Residence for Brandon & Kristy Fields
234 2nd Street
Montara, Ca.

July 15, 2020

Chris Ridgway Architect
670 Poplar Street
Half Moon Bay, CA 94019
650 622-6301

Gutters and Facia: Copper

Fence: See landscape design

Roof tile: Made by Boral Roof Tile. Use concrete Boosted Barcelona Caps in Salerno Clay Color. Available at Al's Roofing Northern California.

Doors and Windows: Wood windows Clad in aluminum.

Front Door and Garage Door. Match color of windows.

Color: Copper Canyon (Kolbe)

Balcony Rails: Real Wrought Iron.

Rafter tails and Outriggers: Douglas Fir painted.

Benjamin Moore Northwood Brown, 1000

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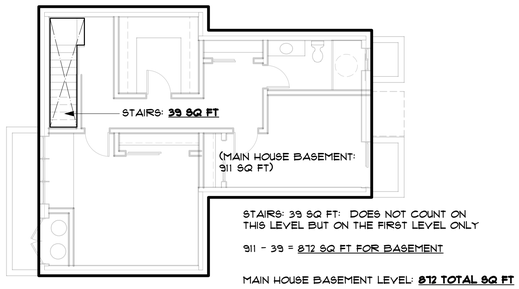
Stucco: Benjamin Moore: Soft Shamois 969

Driveway: Concrete Pavers by Cal Stone. Use Quarry Sone pattern in Sierra Granite

Stone Veneer: El Dorado Stone in ashlar pattern in Santa Barbara pattern.

Front walkway and Back Patio : Stamped concrete In color to match stone.

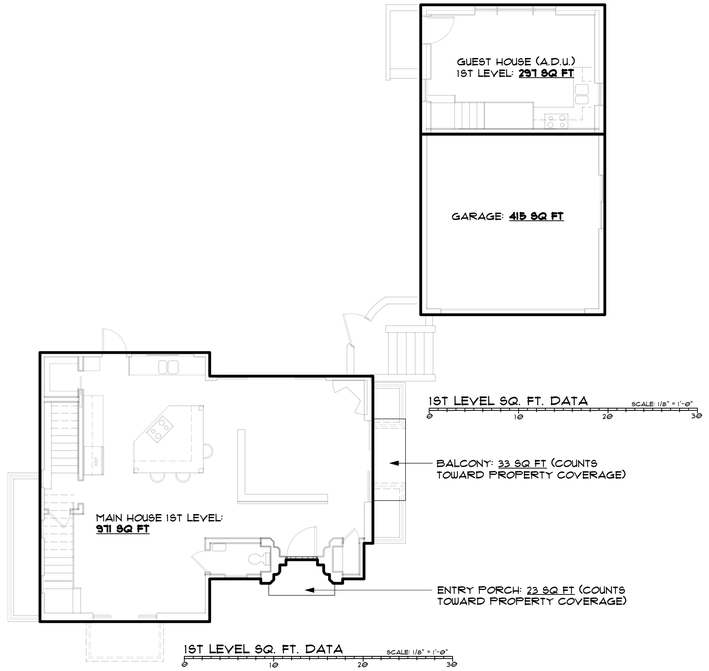


STAIRS: 39 SQ FT: DOES NOT COUNT ON THIS LEVEL BUT ON THE FIRST LEVEL ONLY

911 - 39 = 872 SQ FT FOR BASEMENT

MAIN HOUSE BASEMENT LEVEL: **872 TOTAL SQ FT**

BASEMENT LEVEL SQ. FT. DATA SCALE: 1/8" = 1'-0"



1ST LEVEL SQ. FT. DATA SCALE: 1/8" = 1'-0"

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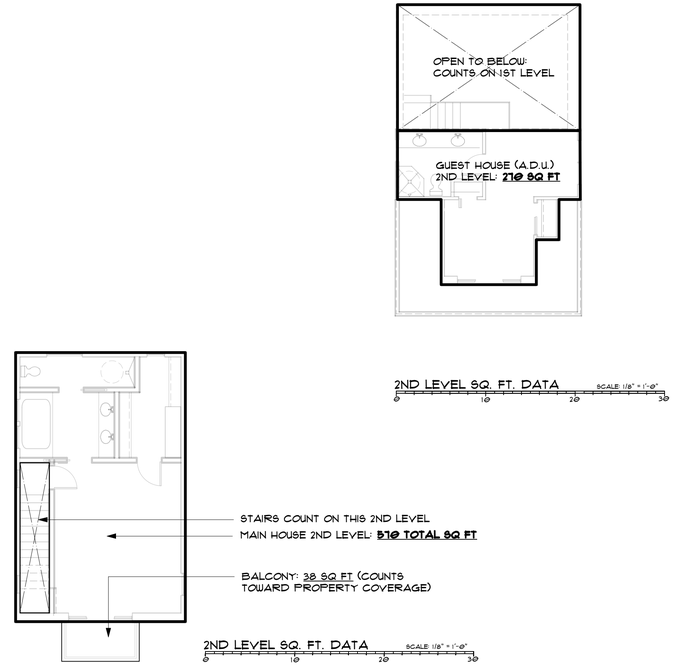


2ND LEVEL SQ. FT. DATA SCALE: 1/8" = 1'-0"

2ND LEVEL SQ. FT. DATA SCALE: 1/8" = 1'-0"

ALL CONSTRUCTION SHALL CONFORM TO:
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA ENERGY CODE
2019 CALGREEN BUILDING CODE STANDARDS

ZONING: R1 / S17 / DR /CD

TYPE OF CONSTRUCTION: TYPE V-B

SCOPE OF WORK: NEW RESIDENCE WITH A DETACHED GUEST HOUSE (A.D.U.)

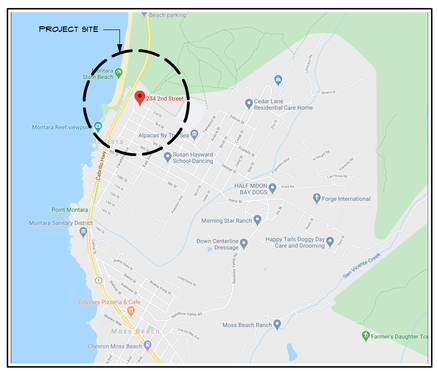
THE PROJECT WILL REQUIRE AN AUTOMATIC FIRE SPRINKLER SYSTEM. CONTRACTOR MUST HAVE A C-16 LICENSE TO INSTALL DESIGN. FIRE HYDRANT COMPLIANCE MUST BE CHECKED AND COMPLY WITH REQUIREMENTS AS NOTED ON "FIRE PROTECTION NOTES" ON SHEET A1.3

65% OF CONSTRUCTION WASTE TO BE RECYCLED OR SALVAGED AND TAKEN TO OX MOUNTAIN SANITARY LANDFILL. CHECK WITH COMPANY FOR DEBRIS BOX'S AVAILABILITY. THE ADDRESS OF THE FACILITY IS 12310 SAN MATEO RD. HALF MOON BAY, CA 94019. TEL #: 650.726.1819

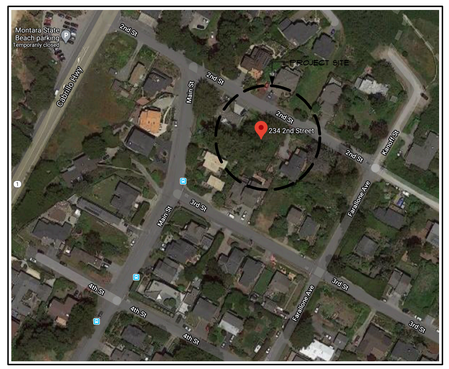
CLEANOUTS IN BUILDING SEWERS SHALL BE PROVIDED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE CITY/COUNTY. ALL CLEANOUTS SHALL BE MAINTAINED WATERTIGHT.

UNDERGROUND ELECTRICAL SERVICE SHALL BE PROVIDED IN ALL NEW CONSTRUCTION. UNDERGROUND SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE PG&E CO, ELECTRIC & GAS REQUIREMENTS, SECT. 5, ELECTRIC SERVICE UNDERGROUND (ORD. C-14-101 PART), 2010: ORD. 1-08 2(PART), 2008)" PER MUNICIPAL CODE SECT. 14.04.070 (A).

THE SOILS REPORT DATED OCTOBER 2019 BY GEOFORENSICS IS PART OF THIS PROJECT AND MUST BE INCLUDED IN THE PERMIT SET. CONTRACTOR TO OBTAIN REPORT FROM SOILS ENGINEER AND MUST INCORPORATE ALL ITEMS PERTAINING TO BUT NOT LIMITED TO THE SLABS ON GRADE, WALKWAYS AND PATIOS.



LOCATION MAP



VICINITY MAP

AREA INCLUDED IN			SQUARE FOOTAGE	AREA
SITE COVERAGE	FLOOR AREA	HOUSE SIZE		
	X	X	872	BASEMENT LEVEL OF MAIN HOUSE
X	X	X	911	1ST LEVEL OF MAIN HOUSE
	X	X	570	2ND LEVEL OF MAIN HOUSE
X			23	1ST LEVEL FRONT ENTRY PORCH
X			33	1ST LEVEL BALCONY
X			38	2ND LEVEL BALCONY AT MAIN HOUSE
			0*	2ND STORY BALCONY AT GUEST HOUSE.... *DOESN'T COUNT SINCE IT'S ABOVE THE GARAGE WHICH HAS BEEN ACCOUNTED FOR IN THE PROPERTY COVERAGE
X	X		415	GARAGE
X	X		297	ADU 1ST FLOOR
	X		270	ADU 2ND FLOOR

2,413	MAIN HOUSE SIZE (DOESN'T INCLUDE GARAGE, ADU & BALCONIES)
567	ADU SIZE
1,777	OUR SITE COVERAGE
35%	PERCENTAGE OF SITE COVERAGE
7,500	LOT SIZE
2,625	MAX LOT COVERAGE LOT SIZE X .35% = (100' X 75') .35 = 2,625 SQ FT MAX SITE COVERAGE ALLOWED
848	SQ. FT. UNDER THE MAX. ALLOWED SQUARE FEET
3,395	OUR TOTAL FLOOR AREA
53%	PERCENTAGE OF FLOOR AREA ALLOWED
7,500	LOT SIZE
3,975	MAX FLOOR AREA = LOT SIZE X 53% = (100' X 75') .53 = 3,975 SQ FT MAX FLOOR AREA ALLOWED
580	SQ. FT. UNDER THE MAX. ALLOWED SQUARE FEET

PLANNING DEPARTMENT: SMCO

PLANNER WHO GAVE THE INFORMATION: RUEMEL P.

ZONING: R1 / S17 / DR/ CD

A.P.N. # 036-014-100 (110 & 120)

PERSON WHO CHECKED THE REGULATIONS: CR

LIST OF DRAWINGS
FOR DESIGN REVIEW

A1.1	TITLE PAGE
A1.2	SITE PLAN
A1.3	GENERAL NOTES
A2.1	BASEMENT LEVEL PLAN
A2.2	1ST LEVEL PLAN
A2.3	2ND LEVEL PLAN
A2.4	ROOF PLAN
A3.1	ELEVATIONS
A3.2	ELEVATIONS
A4.1	SECTIONS A-A / B-B / C-C
A4.2	SECTIONS D-D
SU1	SURVEY BY: BGT LAND SURVEYING
	LANSCAPING DESIGN BY: BRUCE ALLEN CHAN, LANDSCAPE ARCHITECT, CA REGISTRATION 2324
L1.1	LANDSCAPING PLAN
	CIVIL ENGINEERING DESIGN BY: PRECISION ENGINEERING & CONSTRUCTION
C-0	TITLE SHEET
C-1	NOTE SHEET
C-2	GRADING AND UTILITY PLAN
C-3	EROSION AND SEDIMENT CONTROL PLAN
C-3.1	BEST MANAGEMENT PRACTICES
C-3.2	TREE PROTECTION PLAN
C-4	DETAIL SHEET
C-4.1	DETAIL SHEET

CHRIS RIDGWAY ARCHITECT, INC.
610 POPLAR STREET, HALF MOON BAY, CA. 94019
PH#: 650.622.6301 WEB SITE: CRARCHITECT.NET
EMAIL: CRARCHITECT@COASTSIDE.NET

