALL INCLUDE BUT NOT BE LIMITED TO MANUFACTURER'S INSTRUCTION, OPERATION & MAINTENANCE MANUALS FOR PRODUCTS & EQUIPMENT, SPECIAL TOOLS, ACCESSORIES, SPARE PARTS, ETC.

20) ALL WORK SHALL ACCOUNT FOR MATERIAL EXPANSION & CONTRACTION, SHRINKAGE, BUILDING MOVEMENTS, ETC, SUFFICIENT TO PREVENT CRACKS, BUCKLING, WARPING OR OTHER DEFORMATION DUE TO HUMIDITY & TEMPERATURE CHANGE & NORMAL LOADING.

21) MOISTURE BARRIERS AND MOISTURE REDUCTION SYSTEMS SHALL BE USED WHENEVER APPROPRIATE, ACCORDING TO INDUSTRY'S BEST PRACTICE AND/OR MANUFACTURER'S RECOMMENDATIONS.

22) ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE.

23) FOR GYPSUM BOARD USED AS THE BACKER OR BASE FOR CERAMIC TILES OR OTHER NON-ABSORBENT FINISH MATERIALS IN TUB OR SHOWER AREAS, PROVIDE FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM OR FIBER-REINFORCED GYPSUM BACKERS SUCH AS WONDER-BOARD, HARDI-BACKER, DENSE SHIELD OR EQUIVALENT. CRC SECTION R702.4.2 AND TABLE R702.4.2.

## PLUMBING

- 1) ALL PLUMBING FIXTURES TO COMPLY WITH WATER EFFICIENCY AND CONSERVATION THAT 20% SAVING IN POTABLE WATER USING AS A BASELINE TABLE 4.303.1 AS A MANDATORY MEASURE OF THE GREEN CODE, IT IS ACCOMPLISHED THROUGH THE PRESCRIPTIVE METHOD, AS SPECIFIED ABOVE (CGBSC SECTION 3.303)
- 2) ALL NEW GAS PIPING SHALL BE SIZED TO SUPPLY SUFFICIENT GAS TO THE APPLIANCES. THE GAS PIPING SHALL BE TESTED WITH 3 LBS OF PRESSURE FOR A MINIMUM OF 10 MINUTE. TESTING GAUGE MUST READ IN TENTHS.
- 3) HOT WATER PIPING 3/4" AND GREATER SERVING A KITCHEN SHALL BE INSULATED WITH MINIMUM 1" WALL THICKNESS INSULATION.
- 4) ALL OVEN AND STOVE GAS VALVES SHALL BE ACCESSIBLE AND BE WITHIN 6' OF THE APPLIANCE. CONNECTORS MAY NOT BE CONCEALED OR PASS THROUGH ANY FLOOR, WALL PARTITION, CEILING OR APPLIANCE HOUSING.
- 5) A 2" ASSESSABLE PLUMBING CLEANOUT UNDER KITCHEN SINK SHALL BE REQUIRED IF THE SINK IS THE HIGHEST FIXTURE ON THE SYSTEM.
- 6) AN AIR-GAP ABOVE THE SINK RIM SHALL BE INSTALLED BETWEEN THE DISHWASHER DRAINPIPE AND THE GARBAGE DISPOSAL INLET.
- 7) A PRESSURE-ABSORBING DEVICE SHALL BE INSTALLED BEFORE THE DISHWASHER ANGLE-STOP. THE DEVICE SHALL BE AN AIR-CHAMBER OR APPROVED MECHANICAL DEVICE.

8) IN BATHROOMS:

A. A LISTED ANTI-SCALD/ PRESSURE BALANCE VALVE IS REQUIRED IN ALL BATHTUB AND SHOWER COMPARTMENTS.

B. THE TOILET MUST BE A 1.28-GALLON FLUSH MAX.

C. SHOWER WASTE PIPE MUST BE A MINIMUM OF 2".

D. SHOWER PANS: MINIMUM SIZE 1,024 SQ INCHES MIN. INTERIOR DIAMETER 30".

E. PLASTIC LINERS AND UNDERLAYMENT MUST BE SLOPED A MINIMUM OF 1/4" TO THE DRAIN AND BE WRAPPED UP THE WALL A MINIMUM OF 3 INCHES ABOVE THE DAM. A WATER TEST IS REQUIRED TO VERIFY THE PAN DOES NOT LEAK AND TO VERIFY THE WEEP HOLES ARE DRAINING CORRECTLY.

F. ALL NEW PLUMBING PIPING IS REQUIRED TO BE TESTED WITH 10' HEAD OF WATER ABOVE THE HIGHEST FIXTURE OR AN AIR TEST OF 5LBS.

G. TOILETS REQUIRE A NET CLEAR AREA OF 30" IN WIDTH AND 24" CLEAR SPACE IN FRONT.

H. TOILETS AND ALL PLUMBING FIXTURES MUST BE SEALED AT ALL WALL AND FLOOR PENETRATIONS

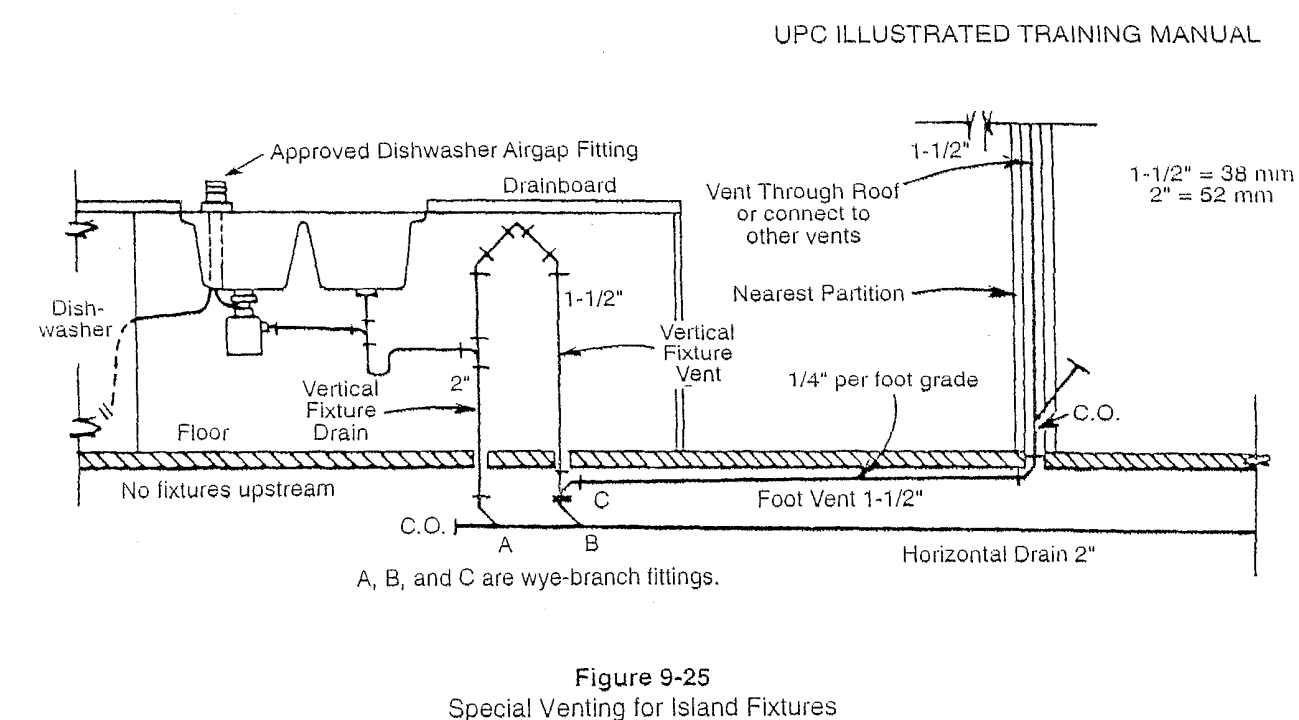
9) PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 301.1, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADED.

A. WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6 GPF WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.28 GPF.

B. SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM 2.0 GPM. SHOWER HEAD.

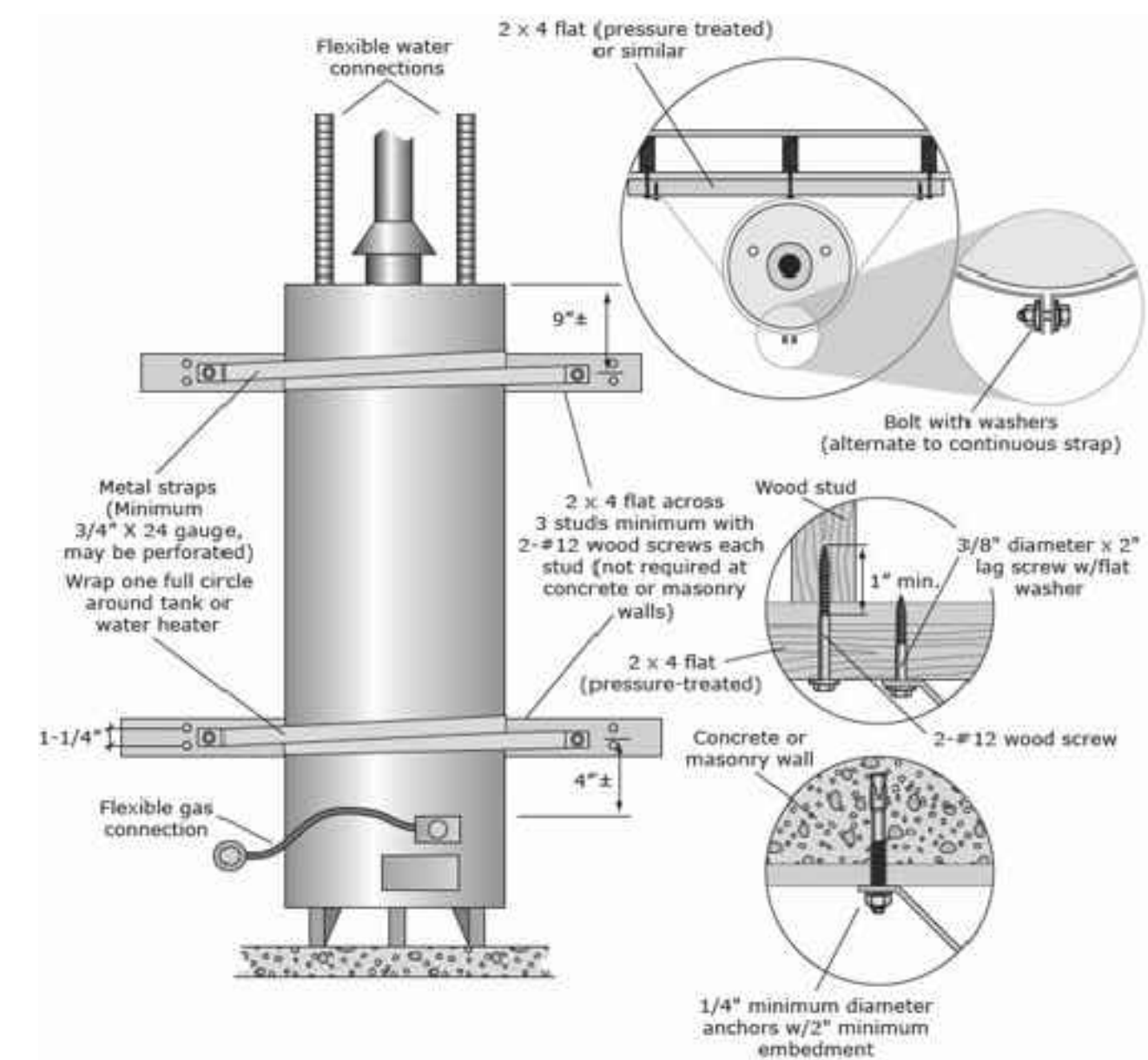
C. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.5 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).

10) SEE FOLLOWING DIAGRAM FOR ISLAND SINK PIPE CONNECTIONS ACCORDING TO CPC 909.0:



## MECHANICAL

- 1) A MINIMUM 4" DIAMETER MOISTURE EXHAUST DUCT OF APPROVED MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH CMC SECTION 504.3.2. DUCT WILL VENT THROUGH THE ROOF DIRECTLY ABOVE THE DRYER. THE RUN OF THE VENT SHALL BE A MAXIMUM OF 14' UNLESS PERMITTED BY MANUFACTURER'S INSTRUCTIONS.
- 2) TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS EXHAUST SHALL BE A MINIMUM OF 3' FROM THE PROPERTY LINE AND ANY OPENINGS INTO THE BUILDING. (CMC 504.5)
- 3) THERE SHALL BE A MINIMUM 15" WIDE CLEAR SPACE FROM WATER CLOSET CENTER TO ANY SIDE WALL OR OBSTRUCTION, EXTENDING AT LEAST 24" IN FRONT. (CPC 407.5)
- 4) SEISMIC ANCHORAGE OF WATER HEATER TO INCLUDE ANCHORS OR STRAPS AT POINTS WITHIN THE UPPER AND LOWER 1/3 OF ITS VERTICAL DIMENSION, THE LOWER ANCHOR/STRAP LOCATED TO MAINTAIN A MINIMUM DISTANCE OF 4" ABOVE THE CONTROLS. (CPC 508.2) USE FOLLOWING TYPICAL FEMA DETAIL:



5) PRESSURE AND TEMPERATURE RELIEF VALVE SHALL BE PROVIDED AT WATER HEATER. RELIEF VALVE LOCATED INSIDE THE BUILDING SHALL BE PROVIDED WITH A DRAIN TO OUTSIDE OF THE BUILDING (CPC 608.5)

6) ENVIRONMENTAL AIR DUCTS, SUCH AS, VENTILATION FOR HUMAN USAGE, KITCHEN RANGE EXHAUST, BATHROOM EXHAUST AND CLOTHES DRYER SHALL BE EQUIPPED WITH BACK-DRAFT DAMPER. (SECTION 504.1)

7) WATER USED FOR HEATING SYSTEM CANNOT BE USED FOR HUMAN CONSUMPTION.

8) A VERTICAL MINIMUM CLEARANCE OF 30" IS REQUIRED ABOVE A RANGE TO COMBUSTIBLE MATERIALS.

9) RANGE HOOD PROVIDING EXHAUST IN KITCHEN FOR LOCAL VENTILATION INDOOR AIR QUALITY REQUIREMENTS TO MEET REQUIREMENTS IN 2016 CA ENERGY CODE SECTION 150(O) AND ASHRAE 62.2.

## SAW

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## MASSCHELEIN RESIDENCE

434 SUMMIT DRIVE  
EMERALD HILLS, CA 94062

PLANNING PERMIT SET

## NOTES

Date: April 1, 2021

Drawn By: JF

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# G101

Scale: NTS

## NOTES:

## MECHANICAL (CONT.)

10) THE PRESCRIPTIVE FAN DUCT SIZING REQUIREMENTS FOR AIR FLOW (PER ASHRAE 62.2-2010 SECTION 4.3) SHALL COMPLY WITH TABLE 7-1 (BELOW) OR COMPLY WITH MANUFACTURER'S DESIGN CRITERIA (NOTE: THIS TABLE IS NOT APPLICABLE FOR SYSTEMS WITH AIRFLOW GREATER THAN 125 CFM AT 0.25 OF WATER COLUMN STATIC PRESSURE). IF NOT IN COMPLIANCE WITH TABLE 7-1, THE VENTILATION SYSTEM WILL BE TESTED USING AN AIRFLOW MEASURING DEVICE AFTER COMPLETION OF THE INSTALLATION OF SYSTEM THAT THE DELIVERED VENTILATION AIRFLOW MEETS THE REQUIREMENT.

Table 4-16 -- Prescriptive Duct Sizing for Single Fan Exhaust Systems (from 62.2, Table 7.1)

Duct Type	Flex Duct				Smooth Duct			
	50	80	100	125	50	80	100	125
Fan Rating 62 Pa (cfm@ 0.25 in. w.c.)								
Diameter inch	Maximum Length ft.							
3	X	X	X	X	5	X	X	X
4	70	3	X	X	105	35	5	X
5	NL	70	35	20	NL	135	85	95
6	NL	NL	125	95	NL	NL	NL	145
7 and above	NL	NL	NL	NL	NL	NL	NL	NL

This table assumes no elbows. Deduct 15 feet of allowable duct length for each elbow.  
NL = no limit on duct length of this size.  
X = not allowed, any length of duct of this size with assumed turns and fitting will exceed the rated pressure drop.

11) PER CEC SECTION 150(O), ALL DWELLING UNITS SHALL MEET THE REQUIREMENTS OF ASHRAE STANDARD 62.2-2010 SECTION 4.6, VENTILATION AND ACCEPTABLE INDOOR AIR QUALITY IN LOW RISE RESIDENTIAL BUILDINGS. LABEL TO BE PROVIDED AT A READILY ACCESSIBLE CONTROL SWITCH WHICH READS "FAN TO BE LEFT ON FOR INDOOR AIR QUALITY" OR IN SIMILAR WORDING.

12) FOR INTERMITTENT LOCAL EXHAUST, THE MINIMUM BATHROOM INTERMITTENT VENTILATION AIRFLOW SHALL BE 50 CFM AND FOR KITCHEN HOOD EXHAUST SHALL BE 100 CFM (OR AS AN ALTERNATE, PROVIDE CEILING OR WALL MOUNTED EXHAUST FAN OR DUCTED VENTILATION SYSTEM THAT PROVIDES AT LEAST 5 AIR CHANGES OF THE KITCHEN VOLUME PER HOUR). ASHRAE 62.2-2010 SECTION 4.6.5.

13) THE SOUND RATING OF VENTILATION FANS SHALL BE RATED AT LESS THAN 1 SONE FOR CONTINUOUS FANS OR A MAXIMUM OF 3 SONE FOR INTERMITTENT FANS; UNLESS THEIR MAXIMUM RATED AIRFLOW EXCEEDS 400 CFM.

## FIRE

1) WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450.

2) SMOKE DETECTORS TO BE INSTALLED IN EACH SLEEPING AREA, THE AREA OUTSIDE SLEEPING AREAS, AND THE TOP AND BOTTOM OF STAIRS. SMOKE DETECTORS TO BE INNER CONNECTED FOR ALARM.

3) CARBON MONOXIDE (CO) DETECTORS TO BE INSTALLED PER CALIFORNIA BUILDING AND RESIDENTIAL CODE REQUIREMENTS.

4) INSTALL APPROVED SPARK ARRESTORS ON EACH NEW CHIMNEY/FLUE/VENT USED FOR FIREPLACES AND HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUEL IS USED.

## WATER EFFICIENCY AND CONSERVATION

1) ALL PLUMBING FIXTURES TO COMPLY WITH WATER EFFICIENCY AND CONSERVATION THAT 20% SAVING IN POTABLE WATER USING AS A BASELINE TABLE 4.303.1 AS A MANDATORY MEASURE OF THE GREEN CODE, IT IS ACCOMPLISHED THROUGH THE PRESCRIPTIVE METHOD. AS SPECIFIED ABOVE (CGBSC SECTION 3.303)

2) I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

## INSULATION

1) SPRAY FOAM INSULATION TO BE APPLIED IN ACCORDANCE WITH ICC REPORT AND MANUFACTURER'S INSTRUCTIONS.

## ENVIRONMENTAL QUALITY

1) WOODSTOVES SHALL COMPLY WITH US EPA PHASE II EMISSIONS.

2) IN ACCORDANCE WITH CGBSC 4.504.2.1, ADHESIVES, SEALANTS AND CAULKS. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY:

A. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS, AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLE 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED IN SUBSECTION 2 BELOW.

B. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

3) IN ACCORDANCE WITH CGBSC 4.504.2.2, PAINTS AND COATINGS. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL APPLY.

5) IN ACCORDANCE WITH CGBSC 4.504.2.3, AEROSOL PAINTS AND COATINGS. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR VOC IN SECTION 94522(A)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(C)(2) AND (D)(2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.

6) IN ACCORDANCE WITH CGBSC 4.504.5 COMPOSITE WOOD PRODUCTS. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD (17 CCR 93120 ET SEQ.), BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS, AS SHOWN IN TABLE 4.504.5.

7) WATER RESISTANT DRYWALL MUST BE INSTALLED AT ALL WET LOCATIONS (NOT FOR DIRECT TILE APPLICATION IN A SHOWER STALL). GREEN BOARD SHALL NOT BE USED IN A WET LOCATION OR ON CEILING. DO NOT INSTALL A VAPOR BARRIER BEHIND WATER RESISTANT DRYWALL. DO NOT INSTALL THE WATER RESISTANT DRYWALL ON THE CEILING UNLESS THE CEILING JOIST ARE NO GREATER THAN 12" APART.

8) CONCRETE BOARD REQUIRES A VAPOR BARRIER TO BE INSTALLED BETWEEN IT AND THE DRYWALL AND OR FRAMING. CORROSION RESISTANT FASTENERS MUST BE USED.

9) WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEAD AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACE SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (CRC R307.2).

## VENTILATION

1) GROUND SURFACE IN CRAWL SPACE TO COVERED WITH CLASS 1 VAPOR RETARDER MATERIAL. TOTAL AREA OF VENTILATION OPENINGS TO BE AT LEAST 1/1500.

TOTAL CRAWL SPACE AREA = 1,368 SF  
VENT DIMENSIONS = 14 X 4  
VENT AIRFLOW RATE = 30%  
OPEN AREA OF EACH VENT = 16.8 SI = 0.117 SF  
MINIMUM NUMBER OF FOUNDATION VENTS = 8

## ROOF CONSTRUCTION

1) ALL LUMBER WITHIN UNVENTILATED ROOF MUST BE KILN DRIED.

## CAL GREEN

1) STORM WATER DRAINAGE AND RETENTION IN COMPLIANCE WITH CGBG 4.106.2 TO BE PROVIDED DURING CONSTRUCTION.

2) DOCUMENTATION AND COMPLIANCE VERIFICATION ON POLLUTION CONTROL MEASURES FOR PAINT, CARPETS OR ANY COMPOSITE WOOD PRODUCTS SHALL BE PROVIDED AT THE REQUEST OF THE BUILDING DEPARTMENT. REFER TO VOC AND FORMALDEHYDE LIMITATION TABLES FROM THE CGBC FOR REFERENCE. CGBC SECTION 4.504. (AT RIGHT)

3) CONTACT THE CITY OF WOODSIDE REGARDING THE REQUIREMENTS FOR THE CONSTRUCTION WASTE MANAGEMENT PLAN PER GCBC SECTION 4.408.1 (MINIMUM OF 65% OR MEET A MORE STRINGENT LOCAL WASTE MANAGEMENT ORDINANCE.

4) PER GCBC 4.410, AT THE TIME OF FINAL INSPECTION, A MANUAL SHALL BE PROVIDED TO THE BUILDING OWNER OR OCCUPANTS WHICH INCLUDES THE FOLLOWING REQUIREMENTS:

A. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.

B. OPERATION AND MAINTENANCE INSTRUCTIONS FOR EQUIPMENTS AND APPLIANCES, ROOF AND YARD DRAINAGE, SPACE CONDITIONING SYSTEMS, LANDSCAPE IRRIGATION SYSTEMS AND WATER REUSE SYSTEMS.

C. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION INCLUDING RECYCLE PROGRAMS. PUBLIC TRANSPORTATION AND/OR CAR POOL OPTIONS AVAILABLE IN THE AREA, PLUS ITEMS COVERED UNDER CGBC SECTION 4.410(5) THRU (10).

5) BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE OF BUILDING. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80% AND READILY ACCESSIBLE. (CGBC SECTION 4.506)

6) OUTDOOR WATER USE IN LANDSCAPED AREAS SHALL COMPLY WITH CITY OF WOODSIDE'S WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEL0), WHICHEVER IS MORE STRINGENT. (CGBC 4.304)

7) ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD. (CGBC 4.406)

TABLE 4.504.1 ADHESIVE VOC LIMIT <sup>1,2</sup> Less Water and Less Exempt Compounds in Grams per Liter	
ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80

1. If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.  
2. For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168.

TABLE 4.504.2 SEALANT VOC LIMIT Less Water and Less Exempt Compounds in Grams per Liter	
SEALANTS	CURRENT VOC LIMIT
Architectural	250
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural	
Nonporous	250
Porous	775
Modified bituminous	500
Marine deck	760
Other	750

TABLE 4.504.3 VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS <sup>1,3</sup> Grams of VOC per Liter of Coating, Less Water and Less Exempt Compounds		
COATING CATEGORY	EFFECTIVE 1/1/2010	EFFECTIVE 1/1/2012
Flat coatings	50	
Nonflat coatings	100	
Nonflat-high gloss coatings	150	
SPECIALTY COATINGS		
Aluminum roof coatings	400	
Basement specialty coatings	400	
Bituminous roof coatings	50	
Bituminous roof primers	350	
Bond breakers	350	
Concrete curing compounds	350	
Concrete/masonry sealers	100	
Driveway sealers	50	
Dry fog coatings	150	
Faux finishing coatings	350	
Fire resistive coatings	350	
Floor coatings	100	
Form-release compounds	250	
Graphic arts coatings (sign paints)	500	
High temperature coatings	420	
Industrial maintenance coatings	250	
Low solids coatings <sup>1</sup>	120	
Magnesium cement coatings	450	
Mastic texture coatings	100	
Metallic pigmented coatings	500	
Multicolor coatings	250	
Pretreatment wash primers	420	
Primers, sealers, and undercoaters	100	
Reactive penetrating sealers	350	
Recycled coatings	250	
Roof coatings	50	
Rust preventative coatings	400	250
Shellacs		
Clear	730	
Opaque	550	
Specialty primers, sealers and undercoaters	350	100
Stains	250	
Stone consolidants	450	
Swimming pool coatings	340	
Traffic marking coatings	100	
Tub and tile refinish coatings	420	
Waterproofing membranes	250	
Wood coatings	275	
Wood preservatives	350	
Zinc-rich primers	340	

1. Grams of VOC per liter of coating, including water and including exempt compounds.  
2. The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.  
3. Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.