LICENSED ARCHITECT CHRIS RIDGWAY C 15465 EXP. 4/30/21 STATE OF CALIFORNIA

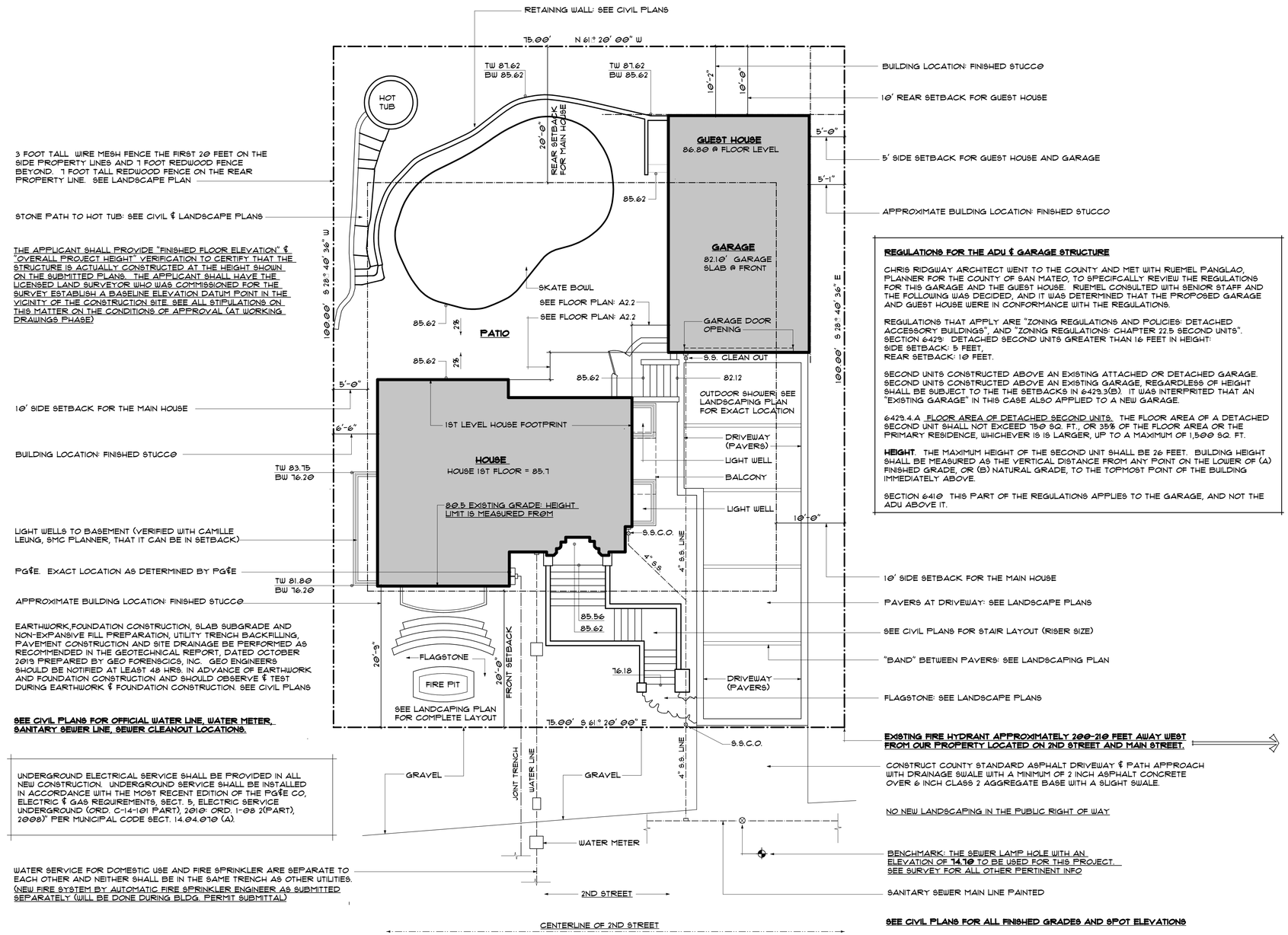
NEW RESIDENCE FOR: BRANDON & KRISTY
FIELDS
A.P.N.: 036-014-100 (110 / 120)
ADDRESS: 234 2ND STREET, MONTARA, CA 94037

JOB # 1905

SCALE AS NOTED

DATE 7/15/20

SHEET A1.1



REGULATIONS FOR THE ADU & GARAGE STRUCTURE

CHRIS RIDGWAY ARCHITECT WENT TO THE COUNTY AND MET WITH RUEMEL PANGLAO, PLANNER FOR THE COUNTY OF SAN MATEO, TO SPECIFCALLY REVIEW THE REGULATIONS FOR THIS GARAGE AND THE GUEST HOUSE. RUEMEL CONSULTED WITH SENIOR STAFF AND THE FOLLOWING WAS DECIDED, AND IT WAS DETERMINED THAT THE PROPOSED GARAGE AND GUEST HOUSE WERE IN CONFORMANCE WITH THE REGULATIONS.

REGULATIONS THAT APPLY ARE "ZONING REGULATIONS AND POLICIES: DETACHED ACCESSORY BUILDINGS", AND "ZONING REGULATIONS: CHAPTER 22.5 SECOND UNITS". SECTION 6429: DETACHED SECOND UNITS GREATER THAN 16 FEET IN HEIGHT:
SIDE SETBACK: 5 FEET.
REAR SETBACK: 10 FEET.

SECOND UNITS CONSTRUCTED ABOVE AN EXISTING ATTACHED OR DETACHED GARAGE. SECOND UNITS CONSTRUCTED ABOVE AN EXISTING GARAGE, REGARDLESS OF HEIGHT SHALL BE SUBJECT TO THE THE SETBACKS IN 6429.3(B). IT WAS INTERFRITED THAT AN "EXISTING GARAGE" IN THIS CASE ALSO APPLIED TO A NEW GARAGE.

6429.4.A FLOOR AREA OF DETACHED SECOND UNITS. THE FLOOR AREA OF A DETACHED SECOND UNIT SHALL NOT EXCEED 1150 SQ. FT., OR 35% OF THE FLOOR AREA OR THE PRIMARY RESIDENCE, WHICHEVER IS IS LARGER, UP TO A MAXIMUM OF 1,500 SQ. FT.

HEIGHT. THE MAXIMUM HEIGHT OF THE SECOND UNIT SHALL BE 26 FEET. BUILDING HEIGHT SHALL BE MEASURED AS THE VERTICAL DISTANCE FROM ANY POINT ON THE LOWER OF (A) FINISHED GRADE, OR (B) NATURAL GRADE, TO THE TOPMOST POINT OF THE BUILDING IMMEDIATELY ABOVE.

SECTION 6410 THIS PART OF THE REGULATIONS APPLIES TO THE GARAGE, AND NOT THE ADU ABOVE IT.

SITE PLAN

SCALE: 1/8" = 1'-0"

0 10 20 30

CHRIS RIDGWAY ARCHITECT, INC.
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PH#: 650 622 6391 WEB SITE: CRARCHITECT.NET
EMAIL: CRARCHITECT@COASTSIDE.NET

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NEW RESIDENCE FOR: BRANDON & KRISTY
FIELDS A.P.N.: 036-014-100 (110 / 120)
ADDRESS: 234 2ND STREET, MONTARA, CA. 94037

JOB # 1905
SCALE AS NOTED
DATE 7/1320
SHEET A1.2

ABBREVIATIONS

A.B.	ANCHOR BOLT
A.B.M.	AGGREGATE BASE MATERIALS
ACOUS.	ACOUSTIC
A/C	AIR CONDITIONING
A.C.	ASPHALTIC CONCRETE
A.D.	ACCESS DOOR
ADJ.	ADJUSTABLE
A.F.S.	AUTOMATIC FIRE SPRINKLER
AGGR.	AGGREGATE
ALT.	ALTERNATE
ALUM.	ALUMINUM
ANOD.	ANODIZED
A.P.	ACCESS PANEL
ARCH.	ARCHITECTURAL
ASPH.	ASPHALT
A.T.	ASH TRAY
L	ANGLE
@	AT
&	AND
BD.	BOARD
BKSPL.	BACKSPLASH
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BM.	BEAM
B.O.J.	BOTTOM OF JOISTS
BOT.	BOTTOM
BSBD.	BASEBOARD
B.U.	BUILT-UP
B.U.R.	BUILT-UP ROOF
CABT.	CABINET
C.B.	CATCH BASIN
CBO.	CULKBOARD
CEM.	CEMENT
CER.	CERAMIC
C.G.	COVER GUARD
C.I.	CAST IRON
C.J.	CEILING JOIST
CLG.	CEILING
CLR.	CLEAR
CLO.	CLOSET
CMU.	CONC. MASONRY UNIT
CNTR.	COUNTERTOP
COL.	COLUMN
COMP.	COMPOSITION
CONC.	CONCRETE
CONST.	CONSTRUCTION
CONTR.	CONTRACTOR
C/T	COOKTOP
CT.	COATS
CUST.	CUSTODIAN
CW	COLD WATER
⊏	CHANNEL
℄	CENTERLINE
D	DRYER
DET.	DETAIL
DS	DARK SKY LIGHT
D.F.	DOUGLAS FIR
D/G	DUALGLAZE
Ø	DIAMETER OR ROUND
DIA.	DIAMETER
DIM.	DIMENSION
DISP.	GARBAGE DISPOSAL
DN	DOWN
DEMO'D	DEMOLISHED
DR	DOOR
D.S.	DOWNSPOUT
D/W	DISHWASHER
DWG.	DRAWING
(E)	EXISTING
EA.	EACH
ELEV.	ELEVATION
E.J.	EXPANSION JOINT
EQ.	EQUAL
E.S.	EXPANSION SHIELD
EXH.	EXHAUST
EXT.	EXTERIOR
F.A.	FIRE ALARM
F.B.	FLAT BAR
FBRGL.	FIBERGLASS
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
F.E.	FIRE EXTINGUISHER
F.F.	FINISH FLOOR
F.G.	FINISH GRADE
F.H.	FLAT HEAD
F.H.C.	FIRE HOSE CABINET
FIN. FLR.	FINISH FLOOR
F.J.	FLOOR JOIST
FLDG.	FOLDING
FLR.	FLOOR
FLUOR.	FLUORESCENT
F.O.	FINISHOPENING
F.O.C.	FACE OF CONCRETE
F.O.S.	FACE OF STUD/STEEL
FR.	FRAME
F.R.P.	FIBER GLASS REINFORCED PLASTIC
FT.	FOOT OR FEET
FTG.	FOOTING
GA.	GUAGE
GALV.	GALVANIZED
G.B.	GREEN BOARD
G.C.	GENERAL CONTRACTOR
G.F.I.	GROUND FAULT INTERRUPTER
G.I.	GALVANIZED IRON
GL	GLASS
G.L.B.	GLULAM BEAM
GND.	GROUND
G.S.M.	GALVANIZED SHEET METAL
G.V.	GATE VALVE
GYP BD	GYPSUM BOARD
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
HCAP.	HANDICAP
HDBD.	HARDBOARD
HDR.	HEADER
K.P.	KICKPLATE
HDWD.	HARDWOOD
HDWE	HARDWARE
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
H.P.	HIGH POINT
H.R.C.	HOSE REEL CABINET
HT.	HEIGHT
H.T.D.	HANDICAP TOWEL DISP.
HTG.	HEATING
HW	HOT WATER
I.D.	INSIDE DIAMETER
INSUL.	INSULATION
INT.	INTERIOR
INV.	INVERT
J.B.	JUNCTION BOX
JT.	JOIST
LAV.	LAVATORY
L.H.	LEFT HAND
LKR.	LOCKER
L.P.	LOW POINT
LT.	LIGHT
LTWT.	LIGHTWEIGHT
M/W	MICRO-WAVE
MED.	MEDIUM
MAX.	MAXIMUM
M.C.	MEDICINE CABINET
M.D.F.	MEDIUM DENSITY FIBER BD.
MECH.	MECHANICAL
MEMB.	MEMBRANE
MFR.	MANUFACTURER
M.H.	MANHOLE
MIN.	MINIMUM
MTD.	MOUNTED
M.S.	MACHINE SCREW
MTL.	METAL
MULL.	MULLION
(N)	NEW
N.	NORTH
N.I.C.	NOT IN CONCRETE
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
#	NUMBER
O/	OVER
O.B.	OBSCURE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O.F.S.	OUTER FACE OF STUD
O.H.	OVER HEAD
O.P.	OPAQUE
OPNG..	OPENING
OPP.	OPPOSITE
P.A.	PUBLIC ADDRESS
P.D.F.	POWER DRIVEN FASTENER
P.G.	PAINT GRADE
P.H.	PHILLIPS HEAD
	PUBLIC AND HOUSE PHONE
P.I.V.	POST INDICATOR VALVE
PL.	PLATE
P/L	PROPERTY LINE
PLAS.	PLASTER
PLAS. LAM.	PLASTIC LAMINATE
PLYWD.	PLYWOOD
POL.	POLISHED
PR.	PAIR
PRCST.	PRECAST
P.S.F.	POUNDS PER SQUARE FOOT
P.S.I.	POUNDS PER SQUARE INCH
PSL.	PARALAM BEAM
PT.	PRESSURE TREATED
P.T.D.	PAPER TOWEL DISPENSER
PTN.	PARTITION
R.	RISE
R.A.	RETURN AIR
RAD.	RADIUS
R.C.P.	REFLECTED CEILING PLAN
R.D.	ROOF DRAIN
REC.	RECESSED
REF.	REFERENCE
REF.	REFRIGERATOR
REINF.	REINFORCED/ING
REQ'D.	REQUIRED
RH.	RIGHT HAND
R.H.	ROUND HEAD
RM.	ROOM
R.R.	ROOF RAFTER
R.W.L.	RAIN WATER LEADER
S.B.	SOLIB BLOCKING
S.C.	SOLID CORE
S.C.D.	SEAT COVER DISPENSER
S.D.	SMOKE DETECTOR
SECT.	SECTION
S.G.	SAFETY GLAZE
SHR.	SHEAR
SHT.	SHEET
SHWR.	SHOWER
SK.	SINK
SIM.	SIMILAR
S.M.	SHEET METAL
S.M.S.	SHEET METAL SCREWS
S.N.D.	SANITARY NAPKIN DISPOSAL
S.N.V.	SANITARY NAPKIN VENDOR
S.O.V.	SHUT OFF VALVE
S.P.D.	SOAP DISPENSER
SPECS.	SPECIFICATIONS
SQ.	SQUARE
S.S.	SERVICE SINK
STL.	STEEL
STD.	STANDARD
STOR.	STORAGE
STRUC.	STRUCTURAL
S.T.S.	SELF TAPPING SCREW
ST. STL.	STAINLESS STEEL
SUSP.	SUSPENDED
SYM.	SYMMETRICAL
T	TREAD
T.B.	TOWEL BAR
T&B	TOP & BOTTOM
T/C	TRASH COMPACTOR
T.D.	TOWEL DISPENSER
T.D.L.	TRUE-DIVIDED LIGHTS
T.O.D.	TOWEL DISPENSER & DISP.
TELE.	TELEPHONE
TEMP.	TEMPERED GLASS
T & G	TONGUE & GROOVE
THK.	THICK
T.K.	TOE KICK
T.O.C.	TOP OF CURB
T.O.P.	TOP OF PAVEMENT
T.O.PL.	TOP OF PLATE
T.O.S.	TOP OF SLAB
T.O.STL.	TOP OF STEEL
T.P.D.	TOILET PAPER DISPENSER
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
UR.	URINAL
V.C.T.	VINYL COMPOSITION TILE
VERT.	VERTICAL
V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
VIN.	VINYL
V.T.R.	VENTILATION THRU ROOF
V.H.F.	VINYL WALL FABRIC
W	WASHER
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
WDO/WDOS	WINDOW/WINDOWS
WNDR. BD.	WONDERBOARD
W/O	WITHOUT
W.P.	WATER PROOF
WRGP.	WATER RESISTANT GYPSUM
W.S.	WEATHER STRIPPING OR WOOD SREW
WSCT.	WAINSCOT
WT.	WEIGHT