## SAW

SAW // SPIEGEL AHARA WORKSHOP //  
2325 3rd St. #216 // San Francisco, CA 94107 //  
415.269.3725 //  
www.s-a-works.com //



## MASSCHELEIN RESIDENCE

434 SUMMIT DRIVE  
EMERALD HILLS, CA 94062

PLANNING PERMIT SET

## NOTES

Date: April 1, 2021

Drawn By: JF

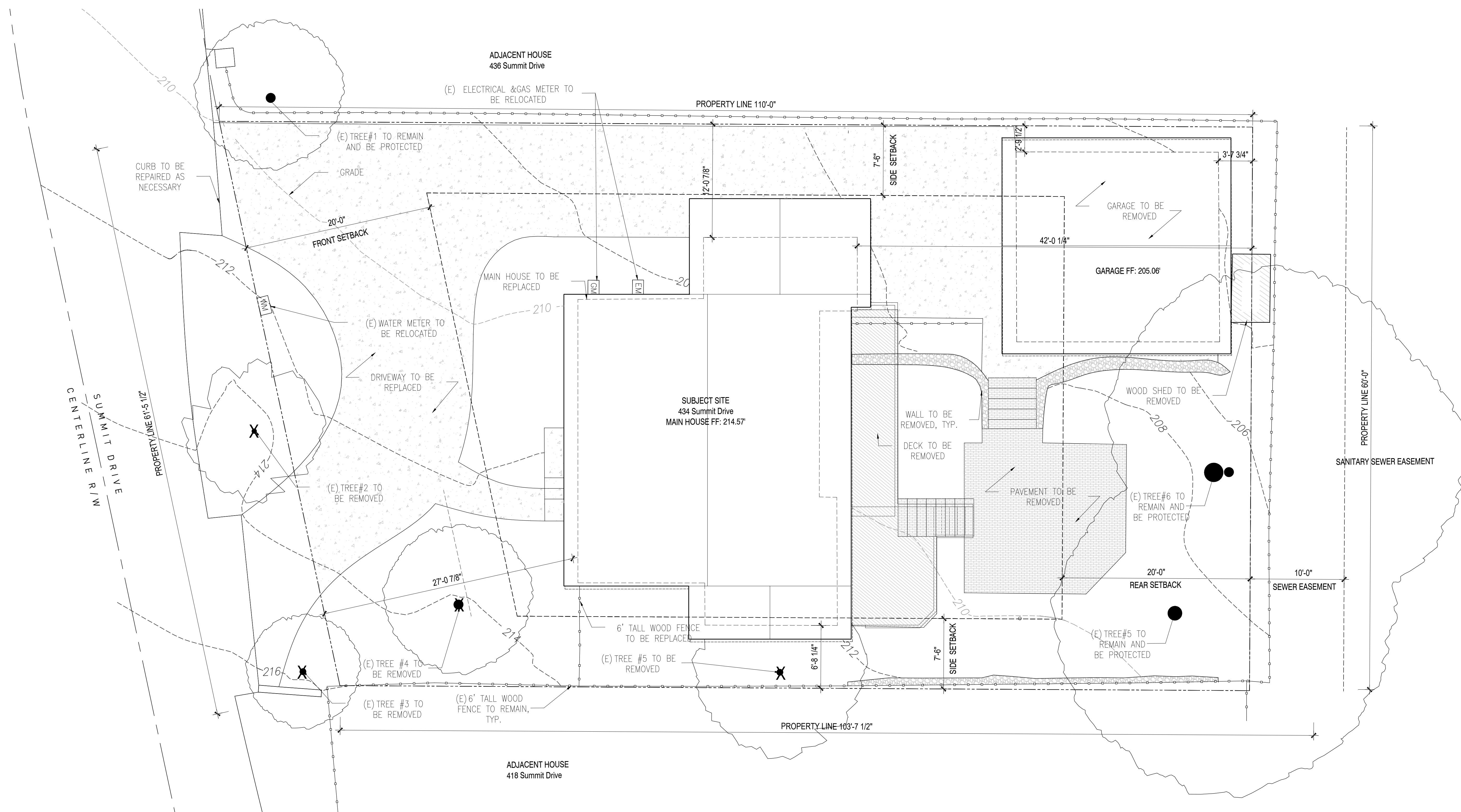
Checked By: DS

# G102

Scale: NTS



NOTE:  
 1. SEE L400 FOR TREE INVENTORY  
 2. SEE A001 FOR PARCEL INFORMATION



**SITE PLAN- EXISTING**  
 EXISTING

1  
 3/16" = 1'-0"

**MASSCHELEIN RESIDENCE**

434 SUMMIT DRIVE  
 EMERALD HILLS, CA 94062

PLANNING PERMIT SET

SITE PLAN - EXISTING

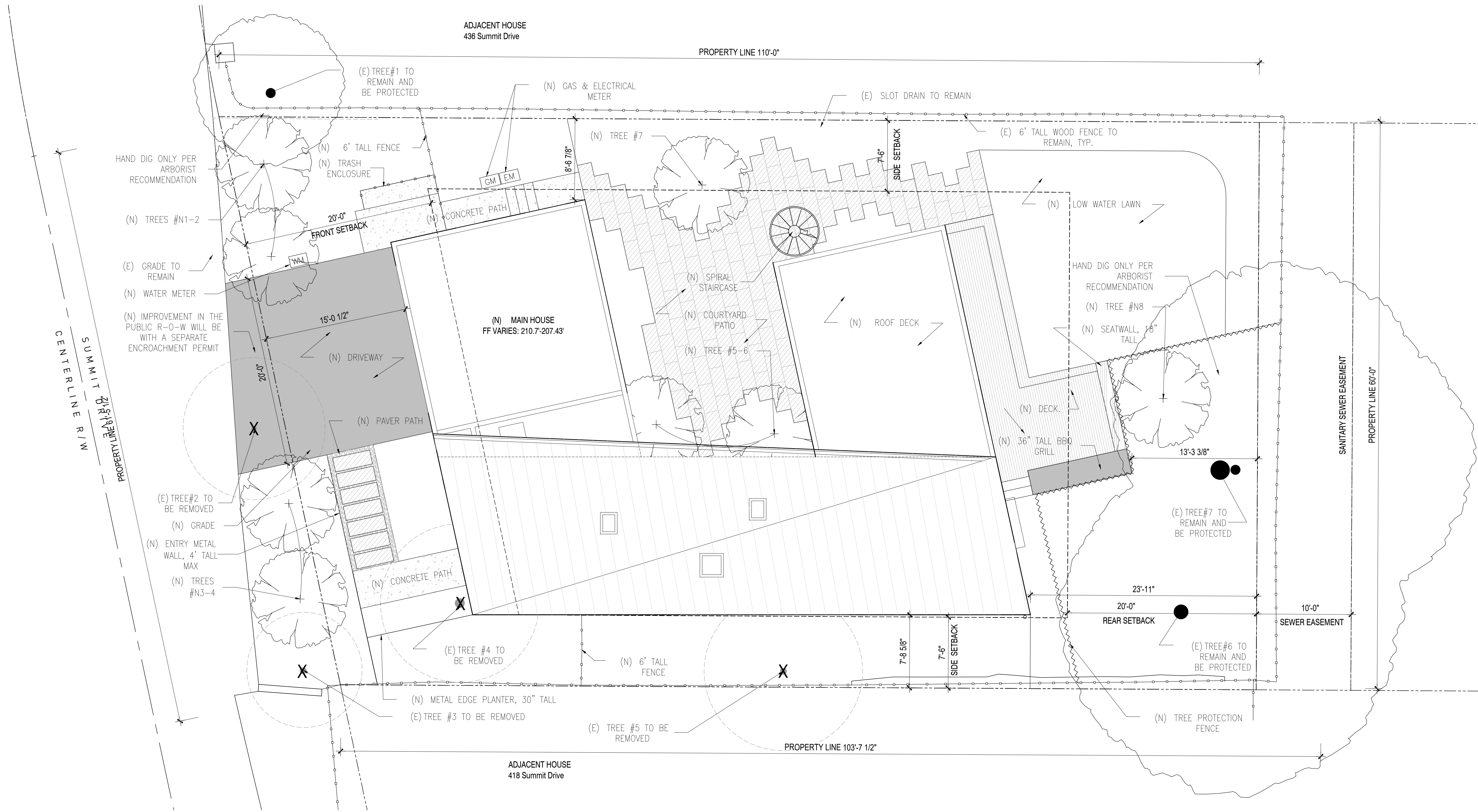
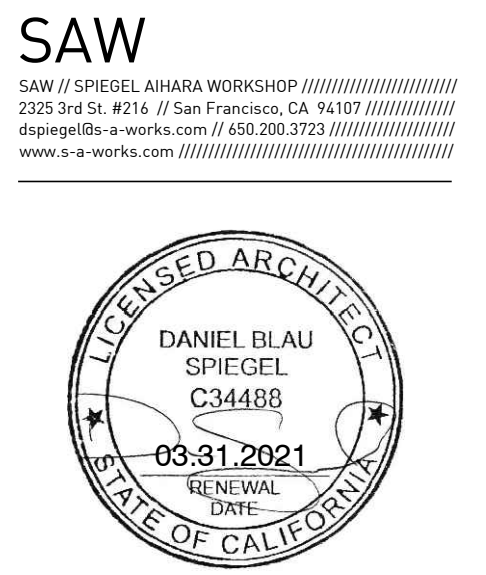
Date: April 1, 2021  
 Drawn By: SL  
 Checked By: DS

**AX001**  
 Scale: 3/16" = 1'-0"

PROJECT ADDRESS: 434 SUMMIT DRIVE, EMERALD HILLS, CA 94062	
PARCEL NO.: 057-143-100	
SITE ZONING DISTRICT: RH,DR	
LOT AREA	6180 SF (Non-Conforming Site, Min. Lot Area:12,000 SF)
FLOOR AREA LIMIT (FAL)	2400 SF
MAXIMUM ALLOWABLE LOT COVERAGE	1,545   25%

PROJECT DATA	EXISTING (SQ FT)	PROPOSED (SQ FT)
SQFT OF STRUCTURES	980 SF (Main House) +427.5 SF (Garage) = 1407.5 SF	2,688 SF (Previously Permitted For 2700 SF)
FLOOR AREA RATIO (FAR)	22.8%	43.5%
LOT COVERAGE	1247 SF (Main House) +561 SF (Garage) = 1808 SF   29.3%	1,754 SF (Main house)   31.2%
LANDSCAPING AREA	665 SF- REHABILITATE	1730 SF - NEW
TREE PROTECTION FENCE	~~~~~	

- NOTE:
- SEE L400 FOR TREE INVENTORY.
  - SEE L100 FOR LANDSCAPE MATERIALS.
  - SEE CIVIL DWG FOR GRADING AND DRAINAGE PLAN.
  - SEE ARBORIST REPORT AND CIVIL SHEET C-3.2 FOR TREE PROTECTION DETAILS.



**SITE PLAN- PROPOSED**  
PROPOSED

1  
3/16" = 1'-0"

MASSCHELEIN RESIDENCE

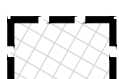
434 SUMMIT DRIVE  
EMERALD HILLS, CA 94062

PLANNING PERMIT SET

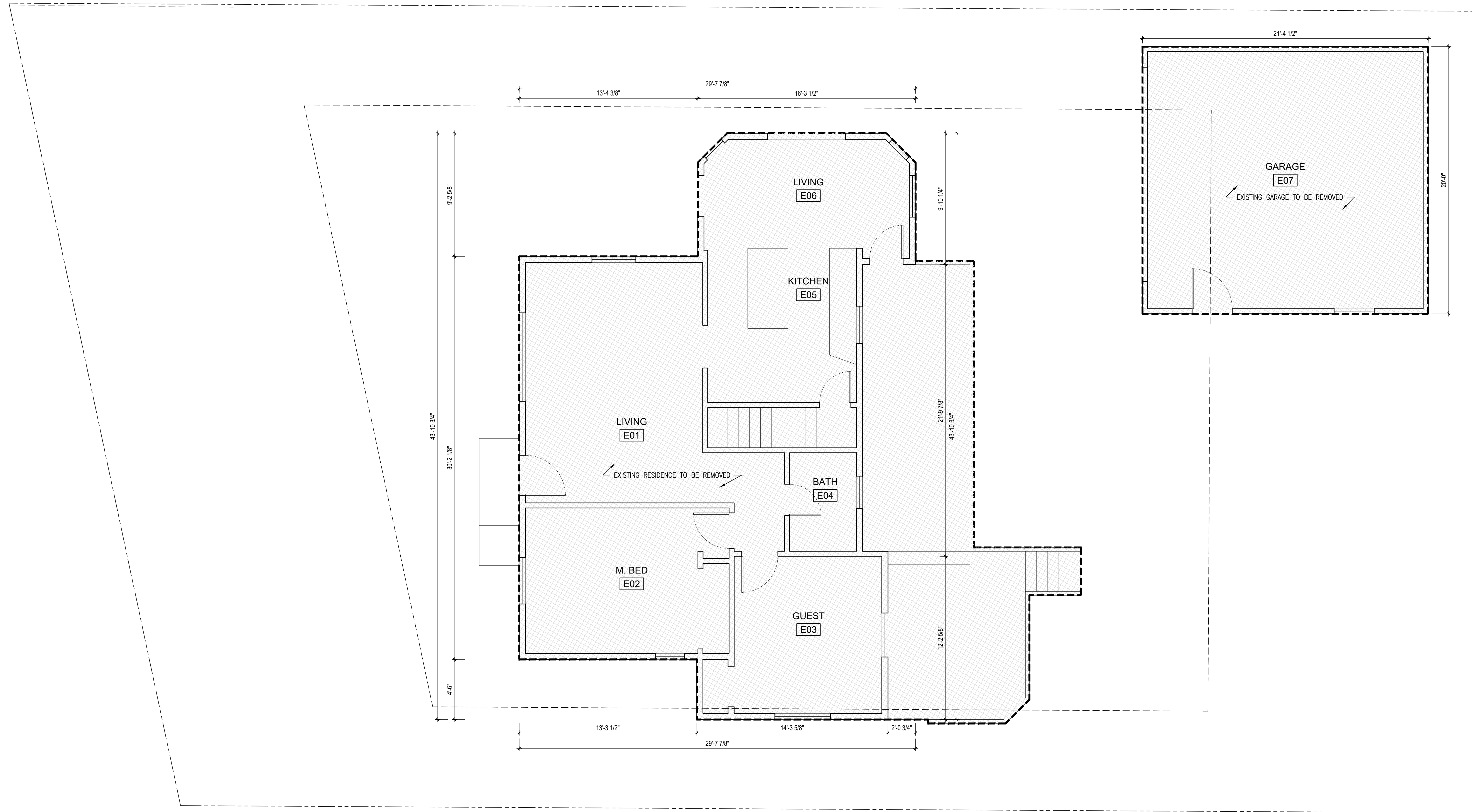
SITE PLAN - PROPOSED

Date: April 1, 2021  
Drawn By: SL  
Checked By: DS

**A001**  
Scale: 3/16" = 1'-0"

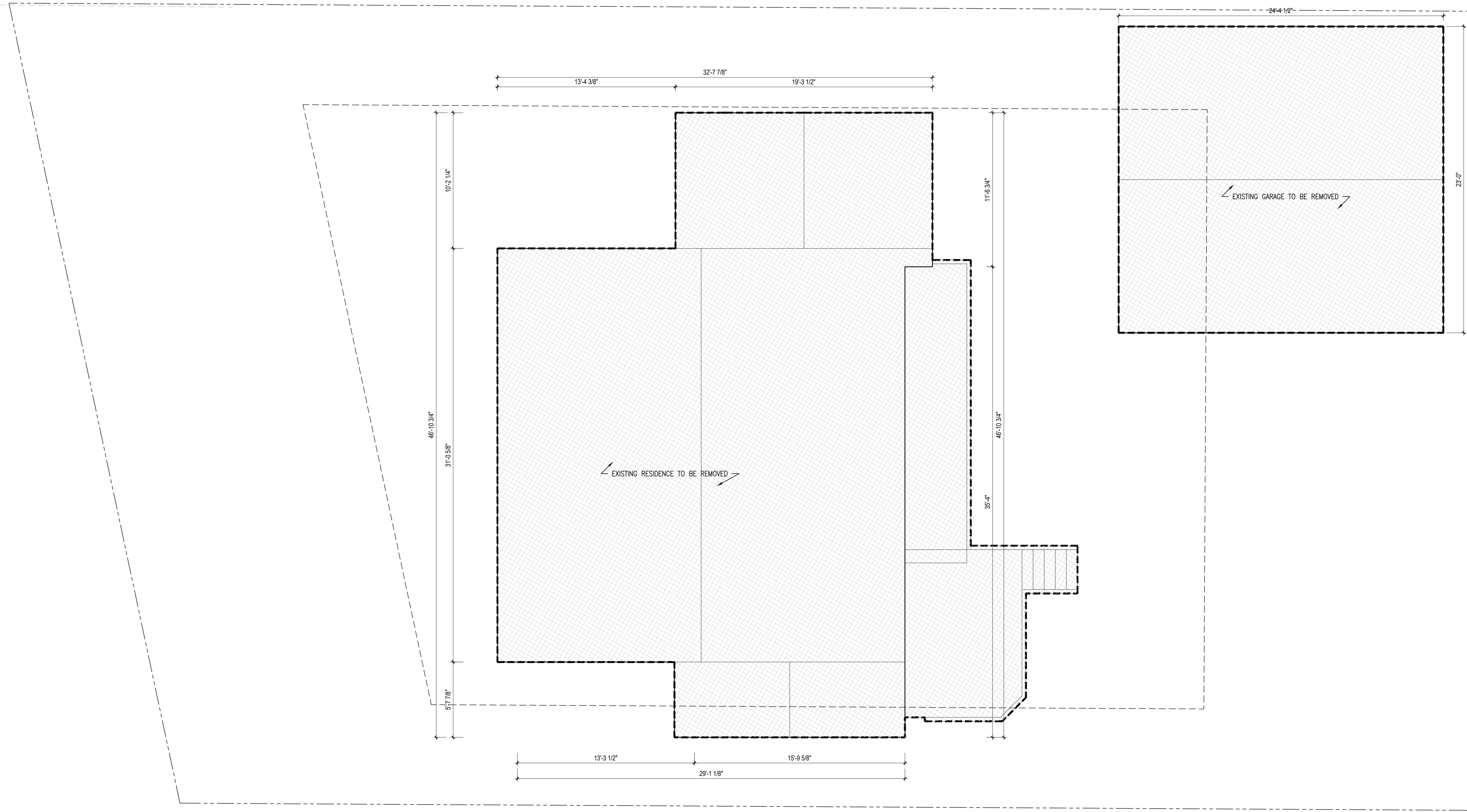
**KEY LEGEND:**  
 (E) STRUCTURES TO BE REMOVED

**GENERAL NOTES:**  
 - ALL DIMENSIONS ON THIS SHEET ARE TAKEN FROM FINISH SURFACES U.N.O.



**KEY LEGEND:**  
 (E) STRUCTURES TO BE REMOVED

**GENERAL NOTES:**  
 - ALL DIMENSIONS ON THIS SHEET ARE TAKEN FROM FINISH SURFACES U.N.O.



**ROOF PLAN**  
 EXISTING

**1**  
 1/4" = 1'-0"

**MASSCHELEIN  
 RESIDENCE**

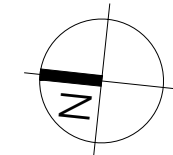
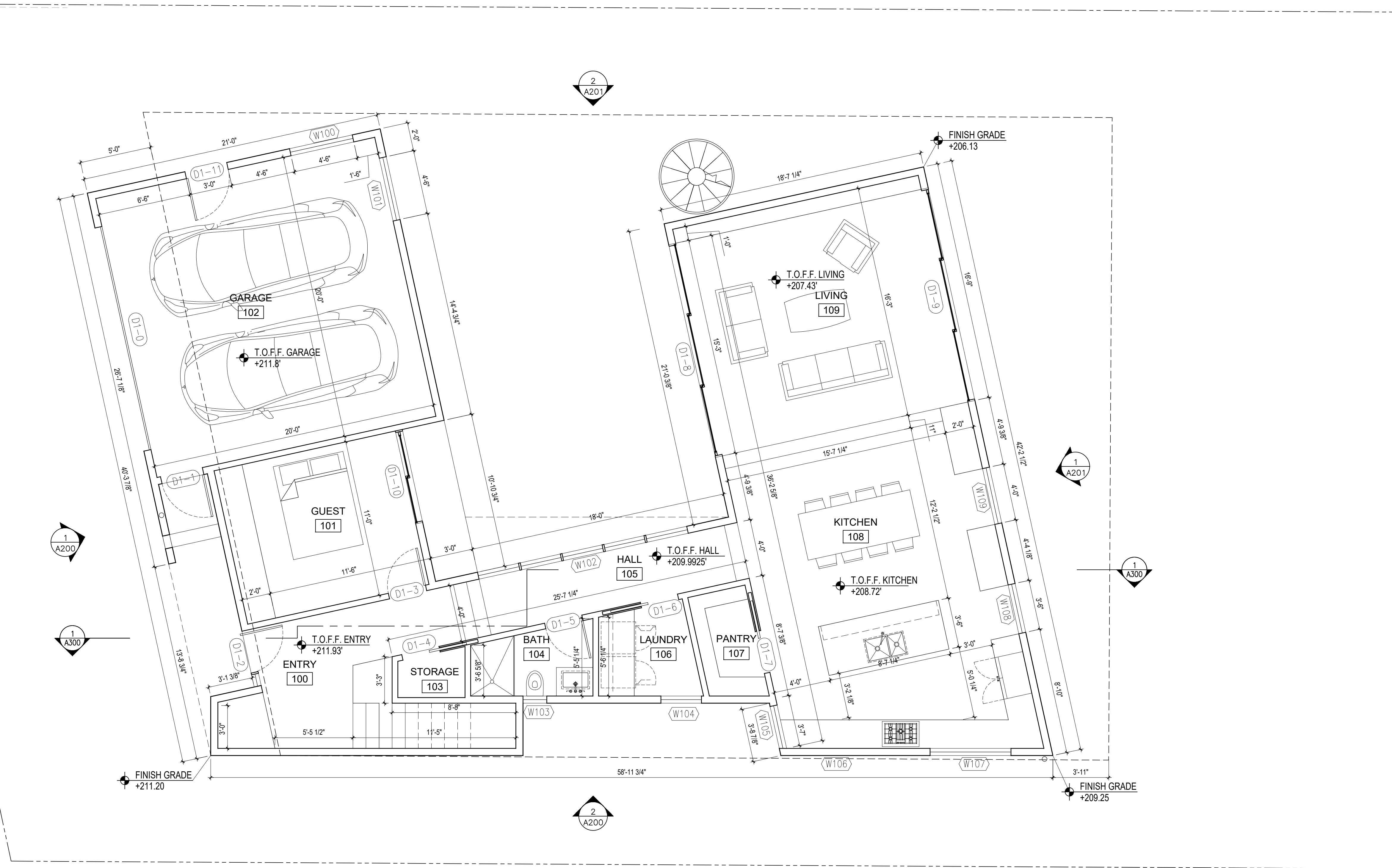
434 SUMMIT DRIVE  
 EMERALD HILLS, CA 94062

PLANNING PERMIT SET

PLANS - EXISTING - ROOF  
 PLAN

Date: April 1, 2021  
 Drawn By: JF  
 Checked By: DS

**AX101**  
 Scale: 1/4" = 1'-0"



FIRST FLOOR PLAN - 1754 SF (2688 SF TOTAL)

PROPOSED

1  
 1/4" = 1'-0"

MASSCHELEIN  
 RESIDENCE

434 SUMMIT DRIVE  
 EMERALD HILLS, CA 94062

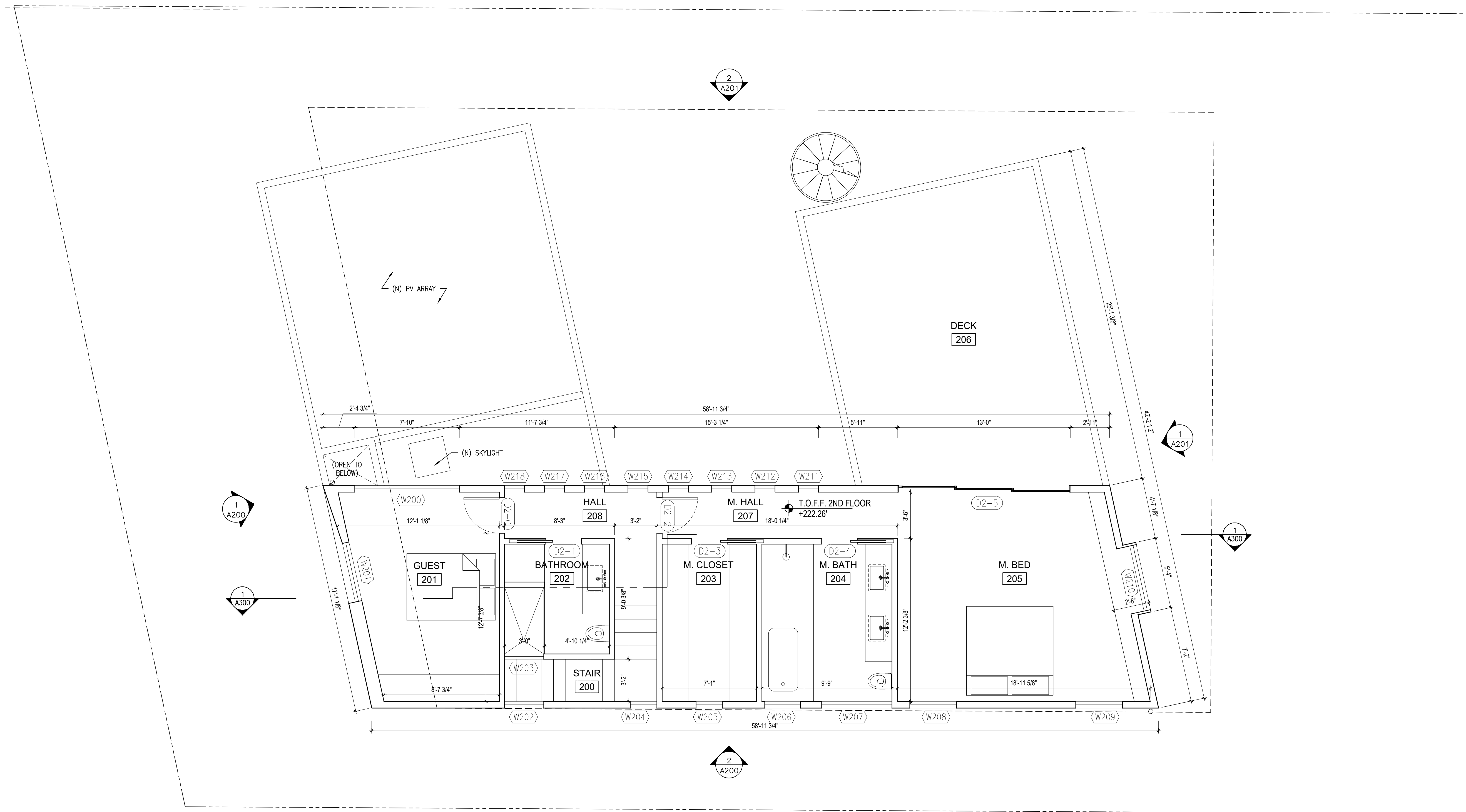
PLANNING PERMIT SET

PLANS - PROPOSED -  
 FIRST FLOOR PLAN

Date: April 1, 2021  
 Drawn By: JF  
 Checked By: DS

A100  
 Scale: 1/4" = 1'-0"





MASSCHELEIN  
 RESIDENCE

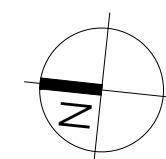
434 SUMMIT DRIVE  
 EMERALD HILLS, CA 94062

PLANNING PERMIT SET

PLANS - PROPOSED -  
 SECOND FLOOR PLAN

Date: April 1, 2021  
 Drawn By: JF  
 Checked By: DS

**A101**  
 Scale: 1/4" = 1'-0"

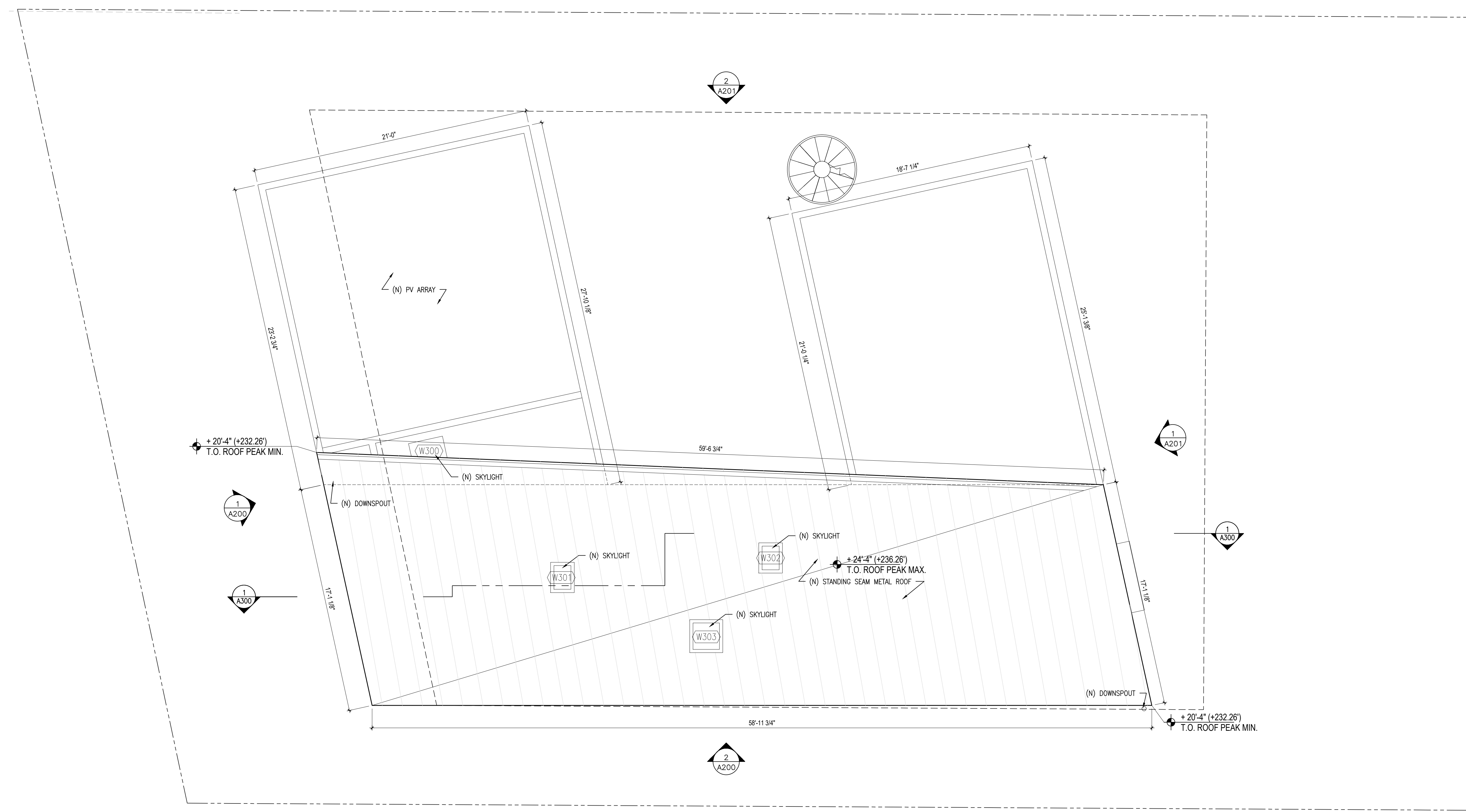


SECOND FLOOR PLAN - 934 SF (2688 SF TOTAL)