MISC. SITE PLAN NOTES & CONSTRUCTION OPERATION PLAN

UNDERGROUND SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE PACIFIC GAS & ELECTRIC COMPANY REQUIREMENTS. SEE COMPLETE INFO ON SHEET E-1

CLEANOUTS IN BLDG. SEWERS SHALL BE APPROVED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE SEWER AUTHORITY. ALL CLEANOUTS SHALL BE MAINTAINED WATERTIGHT

THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND DELINEATED BY FENCING OR FLAGGING TO LIMIT CONSTRUCTION ACTIVITY TO THE CONSTRUCTION AREA

SPECIAL INSPECTION REQUIRED FOR CONCRETE FOUNDATION GREATER THAN 2,500 P.S.I., EPOXY HOLDOWNS, HIGH STRENGTH BOLTS, SEISMIC RESISTANCE AND STRUCTURAL STEEL WELDING & FOR SHEAR WALL NAILING SPACED 4" OR LESS. COMPLETE AND SUBMIT A STAMPED & SIGNED SPECIAL INSPECTION FORM FORM PRIOR TO PERMIT ISSUANCE.

AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT IS REQUIRED PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPALITY'S RIGHT OF WAY

THE APPLICANT/CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE BLDG. INSPECTION SECTION, THE DEPT. OF PUBLIC WORKS AND THE COASTSIDE FIRE PROTECTION DISTRICT.

PRIOR TO FINAL INSPECTION, PAINT THE ADDRESS NUMBER ON THE FACE OF THE CURB NEAR THE DRIVEWAY APPROACH WITH BLACK LETTERING ON A WHITE BACKGROUND.

INCLUDE HOUSE ADDRESS: NUMERALS SHALL BE A MIN. 4" IN HEIGHT AND 3/4" STROKE OF CONTRASTING COLOR TOP THEIR BACKGROUND AND MUST BE LIGHTED DURING THE HOURS OF DARKNESS (SEE ELEVATION) FOR NEW CONSTRUCTION ONLY. SEE COMPLETE NOTES UNDER "FIRE PROTECTION NOTES."

COORDINATE UNDERGROUND CONSTRUCTION ACTIVITIES TO UTILIZE THE SAME JOINT TRENCH. MINIMIZE THE AMOUNT OF TIME THE DISTURBED SOIL IS EXPOSED. THE SOIL IS TO BE REPLACED USING ACCEPTED COMPACTION METHODS.

STOCKPILE AND PROTECT DISPLACED TOPSOIL FOR REUSE.

GENERAL CONTRACTOR (G.C.) TO VERIFY UTILITIES ARE MAINTAINED IN SAFE CONDITION AT TIMES OR REMOVE FROM SITE.

G.C. TO VERIFY ALL HAZARDOUS MATERIALS HAVE BEEN REMOVED.

G.C. TO VERIFY THAT THE WATER LINE THE BUILDING HAS BEEN CUT OFF AT THE PROPERTY LINE AND A HOSE BIB WITH A VACUUM BREAKER TYPE BACKFLOW PREVENTION DEVICE IS PROVIDED FOR DUST CONTROL.

IF THERE IS NO CONSTRUCTION TRAILER USED FOR THIS PROJECT, THE APPLICANT/CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPLETION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT BE LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC.

THE DEBRIS BIN TO BE LOCATED SOMEWHERE ON THE SITE. DEBRIS TO BE HAULED OFF-SITE TO AS NECESSARY. THE APPLICANT/CONTRACTOR SHALL MONITOR THE SITE TO ENSURE THAT TRASH IS PICKED UP AND APPROPRIATELY DISPOSED DAILY.

THE APPLICANT/CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPLETION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC.

THE APPLICANT/CONTRACTOR SHALL ENSURE THE NO CONSTRUCTION-RELATED VEHICLES SHALL IMPEDE THROUGH TRAFFIC ALONG THE RIGHT-OF-WAY ON 2ND STREET. ALL CONSTRUCTION VEHICLES SHALL BE PARKED ON-SITE OUTSIDE OF THE PUBLIC RIGHT OF WAY OR IN LOCATIONS WHICH DO NOT IMPEDED SAFE ACCESS ON 2ND STREET. THERE SHALL BE NO STORAGE OF CONSTRUCTION VEHICLES IN THE PUBLIC RIGHT OF WAY. NO SITE DISTURBANCES SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL, UNTIL A BUILDING PERMIT HAS BEEN ISSUED AND THEN ONLY THOSE TREES APPROVED FOR REMOVAL SHALL BE REMOVED.

NOISE LEVELS PRODUCED BY THE PROPOSED CONSTRUCTION ACTIVITY SHALL NOT EXCEED THE 80DBAS LEVEL AT ANY ONE MOMENT. CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE HOURS FROM 7:00 A.M. TO 6 P.M., MONDAY THROUGH FRIDAY / 9:00 A.M. TO 5:00 P.M. ON SATURDAY. SUNDAY AND HOILIDAYS WILL NOT HAVE ANY CONSTRUCTION WORK.

WATER SHALL BE AVAILABLE ON SITE FOR DUST CONTROL DURING ALL GRADING OPERATIONS

SURFACE RUNOFF FROM ALL IMPERVIOUS SURFACES SHALL BE DIRECTED TO THE WATER DETENTION AREAS. SEE CIVIL PLANS

IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE POSITIVE DRAINAGE IN ALL PAVED AND LANDSCAPE AREAS. SEE "GRADING, DRAINAGE & EROSION CONTROL PLAN" ON SHEET C-1. CONTRACTOR TO PROVIDE INTENT

SEE SEPARATE DRAINAGE PLAN BY CIVIL ENGINEER FOR OFFICIAL DESIGN OF EROSION CONTROL AND DRAINAGE PLAN

RAINWATER LEADERS (DOWNSPOUTS) TO TIE INTO UNDERGROUND DRAIN: SEE DRAINAGE PLAN BY CIVIL ENGINEER ON SHEET C-1.

MAINTAIN 6" MINIMUM CLEARANCE FROM SOIL TO BOTTOM OF SIDING. (8" FROM SILL).

DRAIN WATER AWAY FROM THE BUILDING. MAKE CERTAIN THAT ALL WATER DRAINS AND THERE IS NO PONDING.

PRIOR TO THE ISSUANCE OF THE BLDG. PERMIT, THE APPLICANT/CONTRACTOR SHALL SUBMIT A DRIVEWAY "PLAN & PROFILE" TO THE DEPT. OF PUBLIC WORKS, SHOWING THE DRIVEWAY ACCESS TO THE PARCEL (GARAGE SLAB) COMPLYING WITH THE COUNTY STANDARDS FOR DRIVEWAY SLOPES (NOT TO EXCEEDED 20%) AND TO COUNTY STANDARDS (AT THE PROPERTY LINE) BEING THE SAME ELEVATIONS AS THE CENTER OF THE ACCESS ROADWAY. WHEN APPROPRIATE, AS DETERMINED BY THE DEPT. OF PUBLIC WORKS, THIS PLAN AND PROFILE SHALL BE PREPARED FROM ELEVATIONS AND ALIGNMENT SHOWN ON THE ROADWAY IMPROVEMENT PLANS, THE DRIVEWAY PLAN SHALL ALSO INCLUDE AND SHOW SPECIFIC PROVISIONS AND DETAILS FOR BOTH THE EXISTING AND THE PROPOSED DRAINAGE PATTERNS AND DRAINAGE FACILITIES.

NO PROPOSED CONSTRUCTION WORK WITHIN THE COUNTY RIGHT OF WAY SHALL BEGIN UNTIL THE COUNTY REQUIREMENTS FOR THE ISSUANCE OF AN ENCROACHMENT PERMIT, INCLUDING REVIEW OF THE PLANS HAVE BEEN MET AND AN ENCROACHMENT PERMIT ISSUED. THE APPLICANT/CONTRACTOR SHALL CONTACT THE DEPT. OF PUBLIC WORKS INSPECTOR 48 HOURS PRIOR TO COMMENCING WORK IN THE RIGHT OF WAY.

PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT, THE APPLICANT MAY BE REQUIRED TO PROVIDE PAYMENT OF ROADWAY MITIGATION FEES" BASED ON THE SQUARE FOOTAGE (ASSESSABLE SPACE) OF THE PROPOSED BUILDING PER ORDINANCE NO. 3277.

THE APPLICANT SHALL SUBMIT A PERMANENT STORMWATER MANAGEMENT PLAN IN COMPLIANCE WITH THE COUNTY'S DRAINAGE POLICY AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYTEM (NPDES) REQUIREMENT FOR REVIEW AND APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS.

SCHEDULE WORK SO AS NOT TO INTERFERE UNDULY WITH THE NORMAL HOUSEHOLD OPERATIONS.

NO SITE DISTRURBANCES SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

FIRE PROTECTION NOTES

1: AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFPA-13D MUST BE SUBMITTED AS A SEPARATE PERMIT. AS PER SMCO BUILDING STANDARDS AND COASTSIDE FIRE DISTRICT ORDINANCE NUMBER 2019-01, THE APPLICANT/OWNER AND HIS CONSTRUCTION TEAM WILL INSTALL THE AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE PROPOSED DWELLING AND GARAGE. ALL ATTIC ACCESS LOCATIONS WILL BE PROVIDED WITH A PILOT HEAD OR A METAL UPRIGHT. SPRINKLER COVERAGE SHALL BE PROVIDED THROUGHOUT THE RESIDENCE TO INCLUDE ALL BATHROOMS, GARAGES AND ANY AREA USED FOR STORAGE. THE ONLY EXCEPTION IS SMALL CLOSETS LESS THAT 24 SQUARE FEET WITH A FULL DEPTH SHELVING. THE PLANS FOR THIS SYSTEM MUST BE SUBMITTED TO THE SMCO PLANNING AND BUILDING DIVISION OR THE CITY OF HMB. A BUILDING PERMIT WILL NOT BE ISSUED UNTIL PLANS ARE RECEIVED, REVIEWED AND APPROVED. UPON SUBMISSION OF PLANS, THE COUNTY OR CITY WILL FORWARD A COMPLETE SET TO THE COASTSIDE FIRE DISTRICT FOR REVIEW. CONTRACTOR INSTALLING SYSTEM MUST HAVE A C/16 LICENSE.