PROPOSED

1

1/4" = 1'-0"



MASSCHELEIN  
 RESIDENCE

434 SUMMIT DRIVE  
 EMERALD HILLS, CA 94062

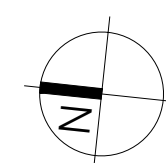
PLANNING PERMIT SET

PLANS - PROPOSED -  
 ROOF PLAN

Date: April 1, 2021  
 Drawn By: JF  
 Checked By: DS

A102

Scale: 1/4" = 1'-0"



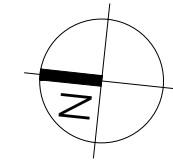
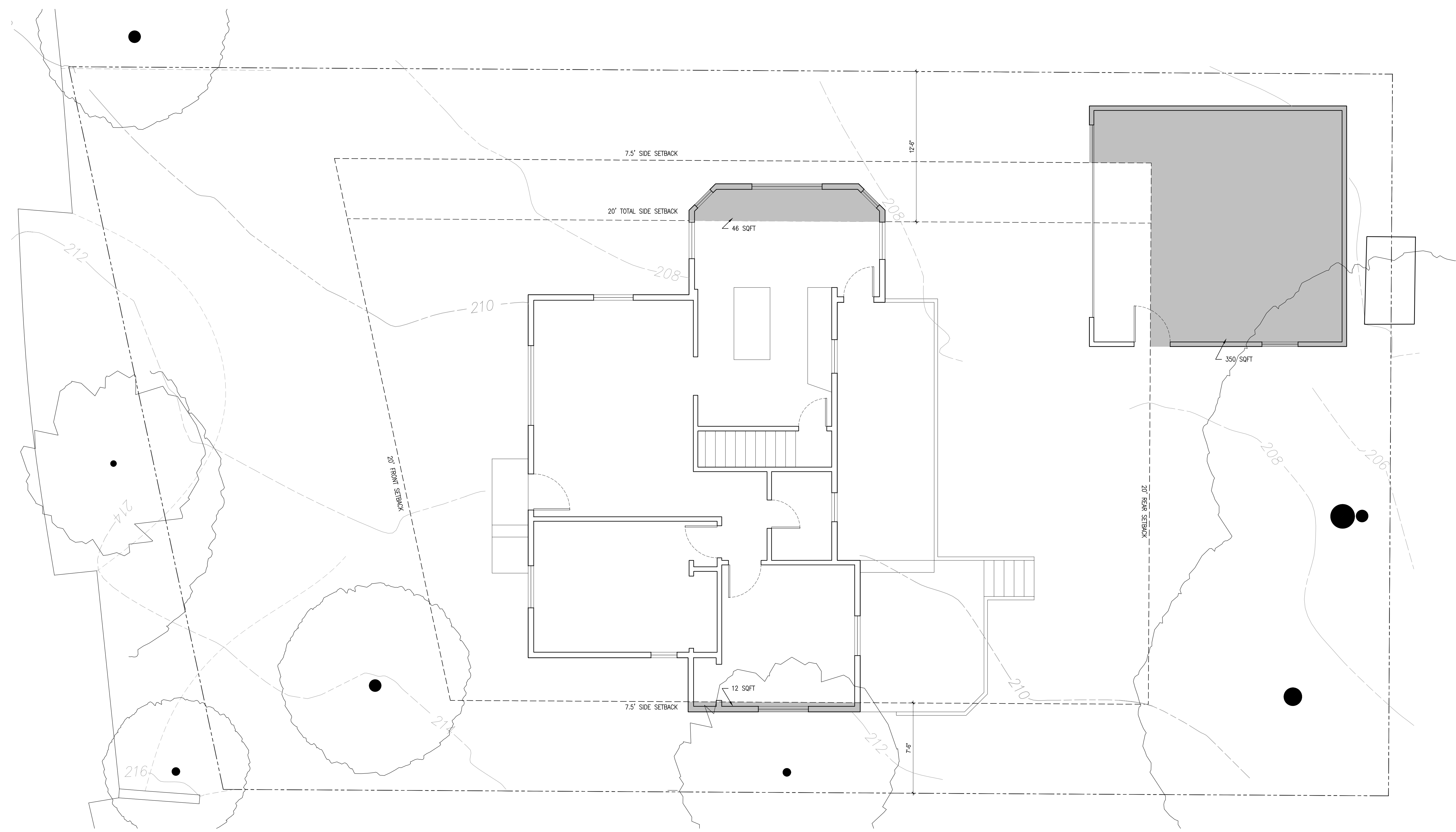
ROOF PLAN - (2688 SF TOTAL)

PROPOSED

1

1/4" = 1'-0"

**GENERAL NOTES:**  
 - ALL DIMENSIONS ON THIS SHEET ARE TAKEN FROM FINISH SURFACES U.N.O.



**FIRST FLOOR PLAN (408 SF OVER SETBACK)**  
 EXISTING

**MASSCHELEIN RESIDENCE**

434 SUMMIT DRIVE  
 EMERALD HILLS, CA 94062

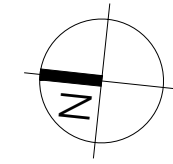
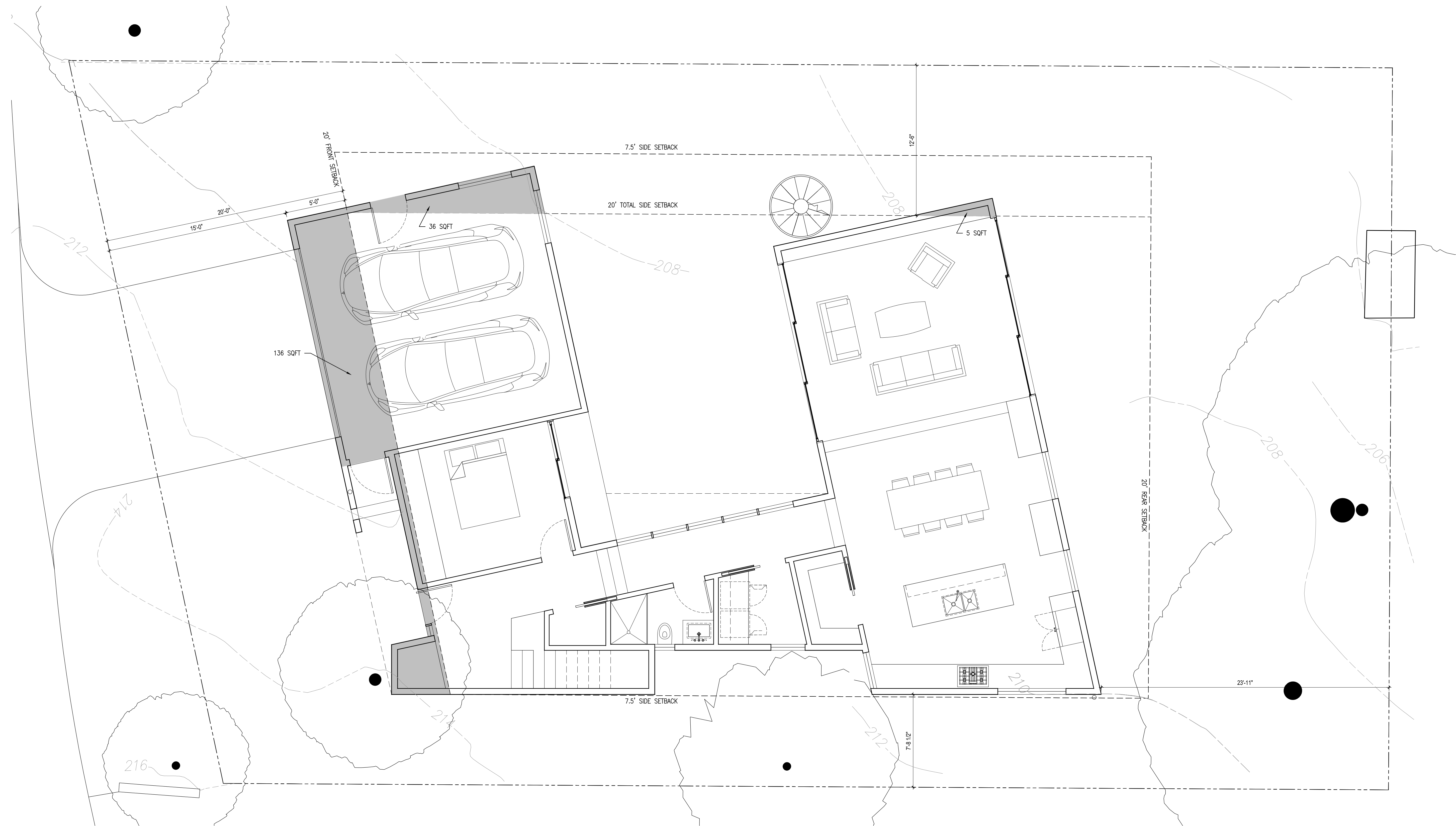
PLANNING PERMIT SET

PLANS - DIAGRAMS

Date: April 1, 2021  
 Drawn By: JF  
 Checked By: DS

**A110**  
 Scale: 1/4" = 1'-0"

**GENERAL NOTES:**  
 - ALL DIMENSIONS ON THIS SHEET ARE TAKEN FROM FINISH SURFACES U.N.O.



**FIRST FLOOR PLAN (177 SF OVER SETBACK)**  
 PROPOSED

**MASSCHELEIN RESIDENCE**

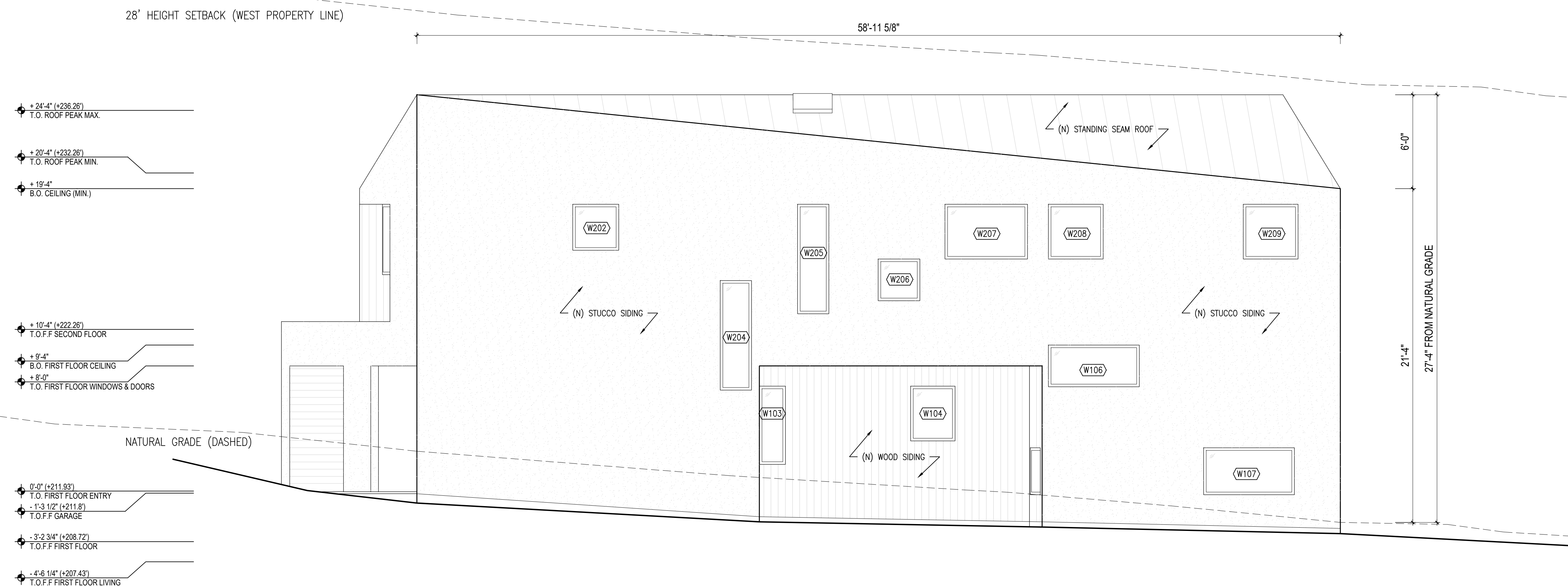
434 SUMMIT DRIVE  
 EMERALD HILLS, CA 94062

PLANNING PERMIT SET

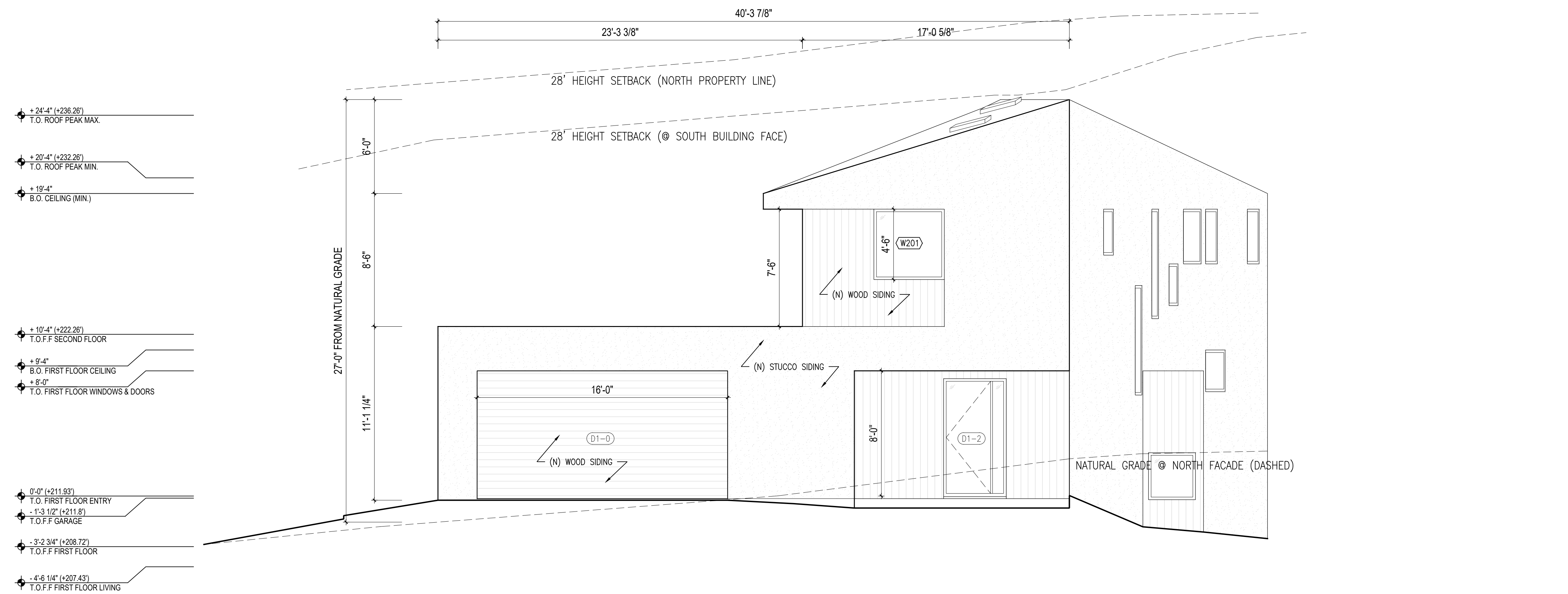
PLANS - DIAGRAMS

Date: April 1, 2021  
 Drawn By: JF  
 Checked By: DS

**A111**  
 Scale: 1/4" = 1'-0"



**WEST ELEVATION** 2  
 PROPOSED 1/4" = 1'-0"



**NORTH ELEVATION** 1  
 PROPOSED 1/4" = 1'-0"

**MASSCHELEIN RESIDENCE**

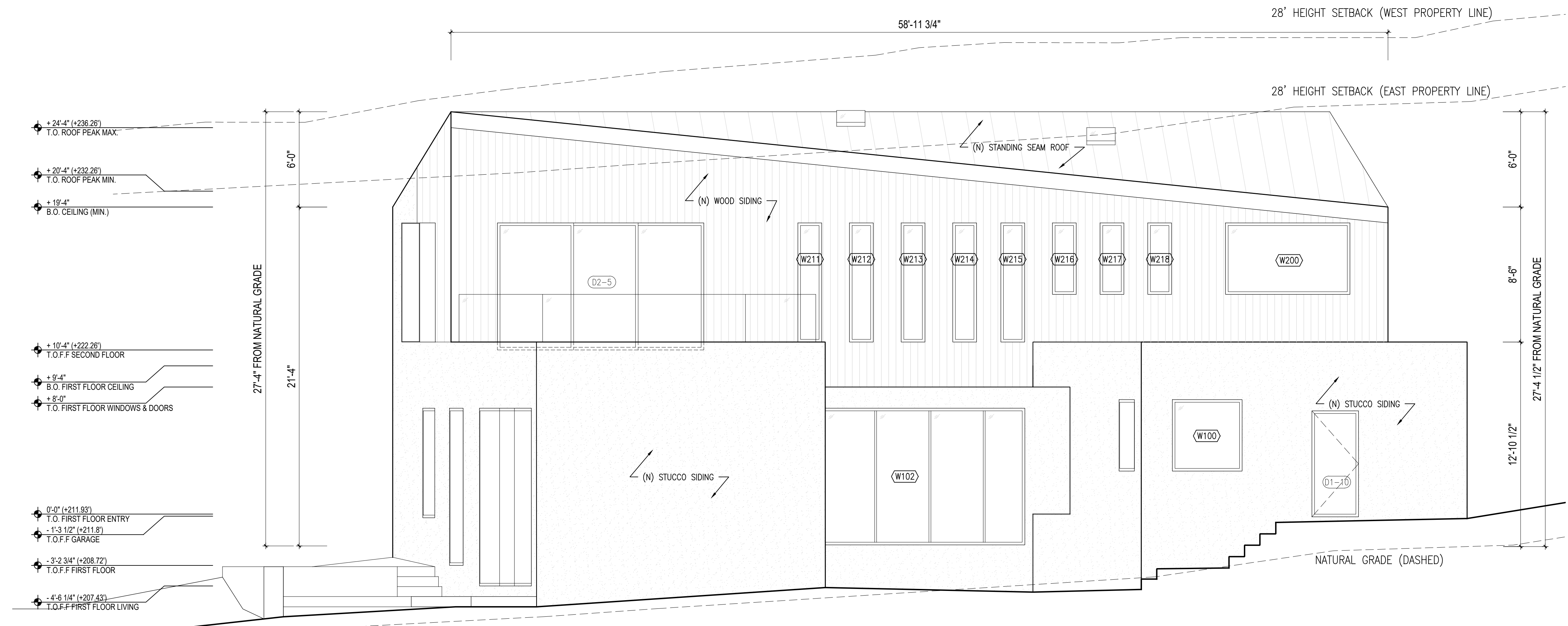
434 SUMMIT DRIVE  
 EMERALD HILLS, CA 94062

PLANNING PERMIT SET

ELEVATIONS - PROPOSED

Date: April 1, 2021  
 Drawn By: JF  
 Checked By: DS

**A200**  
 Scale: 1/4" = 1'-0"

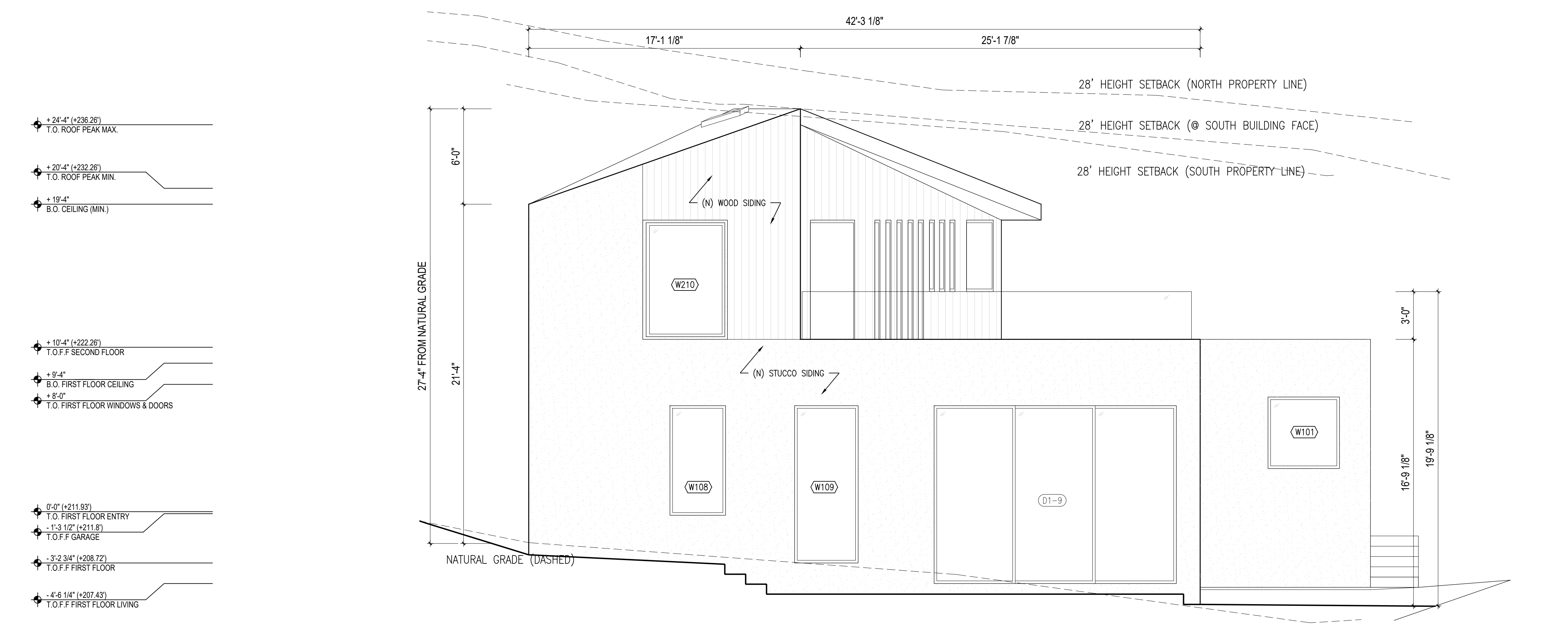


EAST ELEVATION

2

PROPOSED

1/4" = 1'-0"



SOUTH ELEVATION

1

PROPOSED

1/4" = 1'-0"

MASSCHELEIN RESIDENCE

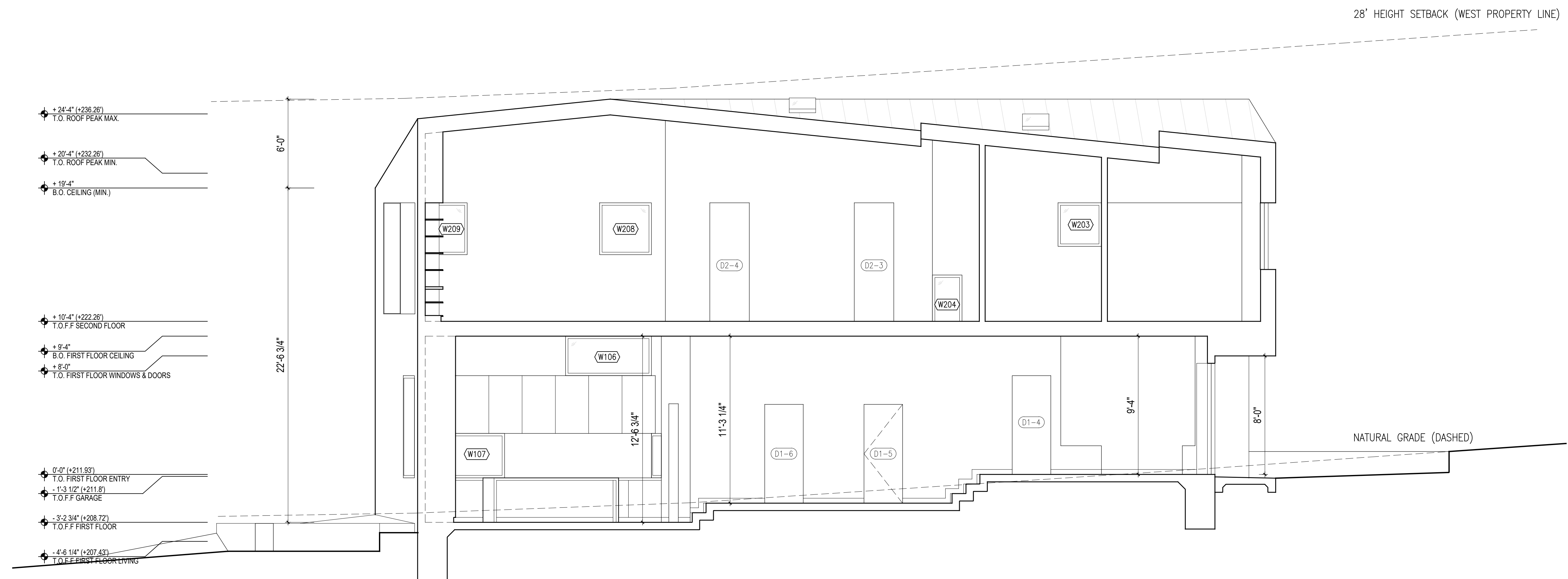
434 SUMMIT DRIVE  
 EMERALD HILLS, CA 94062

PLANNING PERMIT SET

ELEVATIONS - PROPOSED

Date: April 1, 2021  
 Drawn By: JF  
 Checked By: DS

A201  
 Scale: 1/4" = 1'-0"



LONG SECTION

PROPOSED

MASSCHELEIN RESIDENCE

434 SUMMIT DRIVE  
EMERALD HILLS, CA 94062

PLANNING PERMIT SET

SECTIONS - PROPOSED

Date:	April 1, 2021
Drawn By:	JF
Checked By:	DS

1  
1/4" = 1'-0"