2: SMOKE DETECTORS ARE HARDWIRED: AS PER CHAPTER R314 OF THE 2019 CRC, STATE FIRE MARSHALL REGULATIONS AND COASTSIDE FIRE DISTRICT ORDINANCE # 2019-01, THE APPLICANT IS REQUIRED TO INSTALL STATE FIRE MARSHALL APPROVED AND LISTED SMOKE DETECTORS WHICH ARE HARDWIRED, INTERCONNECTED AND HAVE BATTERY BACKUP. THESE DETECTORS ARE REQUIRED TO BE PLACED IN EACH NEW ROOM AND RECONDITIONED SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN EXISTING SLEEPING ROOMS, AREAS MAY HAVE BATTERY POWERED SMOKE ALARMS. A MINIMUM OF ONE DETECTOR SHALL BE PLACED ON EACH FLOOR. SMOKE DETECTORS SHALL BE TESTED AND APPROVED PRIOR TO THE BUILDING FINAL. DATE OF INSTALLATION MUST BE ADDED TO EXTERIOR OF THE SMOKE ALARM AND WILL BE CHECKED AT FINAL.

3: SMOKE/CARBON MONOXIDE DETECTORS: TO BE HARDWIRED, INTERCONNECTED OR WITH BATTERY BACKUP. DETECTORS ARE TO BE INSTALLED PER MANUFACTURER'S INSTRUCTION AND NFPA 72.

4: ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 5.0 SQ. FT. ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

4A: IDENTIFY RESCUE/ESCAPE WINDOWS IN EACH BEDROOM AND VERIFY THAT THEY MEET ALL REQUIREMENTS PER CRC R310.2

5: OCCUPANCY SEPARATION: ATTACHED GARAGE TO MEET OCCUPANCY SEPARATION REQUIREMENTS PER CRC R302.6. A ONE-HOUR OCCUPANCY SEPARATION WALL SHALL BE INSTALLED WITH A SOLID CORE, 20-MINUTE FIRE RATED, SELF CLOSING DOOR ASSEMBLY WITH SMOKE GASKET BETWEEN THE GARAGE AND THE RESIDENCE. ALL ELECTRICAL BOXES INSTALLED IN RATED WALLS SHALL BE METAL OR PROTECTED.

6: ADDRESS NUMBERS: AS PER COASTSIDE FIRE DISTRICT NO. 2019-03, BUILDING IDENTIFICATION SHALL BE CONSPICUOUSLY POSTED & VISIBLE FROM THE STREET. (TEMP. ADDRESS #S SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). THE LETTERS/NUMERALS FOR PERMANENT ADDRESS SIGNS SHALL BE 4 INCHES IN HEIGHT WITH A MINIMUM 1/2-INCH STROKE. SUCH LETTERS/NUMERALS SHALL BE INTERNALLY ILLUMINATED & FACING THE DIRECTION OF ACCESS. FINISHED HEIGHT OF BOTTOM OF ADDRESS LIGHT UNIT SHALL BE GREATER THAN OR EQUAL TO 6 FEET FROM THE FINISHED GRADE. WHEN THE BUILDING IS SERVED BY A LONG DRIVEWAY OR IS OTHERWISE OBSCURED, A 6-INCH BY 18-INCH GREEN REFLECTIVE METAL SIGN WITH 3-INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT SHALL BE PLACED AT THE ENTRANCE FROM THE NEAREST PUBLIC ROADWAY. SEE FIRE ORDINANCE FOR STANDARD SIGN.

6A: NEW RESIDENTIAL ADDRESS NUMBERS: BUILDINGS SHALL HAVE INTERNALLY ILLUMNIATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST 6 FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. WHERE BUILDINGS ARE LOCATED REMOTELY TO THE PUBLIC ROADWAY, ADDITIONAL SIGNAGE AT THE DRIVEWAY/ROADWAY ENTRANCE LEADING TO THE BUILDING AND/OR ON EACH INDIVIDUAL BUILDING SHALL BE REQUIRED BY THE COASTISE FIRE PROTECTION DISTRICT. THIS REMOTE SIGNAGE SHALL CONSISTS OF A 6-INCH BY 18-INCH GREEN REFLECTIVE METAL SIGN WITH 3-INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT. *(TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE)*

7: ROOF COVERING: AS PER COASTSIDE FIRE DISTRICT ORDINANCE # 2019-01, THE ROOF COVERING OF EVERY NEW BUILDING AND MATERIALS APPLIED AS PART OF A ROOF COVERING ASSEMBLY, SHALL HAVE A MINIMUM FIRE RATING OF CLASS "B" OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CALIFORNIA RESIDENTAIL CODE.

8: AUTOMATIC FIRE SPRINKLER SYSTEM: AS PER SAN MATEO COUNTY BUILDING STANDARDS AND COASTSIDE FIRE DISTRICT ORDINANCE NUMBER 2019-03, THE APPLICANT IS REQUIRED TO INSTALL AN AUTOMATIC FIRE SPRINKLER SYSTEM **THROUGHOUT** THE PROPOSED OR IMPROVED DWELLING AND GARAGE. ALL ATTIC ACCESS LOCATIONS WILL BE PROVIDED WITH A PILOT HEAD ON A METAL UPRIGHT. ALL AREAS THAT ARE ACCESSIBLE FOR STORAGE PURPOSES SHALL BE EQUIPPED WITH FIRE SPRINKLERS INCLUDING CLOSETS AND BATHROOMS. THE ONLY EXCEPTION IS SMALL LINEN CLOSETS LESS THAN 24 SQUARE FEET WITH FULL DEPTH SHELVING. THE PLANS FOR THIS SYSTEM MUST BE SUBMITTED TO THE SAN MATEO COUNTY PLANNING AND BUILDING DIVISION. A BUILDING PERMIT WILL NOT BE ISSUED UNTIL PLANS ARE RECEIVED, REVIEWED AND APPROVED. UPON SUBMISSION OF PLANS, THE COUNTY OR CITY WILL FORWARD A COMPLETE SET TO THE COASTSIDE FIRE DISTRICT FOR REVIEW. THE FEE SCHEDULE FOR AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL BE IN ACCORDANCE WITH COASTSIDE FIRE PROTECTION DISTRICT.

9: INSTALLATION OF UNDERGROUND SPRINKLER PIPE SHALL BE FLUSHED AND VISUALLY INSPECTED BY FIRE DISTRICT PRIOR TO HOOK-UP TO RISER. ANY SOLDERED FITTINGS MUST BE PRESSURE TESTED WITH TRENCH OPEN. PLEASE CALL COASTSIDE FIRE DISTRICT TO SCHEDULE AN INSPECTION. FEES SHALL BE PAID PRIOR TO PLAN REVIEW

10: EXTERIOR BELL AND INTERIOR HORN/STROBE: REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON YOUR FIRE SPRINKLER SYSTEM. THE BELL, HORN/STROBE AND FLOW SWITCH, ALONG WITH THE GARAGE DOOR OPENER ARE TO BE WIRED INTO A SEPARATE CIRCUIT BREAKER AT THE MAIN ELECTRICAL PANEL AND LABELED.

SOLAR PHOTOVOLTAIC SYSTEMS: THESE SYSTEMS SHALL MEET THE REQUIREMENTS OF THE COASTSIDE FIRE PROTECTION DISTRICT AS OUTLINED IN STANDARD DETAIL DI-007 SOLAR PHOTOVOLTAIC SYSTEMS.

12: FIRE ACCESS ROADS: THE APPLICANT MUST HAVE A MAINTAINED ASPHALT SURFACE ROAD FOR INGRESS AND EGRESS OF FIRE APPARATUS. THE CIOUNTY OF SAN MATEO'S DEPARTMENT OF PUBLIC WORKS, THE COASTSIDE FIRE DISTRICT ORDINANCE 2019-01 AND THE CALIFORNIA FIRE CODE SHALL SET ROAD STANDARDS. AS PER THE 2019 CFC, DEAD END ROADS EXCEEDING 150 FEET SHALL BE PROVIDED WITH A TURNAROUND IN ACCORDANCE WITH COASTSIDE FIRE DISTRICT SPECIFICATIONS. AS PER THE 2019 CFC, SECTION APPENDIX D, ROAD WIDTH SHALL NOT BE LESS THAN 20 FEET. FIRE ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO COMBUSTIBLES BEING PLACED ON THE PROJECT SITE AND MAINTAINED DURING CONSTRUCTION. APPROVED SIGNS AND PAINTED CURBS OR LINES SHALL BE PROVIDED AND MAINTAINED TO IDENTIFY FIRE ACCESS ROADS AND STATE THE PROHIBITION OF THEIR OBSTRUCTION. IF THE ROAD WIDTH DOES NOT ALLOW PARKING ON THE STREET (20 FOOT ROAD) AND ON-STREET PARKING IS DESIRED, AN ADDITIONAL IMPROVED AREA SHALL BE DEVELOPED FOR THAT USE.

13: FIRE APPARATUS ROADS TO BE A MINIMUM OF 20 FEET WIDE WITH A MINIMUM OF 35 FEET CENTERLINE RADIUS AND A VERTICAL CLEARANCE OF 15 FEET CFC503, D103, T-14 1273

FIRE APPARATUS ACCESS ROADS TO BE AN APPROVED ALL WEATHER SURFACE. GRADES 15% OR GREATER TO BE SURFACED WITH ASPHALT, OR BRUSHED CONCRETE. GRADES 15% OR GREATER SHALL BE LIMITED TO 150 FEET IN LENGTH WITH A MINIMUM OF 500 FEET BETWEEN THE NEXT SECTION. FOR ROADS APPROVED LESS THAN 20 FEET, 20 FEET WIDE TURNOUTS SHALL BE ON EACH SIDE OF 15% OR GREATER SECTION. NO GRADES OVER 20%. (PLAN AND PROFILE REQUIRED CFC 503)

14: "NO PARKING - FIRE LANE" SIGNS SHALL BE PROVIDED ON BOTH SIDES OF ROADS 20 TO 26 FEET WIDE AND ON ONE SIDE OF ROADS 26 TO 32 FEET WIDE. CFC D103.6. COASTSIDE FIRE DISTRICT ORDINANCE #2019-01 SECTION 503.3.1 REQUIRES THE POSTING OF SIGNS EVERY 75 FEET OF TRAVEL OM BOTH SIDES OF THE ROADWAY STATING "NO PARKING FIRE LANE CVC 22500.1"

14A: DEAD END EMERGENCY ACCESS EXCEEDING 150 FEET SHALL BE PROVIDED WITH WIDTH AND TURNAROUND PROVISIONS MEETING CALIFORNIA FIRE CODE APPENDIX D.

14B: A PLAN AND PROFILE OF THE DRIVEWAY/ROADWAY IS DONE BY THE CIVIL ENGINEER. SEE FIRM'S DESIGN AND PLANS

15: FIRE HYDRANT: AS PER 2019 CFC, APPENDIX B AND C, A FIRE DISTRICT APPROVED FIRE HYDRANT (CLOW 960) MUST BE LOCATED WITHIN 500 FEET OF THE PROPOSED SINGLE-FAMILY DWELLING UNIT MEASURED BY WAY OF DRIVABLE ACCESS. AS PER 2019 CFC, APPENDIX B. THE HYDRANT/STANDPIPE MUST PRODUCE A MINIMUM FIRE FLOW OF 1,000 GALLONS PER MINUTE AT 20 POUNDS PER SQUARE INCH RESIDUAL PRESSURE FOR 2 HOURS. CONTACT THE LOCAL WATER PURVEYOR FOR WATER FLOW DETAILS. (THE APPLICANT SHALL PROVIDE DOCUMENTATION INCLUDING HYDRANT LOCATION, MAIN SIZE AND FIRE FLOW REPORT A THE BUILDING PERMIT APPLICATION STAGE. INSPECTION REQUIRED PRIOR TO THE FIRE'S FINAL APPROVAL OF THE BUILDING PERMIT OR BEFORE COMBUSTIBLES ARE BROUGHT ON SITE).

16: THE REQUIRED FIRE FLOW SHALL BE AVAILABLE FROM A COUNTY STANDARD WET BARREL FIRE HYDRANT. THE CONFIGURATION OF THE HYDRANT SHALL HAVE A MINIMUM OF ONE EACH 4 1/2" OUTLET AND ONE EACH 2 1/2" OUTLET LOCATED NOT MORE THAN 250 FEET FROM THE BUILDING MEASURED BY WAY OF APPROVED DRIVABLE ACCESS TO THE PROJECT SITE.