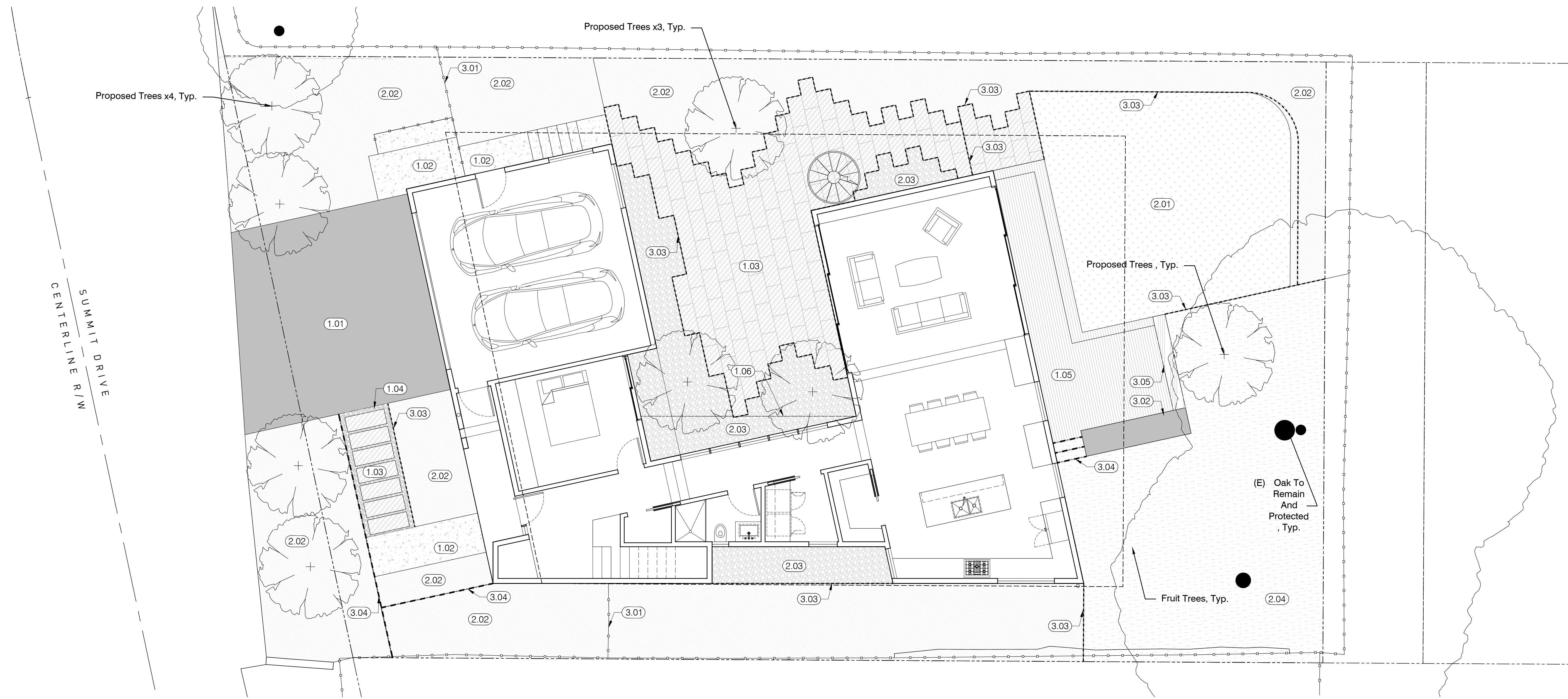
Scale: 1/4" = 1'-0"

**MATERIALS LEGEND**

1.00 PAVEMENTS				
NO.	SYMB.	ITEM	DESCRIPTION	AREA /SF
<b>IMPERVIOUS PAVEMENT</b>				
1.01	[Symbol]	CONCRETE DRIVEWAY	New Driveway	301
1.02	[Symbol]	CAST IN PLACE CONCRETE PAVEMENT	CIP Concrete with Integral Color, TBD. Sand Finish or Acid Finish	152
1.03	[Symbol]	PRECAST CONCRETE PAVER	2' X 3' Precast Concrete Paver By Stepstone, Inc. Integrated Color TBD. Light Sandblast Finish	551
1.04	[Symbol]	GRAVEL PAVEMENT	1" Decorative Gravel Over 3" Compacted Base Rock.	23
1.05	[Symbol]	WOOD DECK	Moso Bamboo X-treme® Decking	214
1.06	[Symbol]	NEW BLDG		1754
<b>TOTAL IMPERVIOUS SURFACES</b>				<b>2995</b>

2.00 PERVIOUS SURFACE				
2.01	[Symbol]	LAWN	Delta Bluegrass No Mow Sod For Front lawn; Low Water Lawn For Rear Lawn	534
2.02	[Symbol]	PLANTING BED	See L400 For Water Budget Calculation	1522
2.03	[Symbol]	GRAVEL MULCH	1" Decorative Gravel Over Planting Soil	312
2.04	[Symbol]	MULCH	3" Mulch Over Existing Grade	759
<b>TOTAL PERVIOUS AREAS</b>				<b>3127</b>
3.00 WALLS, STRUCTURES, MISC				
NO.	SYMB.	ITEM	DESCRIPTION	AREA
3.01	[Symbol]	WOOD FENCE	6' Tall New Entry Wood Fence, color& finish TBD	-
3.02	[Symbol]	BBQ COUNTER WITH GAS GRILL	30" Wide X36" Tall BBQ Counter with Outdoor Gas Grill	-
3.03	[Symbol]	LANDSCAPE EDGE	3/16" x 4" Duraedge or Similar, Black Powdercoat Finish, Typ.	-
3.04	[Symbol]	COR-TEN STEEL WALL	3/16" Duraedge or Similar Cor-ten Steel Plate, Height varies, 36" max height, Spot Weld at Corners, Typ.	-
3.05	[Symbol]	SEATWALL	18" Tall X12" Wide Reinforced CIP Concrete Seatwall	

- NOTES:**
- SEE A001 FOR PROPOSED UTILITY LOCATIONS
  - SEE L101 FOR IMPERVIOUS AREA AND REHABILITATE LANDSCAPE AREA DIAGRAM.
  - SEE CIVIL DWG C-2 FOR GRADING AND DRAINAGE PLAN.
  - 3" OF MULCH APPLIED ON ALL EXPOSED PLANTING SURFACES.
  - SEE C-0 FOR CUT&FILL CALCULATIONS.
  - I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENCY LANDSCAPE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.



N  
LANDSCAPE PLAN- PROPOSED  
PROPOSED

1  
3/16" = 1'-0"

**MASSCHELEIN RESIDENCE**

434 SUMMIT DRIVE  
EMERALD HILLS, CA 94062  
PLANNING PERMIT SET

LANDSCAPE PLAN - PROPOSED

Date: April 1, 2021  
Drawn By: SL  
Checked By: MA

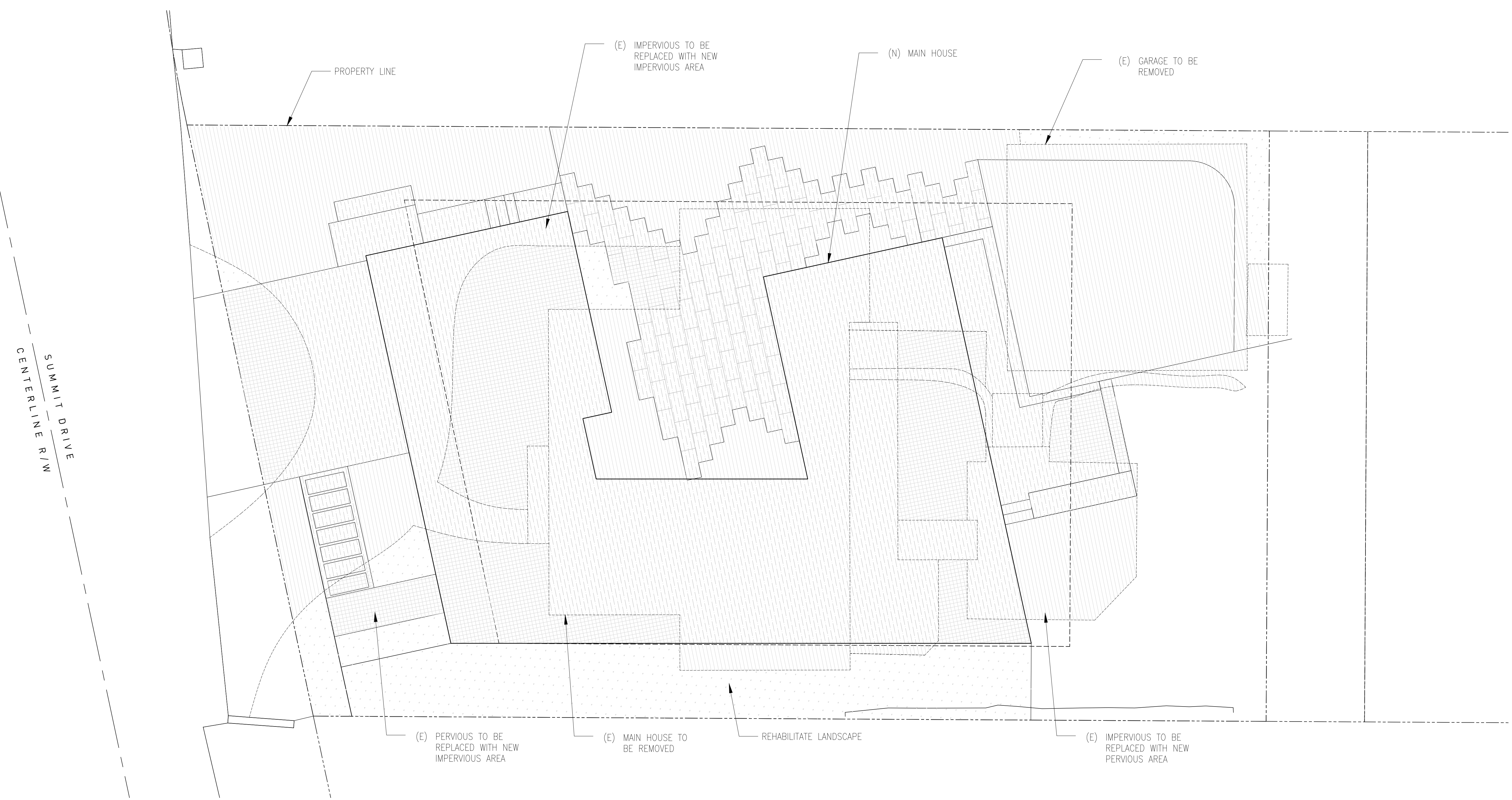
**L100**  
Scale: 3/16" = 1'-0"





- NOTES:
1. TOTAL PROPOSED IMPERVIOUS AREA IS 3171 SF.
  2. SEE A001 FOR EXISTING AND PROPOSED SITE DATA.
  3. SEE L100 FOR PROPOSED LANDSCAPE MATERIALS.
  4. SEE L400 FOR WATER BUDGET CALCULATIONS
  5. 3" OF MULCH APPLIED ON ALL EXPOSED PLANTING SURFACES.
  6. I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENCY LANDSCAPE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

- LEGEND:
- (EX) IMPERVIOUS TO BE REPLACED WITH NEW IMPERVIOUS AREA: 2339 SF
  - (EX) PERVIOUS TO BE REPLACED WITH NEW IMPERVIOUS AREA: 862 SF
  - (EX) IMPERVIOUS TO BE REPLACED WITH NEW PERVIOUS AREA (NEW LANDSCAPE AREA) : 1730 SF
  - REHABILITATE LANDSCAPE : 665 SF



**IMPERVIOUS AREA CALCULATIONS**  
 PROPOSED

1  
 3/16" = 1'-0"

**MASSCHELEIN RESIDENCE**

434 SUMMIT DRIVE  
 EMERALD HILLS, CA 94062

PLANNING PERMIT SET

**IMPERVIOUS AREA CALCULATIONS**

Date: April 1, 2021  
 Drawn By: SL  
 Checked By: MA

**L101**  
 Scale: 3/16" = 1'-0"

**TREE INVENTORY**

PROPOSED/REPLACEMENT TREES						
SYMBOL	NO.	COMMON NAME	SCIENTIFIC NAME	PLANTING SIZE	MATURE SIZE	
	N1-4	Olive Tree	Olea Europaea	36" box	15-25' tall and 15'-20' wide	
	N5-7	Coral bark Japanese Maple	Acer palmatum 'Sango Kaku'	36" box	15-25' tall and 15'-20' wide	
	N8	Chinese Dogwood 'Kousa'	Cornus Kousa	36" box	15-20' tall and 10-15' wide	
EXISTING TREES						
NO.	COMMON NAME	SCIENTIFIC NAME	SIZE	Significant	NOTE	ARBORIST REPORT TREE NO.
1	Coast Redwood	Sequoia sempervirens	15.9" DHB	Y	Existing tree to remain and be protected	1
2	Scarlet Oak	Quercus Cocinea	8.0" DHB	Y	Existing tree to be removed	2
3	Coast Redwood	Sequoia sempervirens	11.0" DHB	Y	Existing tree to be removed	3
4	Coast Redwood	Sequoia sempervirens	17.0" DHB	Y	Existing tree to be removed	4
5	Coast Live Oak	Quercus agrifolia	10.0" DHB	Y	Existing tree to be removed	5
6	Coast Live Oak	Quercus agrifolia	21.0" DHB	Y	Existing tree to remain and be protected	6
7	Coast Live Oak	Quercus agrifolia	28.4" DHB	Y	Existing tree to remain and be protected	8

**PROPOSED PLANTING ZONES**

KEY	AREA	DESCRIPTION	AREA /SF	WATER REQUIREMENT	NOTES
	1. ENTRY GARDEN	Mixed Native Grasses and Shrubs	117	LOW	3' Thick Lyngso Premium Arbor Mulch
	2. NATIVE GRASSES	Native Grasses	353	LOW	3' Thick Lyngso Premium Arbor Mulch
	3. MIXED PLANTING	Mixed Shrubs and Tall Privacy Hedge	537	MEDIUM	3' Thick Lyngso Premium Arbor Mulch
	4. COURTYARD GARDEN	Mixed Shrubs and Grasses	247	MEDIUM	3' Thick Lyngso Premium Arbor Mulch
	5. SHADE GARDEN	Ferns	65	MEDIUM	3' Thick Lyngso Premium Arbor Mulch in Metal Planter
	6. REAR LAWN	Low Water Lawn	524	HIGH	Low Water Lawn
	7. SIDE HEDGE	Bamboo Privacy Screening	517	LOW	3' Thick Lyngso Premium Arbor Mulch in Metal Planter
	8. MULCH	Existing planting to remain	759	N/A	3' Thick Lyngso Premium Arbor Mulch

**NOTES:**

- Total Landscape Area is 2395 SF = (New landscape:665 SF +rehabilitated landscape:1730 SF). See L101 For diagram of new and rehabilitated landscape areas.
- A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.
- Turf shall not exceed 25% of the landscape area in residential areas.
- No turf permitted in non-residential areas.
- Turf not permitted on slopes greater than 25%.
- \*Turf is prohibited in parkways less than 10 feet wide.

**SAW**

SAW // SPIEGEL AHARA WORKSHOP  
 2325 3rd St. #216 // San Francisco, CA 94107  
 415.269.3723  
 www.s-a-works.com



**PLANTING PLAN- PROPOSED**  
 PROPOSED

1  
 3/16" = 1'-0"

**MASSCHELEIN RESIDENCE**

434 SUMMIT DRIVE  
 EMERALD HILLS, CA 94062  
 PLANNING PERMIT SET

**PLANTING PLAN - PROPOSED**

Date: April 1, 2021  
 Drawn By: SL  
 Checked By: MA

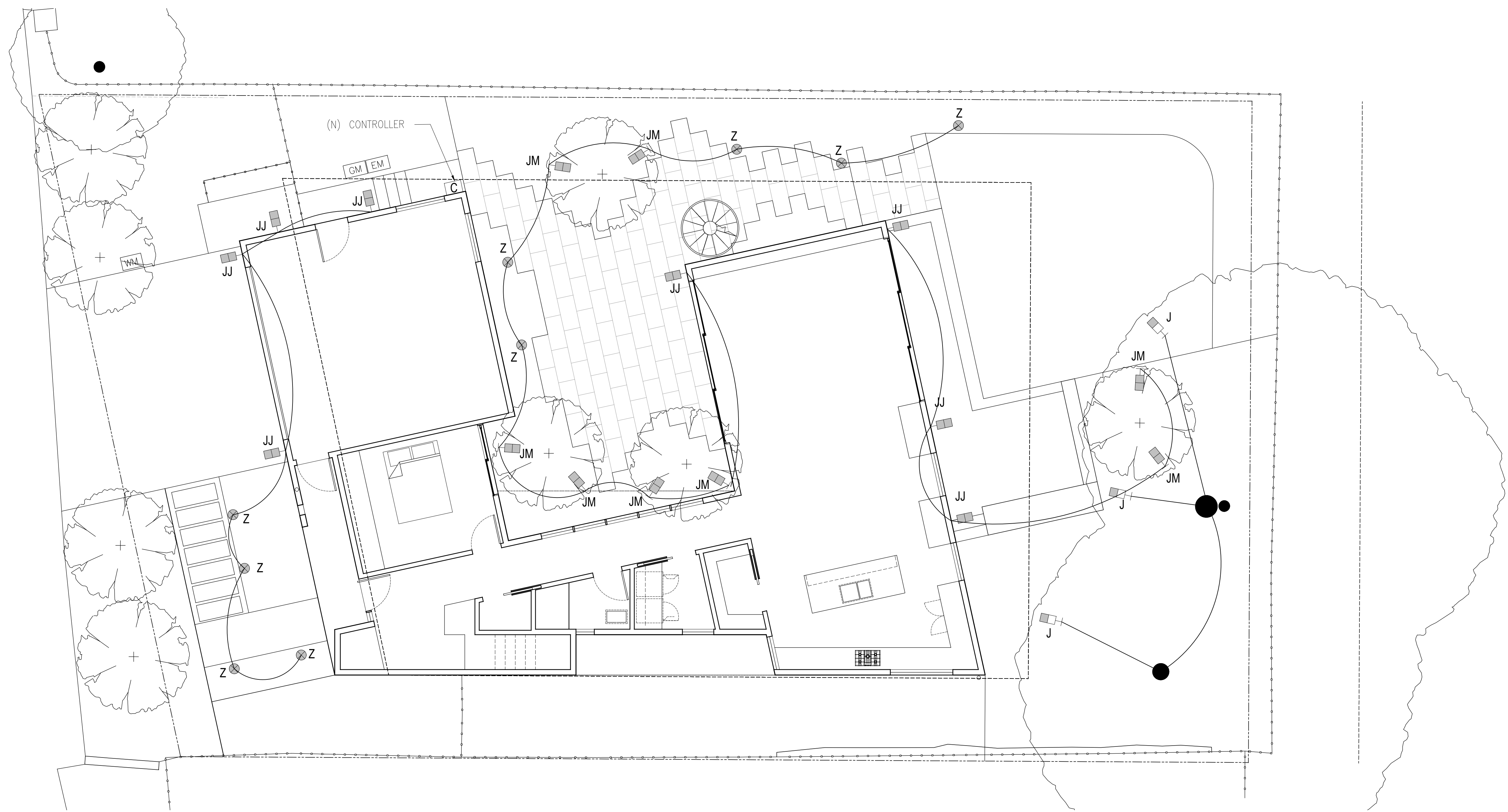
**L400**  
 Scale: 3/16" = 1'-0"



**PROPOSED LIGHTING SCHEDULE**

SYM	KEY	DESCRIPTION	MANUFACTURER	MODEL	SPEC	LAMP	WATT / VOLT	QTY	NOTES
J	J	TREE DOWN LIGHT	FX LUMinaire	DE LED Down Light	LIGHT: DE - ZD - 6LED - FB(Black)	LED	10-15 VOLT	3	Tree Mount Hardware necessary - use long stainless steel screws or a Tree Strap Mount, contractor's option.
JJ	JJ	DOWN LIGHT	FX LUMinaire	JB LED Down Light	LIGHT: JB - ZD - FB (Black)	LED	10-15 VOLT	8	
JM	JM	UP LIGHT -MINI	FX LUMinaire	OZ LED Up Light	LIGHT: OZ - ZD - 1LED - FB (Black)	LED	10-15 VOLT	8	
⊙ Z	Z	PATH LIGHT	WAC Lighting	Balance Path Light	LIGHT: 6061-27BZ (Bronze)	LED	10-15 VOLT	9	

SYMBOL	KEY	DESCRIPTION	MANUFACTURER	MODEL	SPEC	LAMP	WATT / VOLT	QTY	NOTES
C	C	CONTROLLER	FX LUMinaire	Luxor	LUX - 300 - SS (Stainless steel)			1	FX LUMinaire controller



N  
 LIGHTING PLAN - PROPOSED  
 PROPOSED

1  
 3/16" = 1' - 0"

MASSCHELEIN  
 RESIDENCE

434 SUMMIT DRIVE  
 EMERALD HILLS, CA 94062

PLANNING PERMIT SET

PROPOSED LIGHTING  
 PLAN

Date: 08.30.2021  
 Drawn By: SL  
 Checked By: MA

LL100

Scale: 3/16" = 1' - 0"

SCALE: 1" = 10'

PARCEL TWO

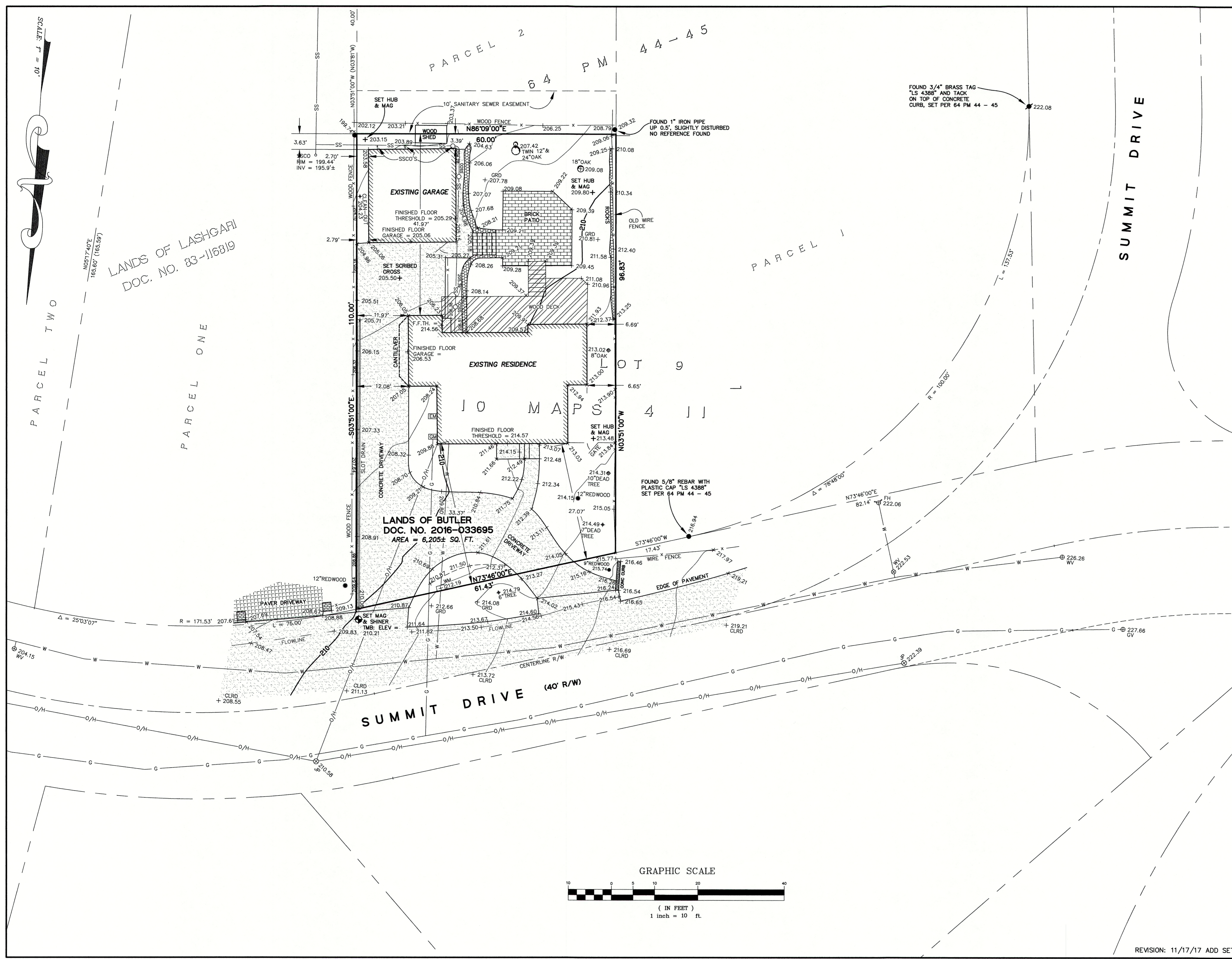
LANDS OF LASHGARI  
DOC. NO. 83-116819

PARCEL ONE

PARCEL 2  
P M 44-45

PARCEL 1

SUMMIT DRIVE



**BOUNDARY NOTE:**  
THIS IS NOT A BOUNDARY SURVEY. THE BOUNDARY LINES SHOWN ARE FROM RECORD DATA AND PLACED AT THE BEST FIT OF IMPROVEMENTS.

**BASIS OF ELEVATIONS:**  
ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.  
TBM: SET MAG NAIL AND SHINER ALONG SUMMIT DRIVE, AS SHOWN.  
ELEVATION = 210.21'

**LEGEND:**

●	FOUND 3/4" IRON PIPE WITH PLASTIC PLUG (ILLEGIBLE) SLIGHTLY DISTURBED, DOWN 1.3' FOUND PER 64 PM 44 - 45, UNLESS OTHERWISE NOTED
A/C	ASPHALTIC CONCRETE
BW	BACK OF WALK
CB	CATCH BASIN
CIP	CAST IRON PIPE
CMP	CORRUGATED METAL PIPE
CONC	CONCRETE
CO	CLEAN-OUT
DI	DROP INLET
EM	ELECTRIC METER
FD	FOUND
FF	FINISHED FLOOR
FL	FIRE LINE
FH	FIRE HYDRANT
GA	GUY ANCHOR
GM	GAS METER
GRD	GROUND
HCR	HANDICAP RAMP
INV.	INVERT
IP	IRON PIPE
JP	JOINT POLE
L.A.T.	LATERAL
LG	LIP OF GUTTER
O/H	OVERHEAD
P.U.E.	PUBLIC UTILITIES EASEMENT
RCP	REINFORCED CONCRETE PIPE
RET. WALL	RETAINING WALL
R/W	RIGHT OF WAY
SSCO	SANITARY SEWER CLEAN-OUT
SSMH	SANITARY SEWER MANHOLE
SD	STORM DRAIN MANHOLE
TBC	TOP BACK OF CURB
T/W	TOP OF WALL
U/G	UNDERGROUND
VCP	VITRIFIED CLAY PIPE
WV	WATER VALVE
WM	WATER METER BOX
CTV-	CABLE TELEVISION LINE
-E-	ELECTRICAL LINE
-G-	GAS LINE
-SS-	SANITARY SEWER LINE
-SD-	STORM DRAIN LINE
-T-	TELEPHONE LINE
-W-	WATER LINE

**UTILITY NOTE:**  
THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.



**TOPOGRAPHIC SURVEY**  
LANDS OF BUTLER  
DOCUMENT # 2016-033695 O.R.  
A PORTION OF LOT 9, BLOCK 34  
"OAK KNOLL MANOR"  
VOLUME 10 OF MAPS AT PAGES 4 - 11  
ASSESSOR'S PARCEL NUMBER: 057-143-100  
(434 SUMMIT DRIVE, EMERALD HILLS)

UNINCORPORATED SAN MATEO COUNTY CALIFORNIA  
SCALE: 1" = 10' MARCH, 2017

**B & H SURVEYING, INC.**  
PROFESSIONAL LAND SURVEYING  
901 WALTERMIRE ST.  
BELMONT, CA 94002  
OFFICE (850) 637-1590  
FAX (850) 637-1059

REVISION: 11/17/17 ADD SETBACK DIMENSIONS