17: CONTACT THE FIRE MARSHALL'S OFFICE TO SCHEDULE A FINAL INSPECTION PRIOR TO OCCUPANCY AND FINAL INSPECTION BY A BUILDING INSPECTOR. ALLOW FOR A MINIMUM OF 72 HOURS NOTICE TO THE FIRE DEPARTMENT

A: VEGETATION MANAGEMENT (LRA): THE COASTSIDE FIRE DISTRICT ORDINANCE 2019-01, THE 2019 CALIFORNIA FIRE CODE 304.1.2 AND PUBLIC RESOURCES CODE 4291. A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. IN SRA (STATE RESPONSIBLE AREA) THE FUEL BREAK IS 100 FEET OR TO THE PROPERTY LINE.

B: TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 TO 10 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.

C: REMOVE THAT PORTION OF ANY EXISTING TREE, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD

D: THE INSTALLATION OF AN APPROVED SPARK ARRESTER IS REQUIRED ON ALL CHIMNEYS - EXISTING AND NEW. SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12-GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2".

E: A FUEL BREAK OR DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES.

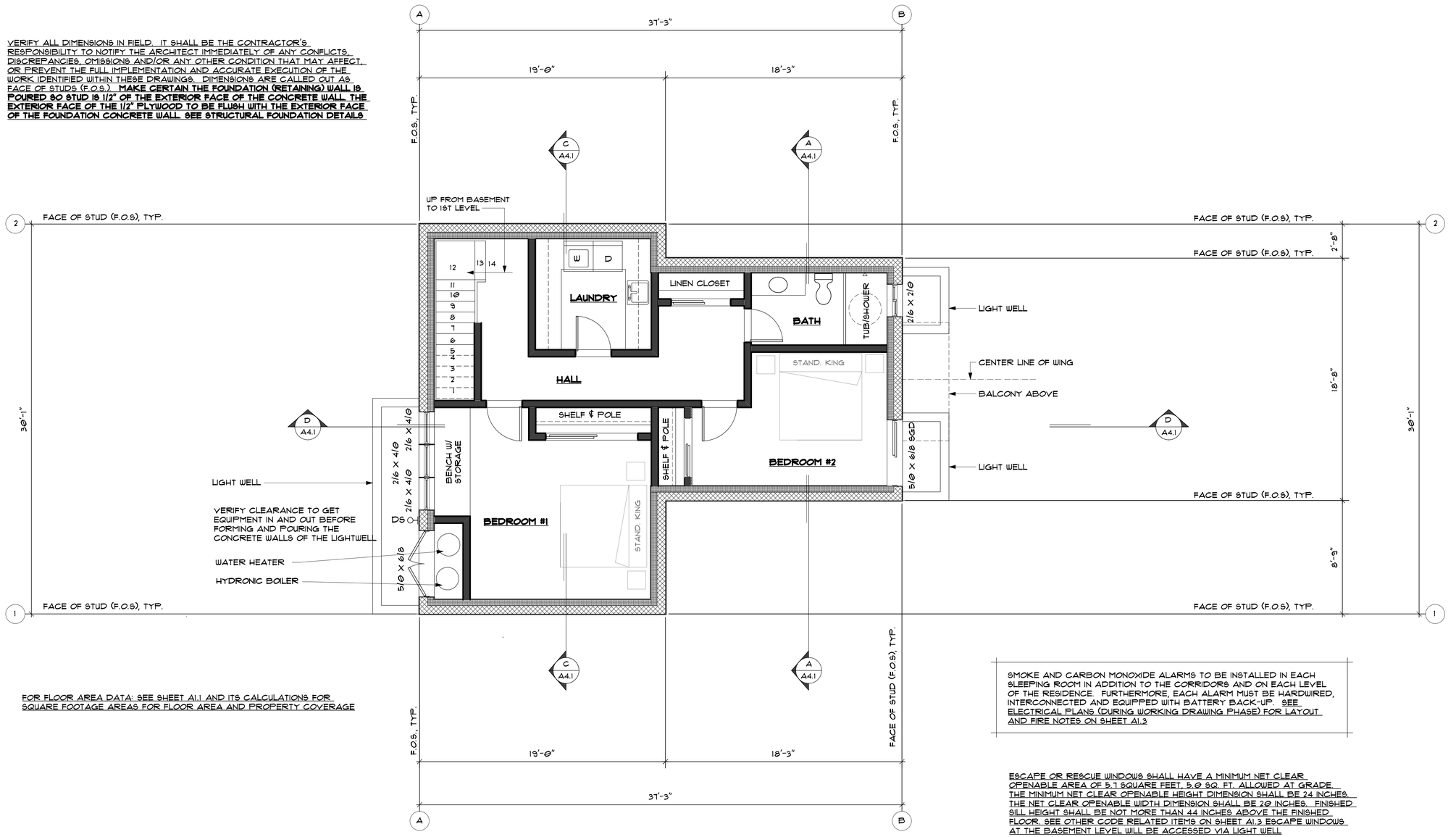
CHRIS RIDGWAY ARCHITECT, INC.
610 POPLAR STREET, HALF MOON BAY, CA. 94019
PH#: 650.622.6301 WEB SITE: CRARCHITECT.NET
EMAIL: CRARCHITECT@COASTSIDE.NET

LICENSED ARCHITECT CHRIS RIDGWAY C 15465 EXP. 4/30/21 STATE OF CALIFORNIA

NEW RESIDENCE FOR: BRANDON & KRISTY
FIELDS
A.P.N.: 036-014-100 (110 / 120)
ADDRESS: 234 2ND STREET, MONTARA, CA 94037

JOB # 1905
SCALE AS NOTED
DATE 7/1520
SHEET A1.3

VERIFY ALL DIMENSIONS IN FIELD. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS, DISCREPANCIES, OMISSIONS AND/OR ANY OTHER CONDITION THAT MAY AFFECT, OR PREVENT THE FULL IMPLEMENTATION AND ACCURATE EXECUTION OF THE WORK IDENTIFIED WITHIN THESE DRAWINGS. DIMENSIONS ARE CALLED OUT AS FACE OF STUDS (F.O.S.) **MAKE CERTAIN THE FOUNDATION (RETAINING) WALL IS POURED SO STUD IS 1 1/2" OF THE EXTERIOR FACE OF THE CONCRETE WALL. THE EXTERIOR FACE OF THE 1/2" PLYWOOD TO BE FLUSH WITH THE EXTERIOR FACE OF THE FOUNDATION CONCRETE WALL. SEE STRUCTURAL FOUNDATION DETAILS**



FOR FLOOR AREA DATA: SEE SHEET A1.1 AND ITS CALCULATIONS FOR SQUARE FOOTAGE AREAS FOR FLOOR AREA AND PROPERTY COVERAGE

SMOKE AND CARBON MONOXIDE ALARMS TO BE INSTALLED IN EACH SLEEPING ROOM IN ADDITION TO THE CORRIDORS AND ON EACH LEVEL OF THE RESIDENCE. FURTHERMORE, EACH ALARM MUST BE HARDWIRED, INTERCONNECTED AND EQUIPPED WITH BATTERY BACK-UP. SEE ELECTRICAL PLANS (DURING WORKING DRAWING PHASE) FOR LAYOUT AND FIRE NOTES ON SHEET A1.3

ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. 5.0 SQ. FT. ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR. SEE OTHER CODE RELATED ITEMS ON SHEET A1.3 ESCAPE WINDOWS AT THE BASEMENT LEVEL WILL BE ACCESSED VIA LIGHT WELL

BASEMENT LEVEL PLAN

SCALE: 1/4" = 1'-0"

0 10 20 30

S W E N

CHRIS RIDGWAY ARCHITECT, INC.
670 POPLAR STREET, HALF MOON BAY, CA 94019
PH#: 650.622.6301 WEB SITE: CRARCHITECT.NET
EMAIL: CRARCHITECT@COASTSIDE.NET

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A.P.N: 036-014-100 (110 / 120)
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JOB # 1905

SCALE AS NOTED

DATE 7/1520

SHEET A2.1

SMOKE AND CARBON MONOXIDE ALARMS TO BE INSTALLED IN EACH SLEEPING ROOM IN ADDITION TO THE CORRIDORS AND ON EACH LEVEL OF THE RESIDENCE. FURTHERMORE, EACH ALARM MUST BE HARDWIRED, INTERCONNECTED AND EQUIPPED WITH BATTERY BACK-UP. SEE ELECTRICAL PLANS (DURING WORKING DRAWING PHASE) FOR LAYOUT AND FIRE NOTES ON SHEET A1.3

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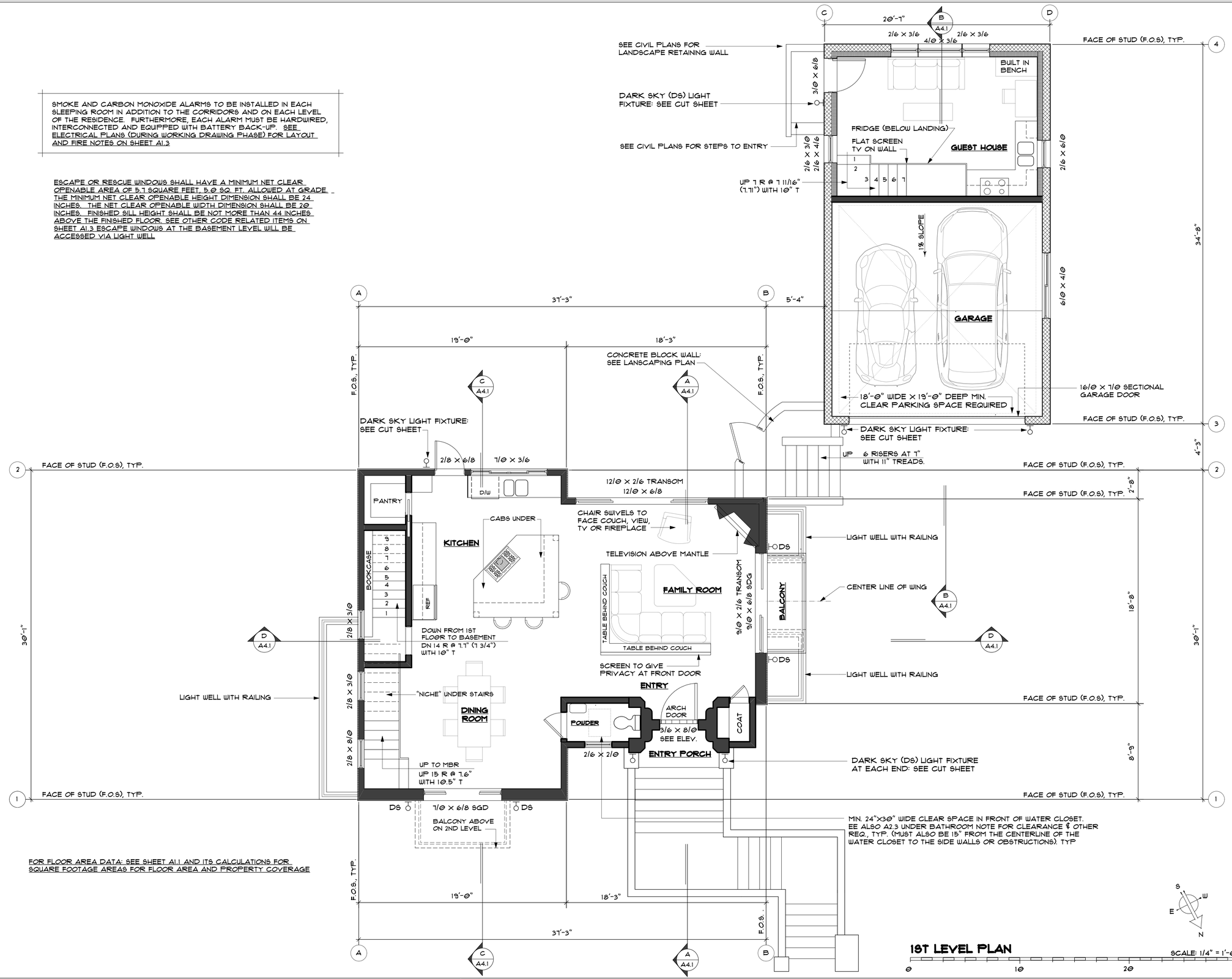

FOR FLOOR AREA DATA: SEE SHEET A1.1 AND ITS CALCULATIONS FOR SQUARE FOOTAGE AREAS FOR FLOOR AREA AND PROPERTY COVERAGE

1ST LEVEL PLAN

SCALE: 1/4" = 1'-0"

0 10 20 30

CHRIS RIDGWAY ARCHITECT, INC.
610 POPLAR STREET, HALF MOON BAY, CA. 94019
PH#: 650.627.6391 WEB SITE: CRARCHITECT.NET
EMAIL: CRARCHITECT@COASTSIDE.NET

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FIELDS
A.P.N: 036-014-100 (110 / 120)
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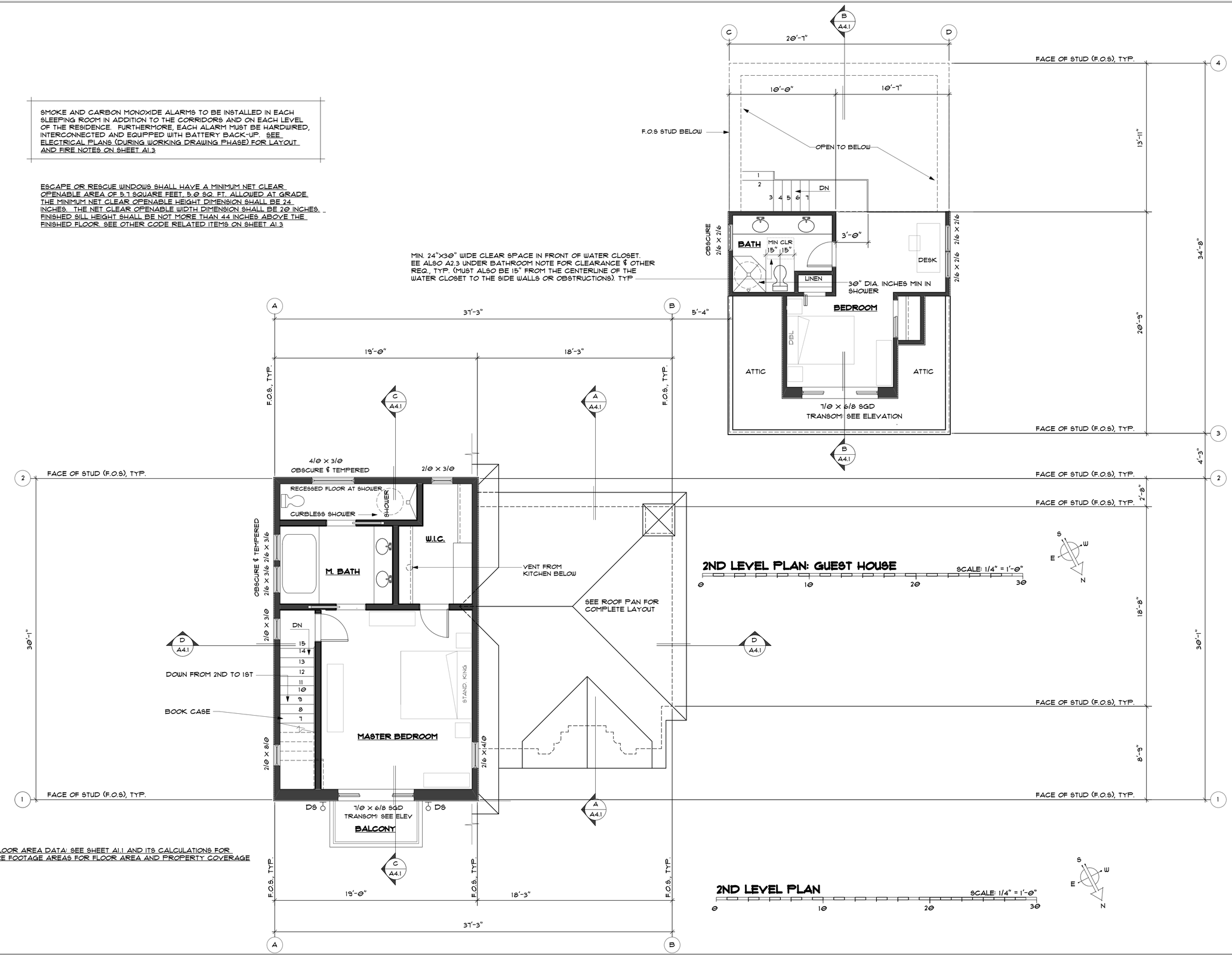
SHEET A2.2

SMOKE AND CARBON MONOXIDE ALARMS TO BE INSTALLED IN EACH SLEEPING ROOM IN ADDITION TO THE CORRIDORS AND ON EACH LEVEL OF THE RESIDENCE. FURTHERMORE, EACH ALARM MUST BE HARDWIRED, INTERCONNECTED AND EQUIPPED WITH BATTERY BACK-UP. SEE ELECTRICAL PLANS (DURING WORKING DRAWING PHASE) FOR LAYOUT AND FIRE NOTES ON SHEET A1.3

ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. 5.0 SQ. FT. ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR. SEE OTHER CODE RELATED ITEMS ON SHEET A1.3



FOR FLOOR AREA DATA: SEE SHEET A1.1 AND ITS CALCULATIONS FOR SQUARE FOOTAGE AREAS FOR FLOOR AREA AND PROPERTY COVERAGE

CHRIS RIDGWAY ARCHITECT, INC.
610 POPLAR STREET, HALF MOON BAY, CA 94019
PH#: 650.622.6501 WEB SITE CRARCHITECT.NET
EMAIL: CRARCHITECT@COASTSIDE.NET

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DATE 7/1520
SHEET A2.3

FOR SOLAR PANELS:

A: SOLAR PHOTOVOLTAIC SYSTEMS: THESE SYSTEMS SHALL MEET THE REQUIREMENTS OF THE COASTSIDE FIRE PROTECTION DISTRICT AS OUTLINED IN STANDARD DETAIL DI-0071 SOLAR PHOTOVOLTAIC SYSTEMS.

1: THERE WILL BE A MINIMUM OF 36" OF WALKING SPACE AROUND THE PERIMETER OF SOLAR ARRAY INSTALLED ON ROOF.

2: ALL SOLAR CONDUITS, INTERIOR OR EXTERIOR WILL BE PERMANENTLY LABELED WITH FADE RESISTANT MATERIAL: *CAUTION: "SOLAR PV". CAUTION MAY REMAIN ENERGIZED AFTER DISCONNECTING DURING DAYLIGHT HOURS."*

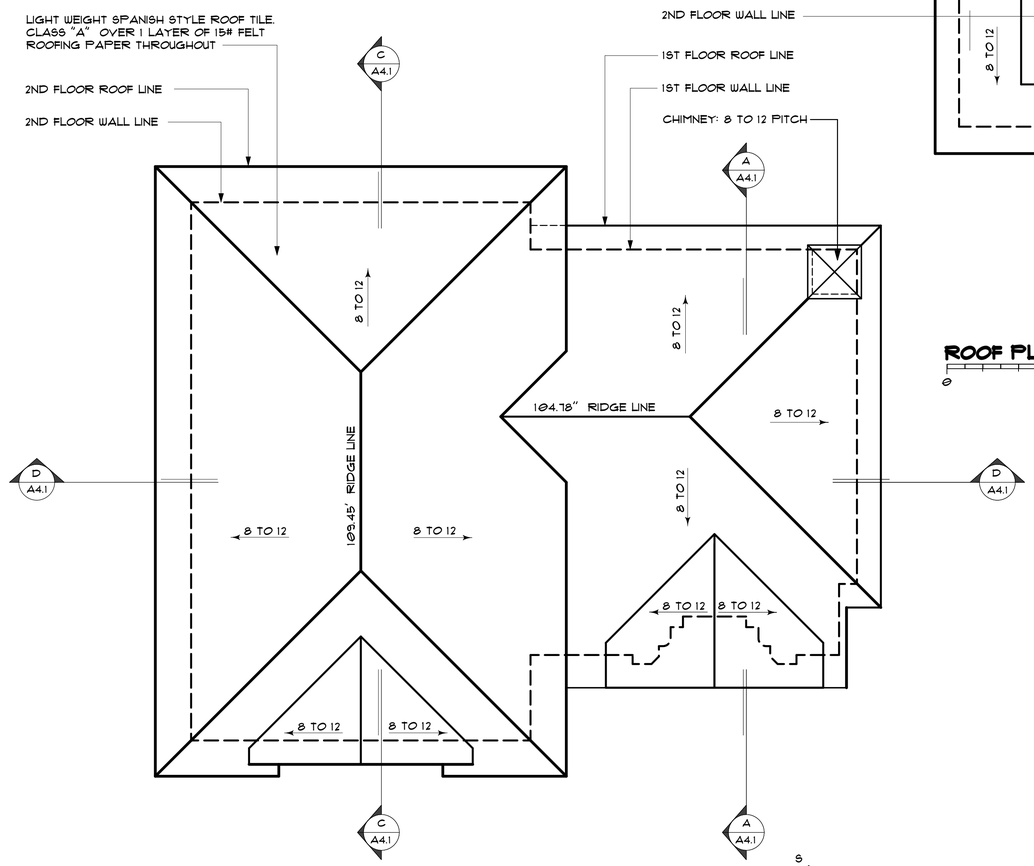
3: BATTERY STORAGE IN ENCLOSED ROOMS TO BE MOUNTED A MINIMUM OF 24" ABOVE FLOOR. IF CONTAINED WITHIN CABINET, A PERMANENT PLACARD TO BE POSTED.

4: ALL DISCONNECTS SHALL BE ACCESSIBLE TO FIRE DEPARTMENT AND LOCATED TOGETHER WHEN POSSIBLE

5: A SEPARATE EMERGENCY DISCONNECT ON ROOF TO DISCONNECT SOLAR PANELS FROM INTERIOR AND EXTERIOR WIRING RUNNING TO INVERTER. THIS DISCONNECT MUST BE PERMANENTLY LABELED, IN REFLECTIVE, FADE RESISTANT MATERIAL, *"EMERGENCY DISCONNECT."*

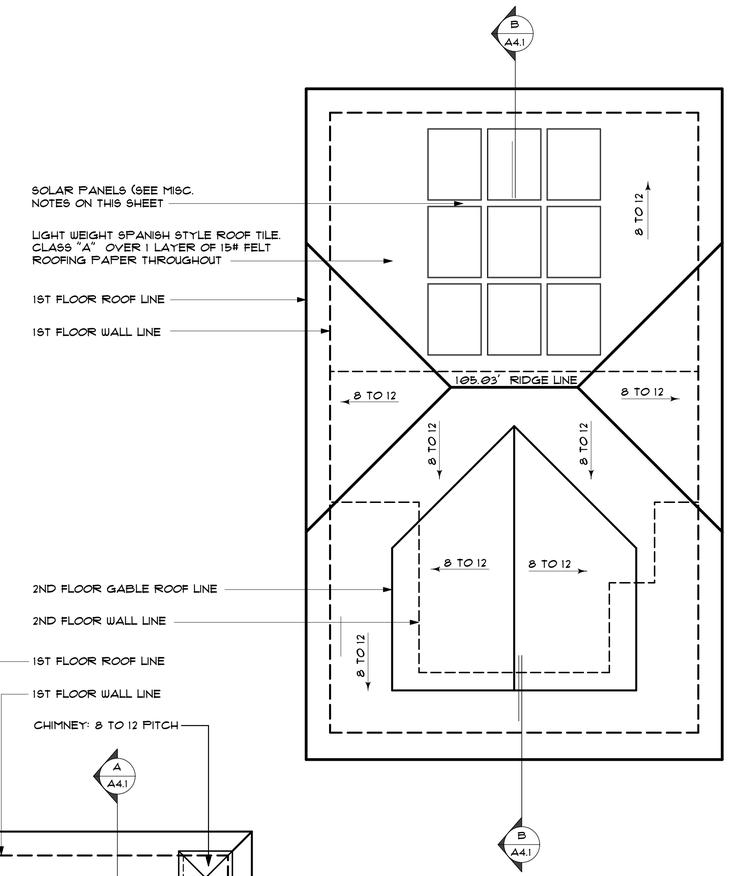
6: THE SOLAR COMPANY WILL PROVIDE ANY OTHER DETAILS AND PERTINENT INFORMATION PRIOR TO THE SUBMITTAL OF THE BUILDING PERMIT TO THE ARCHITECT. THIS INCLUDES CALCULATIONS FOR TOTAL OUTPUT, THE TOTAL NUMBER OF PANELS AND EXACT LOCATION ON THE ROOF

7: 5KW SYSTEM TO BE VERIFIED



ROOF PLAN: MAIN HOUSE SCALE: 1/4" = 1'-0"

0 10 20 30



ROOF PLAN: GUEST HOUSE SCALE: 1/4" = 1'-0"

0 10 20 30

CHRIS RIDGWAY ARCHITECT, INC.
610 POPLAR STREET, HALF MOON BAY, CA. 94019
PH#: 650.622.6301 WEB SITE: CRARCHITECT.NET
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SCALE AS NOTED

DATE 7/15/20

SHEET A2.4

ON THE CLERESTORY WINDOWS ABOVE ALL OF THE DOORS, THE STYLES SHALL BE THE SAME WIDTH AS THE STYLES ON THE DOORS, SO THE WINDOW LINES UP THE DOOR BELOW

ROOF TILE THROUGHOUT. CLASS "A" OVER 1 LAYER OF 15# FELT ROOFING PAPER, TYP. SEE COLOR BOARD FOR INFO

REDWOOD BAND WITH CONTROL JOINTS JUST ABOVE AND BELOW THE BAND.

THE APPLICANT SHALL PROVIDE "FINISHED FLOOR ELEVATION" & "OVERALL PROJECT HEIGHT" VERIFICATION TO CERTIFY THAT THE STRUCTURE IS ACTUALLY CONSTRUCTED AT THE HEIGHT SHOWN ON THE SUBMITTED PLANS. THE APPLICANT SHALL HAVE THE LICENSED LAND SURVEYOR WHO WAS COMMISSIONED FOR THE SURVEY ESTABLISH A BASELINE ELEVATION DATUM POINT IN THE VICINITY OF THE CONSTRUCTION SITE. SEE ALL STIPULATIONS ON THIS MATTER ON THE CONDITIONS OF APPROVAL (AT WORKING DRAWINGS PHASE)

RAFTER TAILS & OUTRIGGERS: SEE COLOR BOARD

DOORS & WINDOWS: WOOD WINDOWS CLAD IN ALUMINUM. SEE COLOR BOARD FOR INFO

109.45' - BASED ON BENCHMARK OF 74.10

104.78' - BASED ON BENCHMARK OF 74.10

105.23' - BASED ON BENCHMARK OF 74.10

34'-9" BASED ON BENCHMARK OF 74.10

30'-1" BASED ON BENCHMARK OF 74.10

30'-4" BASED ON BENCHMARK OF 74.10

THE S-17 REGULATIONS ITEM 9 CALLS FOR DAYLIGHT PLANE **OR** FACADE ARTICULATION. ITEM B "FACADE ARTICULATION. FACADE ARTICULATION IS INTENDED TO BREAK UP THE APPEARANCE OF SHEAR WALLS THROUGH THE PLACEMENT OF PROJECTING OR RECESSING ARCHITECTURAL DETAILS, INCLUDING DECKS, BAYS, WINDOWS, BALCONIES, PORCHES, OVERHANGS AND CANTILIVERED FEATURES." WE'VE DONE ALL OF THE ABOVE ON ALL ELEVATIONS.

PROPERTY LINE

SIDE SETBACK LINE

PLATE

HDR

DEPTH OF FLOOR JOISTS

2ND LEVEL

9'-2"

8 12

1'-0"

8'-8"

8'-6"

8'-9"

11'-8"

10'-9" @ ENTRY

85.10 FLOOR HEIGHT

NATURAL GRADE: 80.5'

BENCHMARK: THE SEWER LAMP HOLE WITH AN ELEVATION OF 74.10 TO BE USED FOR THIS PROJECT. SEE SURVEY FOR ALL OTHER PERTINENT INFO

STONE VENEER: EL DORADO STONE - ASHLAR PATTERN. SANTA BARBARA. SEE COLOR BD.

7/8" THICK STUCCO PLASTER OVER 2 LAYERS OF GRADE "D" BLDG. PAPER.

DARK SKY (DS) LIGHT FIXTURE: SEE FLOOR PLANS FOR ALL LOCATIONS AND CUT SHEETS

82.1 GARAGE FLOOR SLAB @ DOOR (SEE CIVIL PLANS)

BENCHMARK: THE SEWER LAMP HOLE WITH AN ELEVATION OF 74.10 TO BE USED. SEE SURVEY FOR ALL OTHER PERTINENT INFO

F.O.S

A B C D

92 91 90 89 88 87 86 85 84 83 82 81 80 79 78 77 76 75 74 73 72

FRONT - NORTH ELEVATION

SCALE: 1/4" = 1'-0"

0 10 20 30

28'-0" BLDG MAX HEIGHT WITH GRADING AS TAKEN FROM RIDGE OF BLDG.

HEIGHT LIMIT OF GUEST HOUSE - 26' ABOVE NATURAL GRADE

109.45' - BASED ON BENCHMARK OF 74.10

34'-9" BASED ON BENCHMARK OF 74.10

WINDOW @ BEDROOM (5'-3" HEADER HEIGHT)

FRONT S.B. LINE

85.1 FLOOR OF MAIN HOUSE

BOT. OF FLOOR JOIST

HDR

8'-0"

6'-8"

80.5 (E) GRADE

(E) GRADE

76.10 FLOOR OF BASEMENT

BUILT IN LADDER FOR EGRESS

SEE SECTIONS FOR COMPLETE BASEMENT INFORMATION

PLATE

HDR

6'-8"

8'-0"

6'-9"

86.8 FLOOR HEIGHT GUEST HOUSE

82.3 GARAGE SLAB AT BACK OF GARAGE

NATURAL GRADE

82.1 GARAGE SLAB AT GARAGE DOOR

NATURAL GR AND NEW GRADE

THE S-17 REGULATIONS ITEM 9 CALLS FOR DAYLIGHT PLANE **OR** FACADE ARTICULATION. ITEM B "FACADE ARTICULATION . . . FACADE ARTICULATION IS INTENDED TO BREAK UP THE APPEARANCE OF SHEAR WALLS THROUGH THE PLACEMENT OF PROJECTING OR RECESSING ARCHITECTURAL DETAILS, INCLUDING DECKS, BAYS, WINDOWS, BALCONIES, PORCHES, OVERHANGS AND CANTILIVERED FEATURES." WE'VE DONE ALL OF THE ABOVE ON ALL ELEVATIONS.

1 2 3 4

92 91 90 89 88 87 86 85 84 83 82 81 80 79 78 77 76 75 74 73

RIGHT SIDE - WEST ELEVATION

SCALE: 1/4" = 1'-0"

0 10 20 30

BENCHMARK: THE SEWER LAMP HOLE WITH AN ELEVATION OF 74.10 TO BE USED FOR THIS PROJECT. SEE SURVEY FOR ALL OTHER PERTINENT INFO

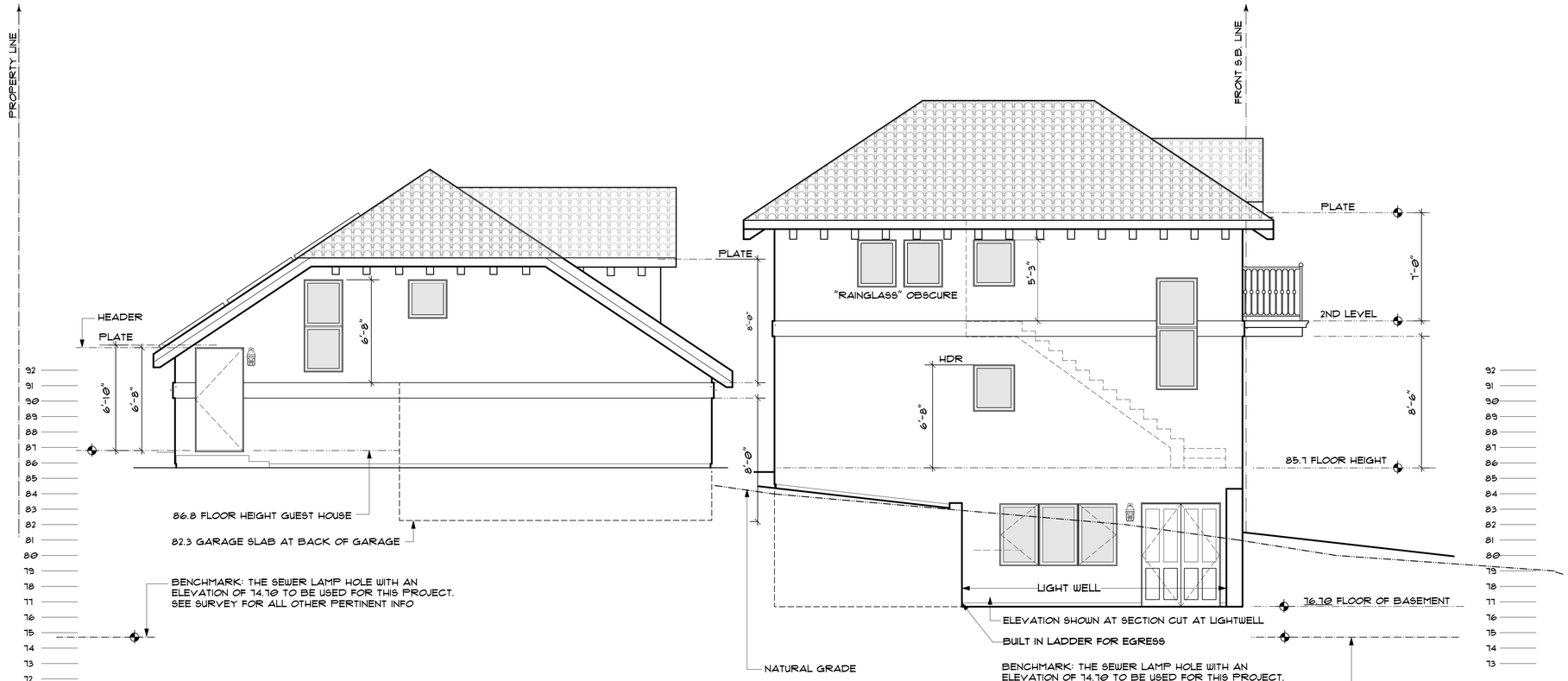
CHRIS RIDGWAY ARCHITECT, INC.
670 POPLAR STREET, HALF MOON BAY, CA 94019
PH#: 650.622.6301 WEB SITE: CRARCHITECT.NET
EMAIL: CRARCHITECT@COASTSIDE.NET

LICENSED ARCHITECT CHRIS RIDGWAY C 15465 EXP. 4/30/21 STATE OF CALIFORNIA

NEW RESIDENCE FOR: BRANDON & KRISTY **FIELDS** A.P.N.: 036-014-100 (110 / 120)
ADDRESS: 234 2ND STREET, MONTARA, CA 94037

JOB # 1905
SCALE AS NOTED
DATE 7/15/20

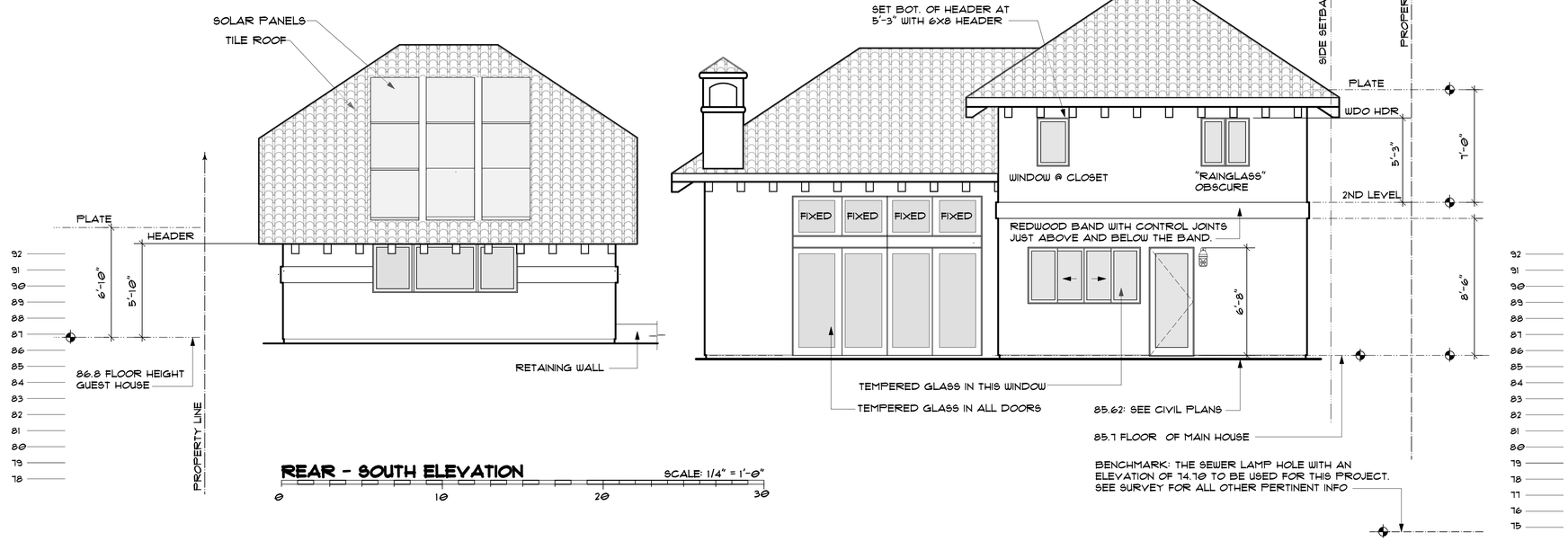
SHEET A3.1



LEFT SIDE - EAST ELEVATION

SCALE: 1/4" = 1'-0"

0 10 20 30



REAR - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

0 10 20 30

CHRIS RIDGWAY ARCHITECT, INC.
670 POPLAR STREET, HALF MOON BAY, CA 94019
PH#: 650.622.6301 WEB SITE: CRARCHITECT.NET
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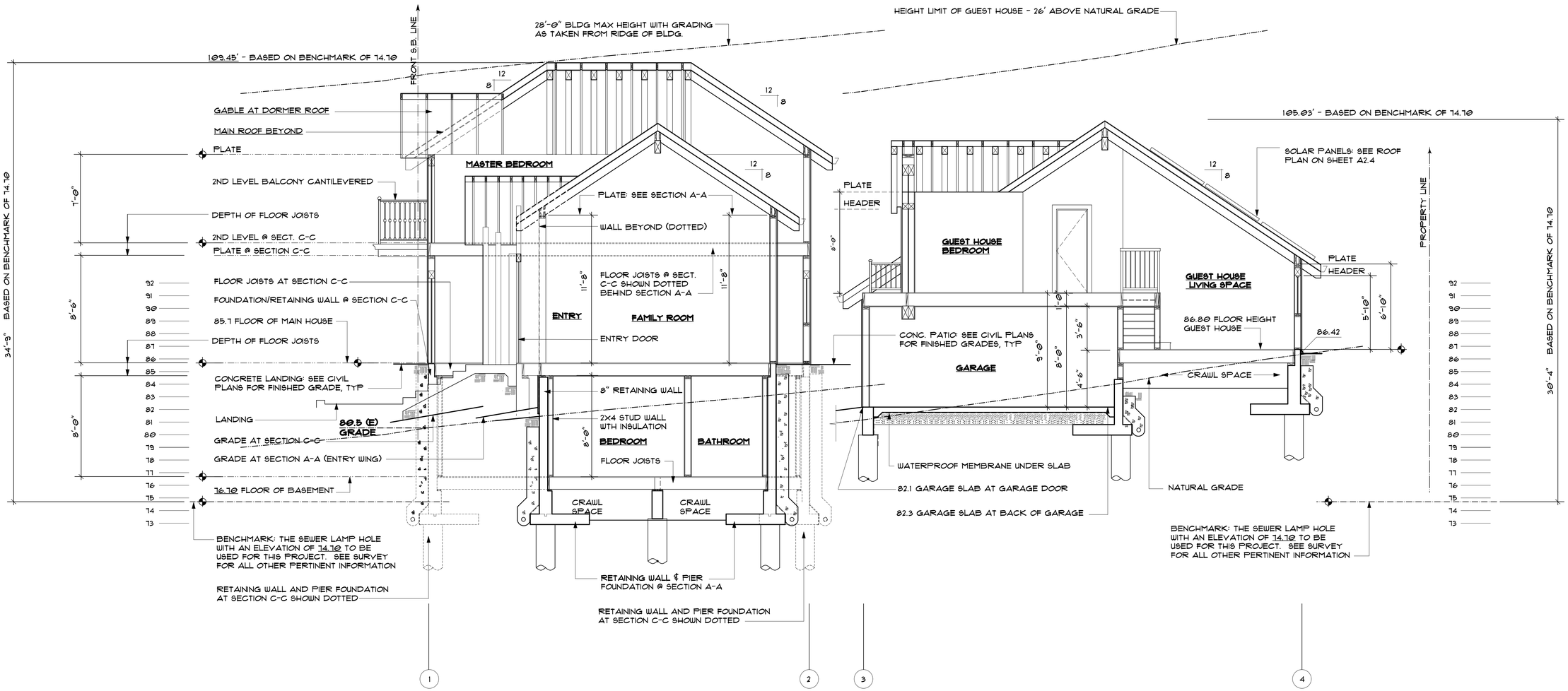
LICENSED ARCHITECT CHRIS RIDGWAY C 15465 EXP. 4/30/21 STATE OF CALIFORNIA

NEW RESIDENCE FOR: BRANDON & KRISTY
FIELDS
A.P.N: 036-014-100 (110 / 120)
ADDRESS: 234 2ND STREET, MONTARA, CA 94037

JOB # 1905
SCALE AS NOTED
DATE 7/15/20
SHEET A3.2



SECTION A-A & SECTION C-C

SCALE: 1/4" = 1'-0"

0 10 20 30

SECTION B-B

SCALE: 1/4" = 1'-0"

0 10 20 30

CHRIS RIDGWAY ARCHITECT, INC.
610 POPLAR STREET, HALF MOON BAY, CA. 94019
PH#: 650.622.6301 WEB SITE: CRARCHITECT.NET
EMAIL: CRARCHITECT@COASTSIDE.NET

LICENSED ARCHITECT CHRIS RIDGWAY C 15465 EXP. 4/30/21 STATE OF CALIFORNIA

NEW RESIDENCE FOR: BRANDON & KRISTY

FIELDS

A.P.N.: 036-014-100 (110 / 120)

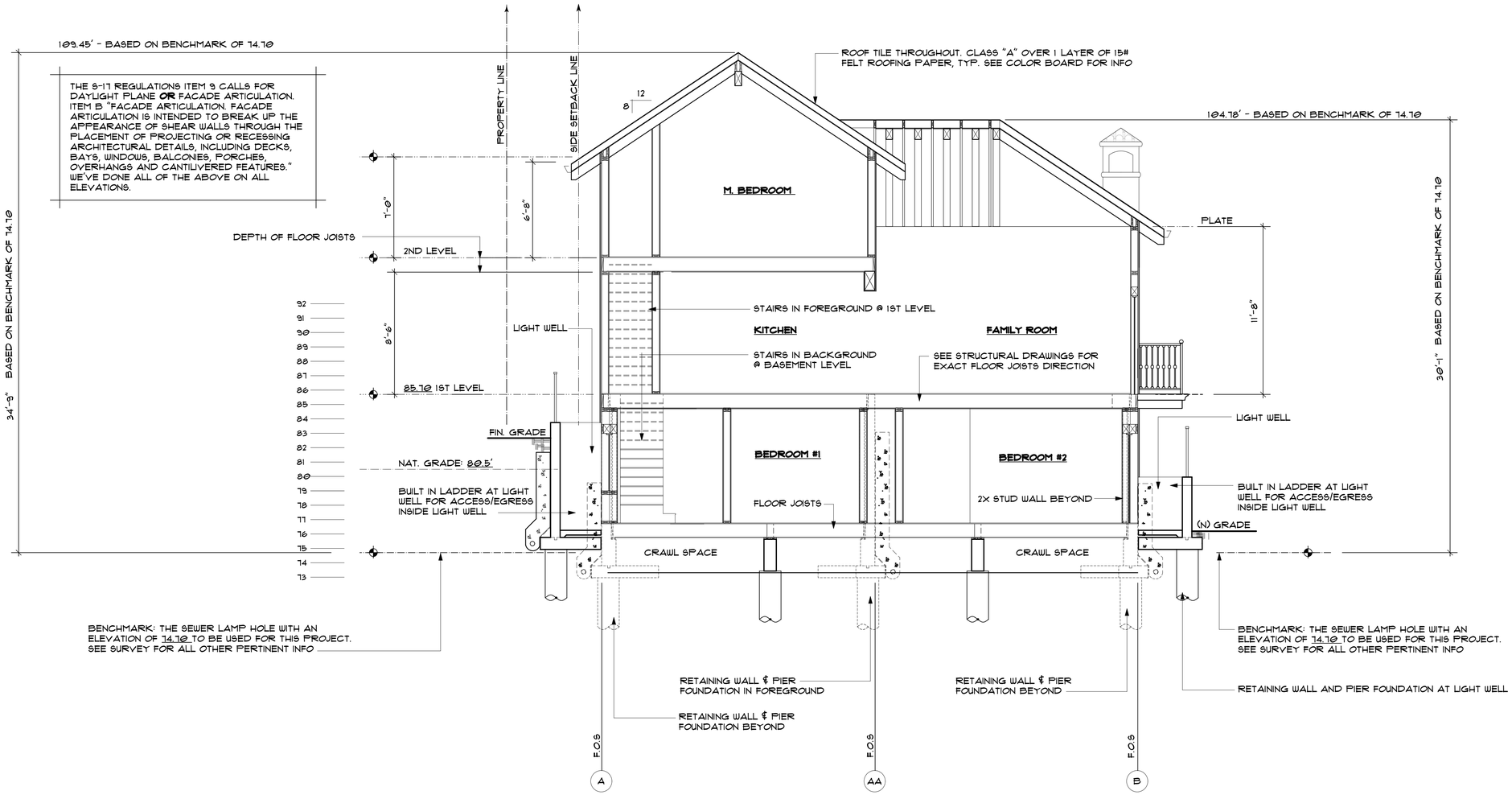
ADDRESS: 234 2ND STREET, MONTARA, CA 94037

JOB # 1905

SCALE AS NOTED

DATE 7/15/20

SHEET A4.1



SECTION D-D

SCALE: 1/4" = 1'-0"

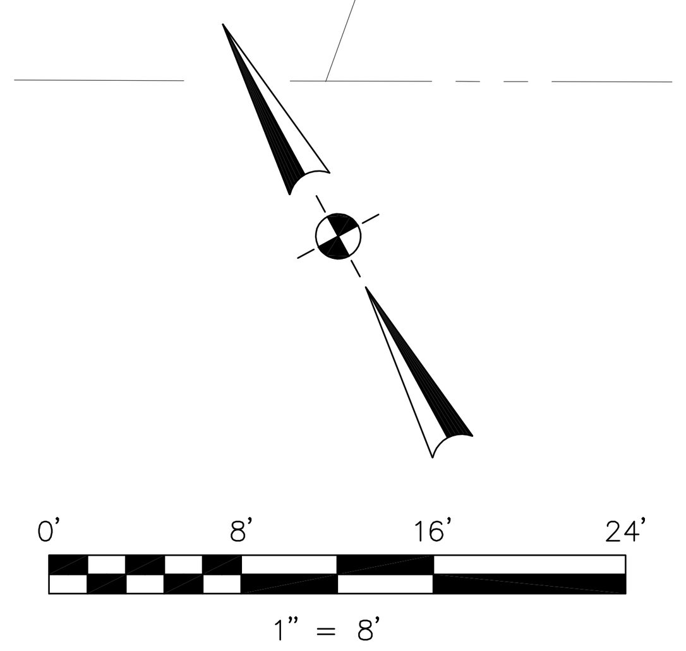
0 10 20 30

CHRIS RIDGWAY ARCHITECT, INC.
610 POPLAR STREET, HALF MOON BAY, CA 94019
PH#: 650.622.6301 WEB SITE: CRARCHITECT.NET
EMAIL: CRARCHITECT@COASTSIDE.NET

LICENSED ARCHITECT CHRIS RIDGWAY C 15465 EXP. 4/30/21 STATE OF CALIFORNIA

NEW RESIDENCE FOR: BRANDON & KRISTY
FIELDS
A.P.N: 036-014-100 (16 / 120)
ADDRESS: 234 2ND STREET, MONTARA, CA 94037

JOB # 1905
SCALE AS NOTED
DATE 7/15/20
SHEET A4.2



BASIS OF BEARINGS

BEARINGS SHOWN HEREON TAKEN FROM THE RECORD OF SURVEY BY BGT WHICH WAS FILED FOR RECORD IN VOLUME 29 OF LLS MAPS PAGE 40 ON DECEMBER 01, 2006, SAN MATEO COUNTY RECORDS, BASED ON MONUMENTS FOUND ON MAIN STREET, OUTSIDE MAPPING LIMITS (NORTH 28°39'00" EAST). THE BEARING OF FARALLONE STREET WAS ADJUSTED FROM SAID SURVEY BASED UPON THE TWO MONUMENTS AS SHOWN.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON MEAN SEA LEVEL DATUM BASED UPON A PREVIOUS GPS SURVEY PERFORMED IN 2002, TYING INTO "TIDAL; 5" BENCHMARK AT PRINCETON HARBOR. BENCHMARK TO USE FOR SITE WORK IS THE SEWER LAMP HOLE WITH AN ELEVATION OF 74.70 FEET.

NOTES:

BGT RELIED UPON A LAWYERS TITLE COMPANY PRELIMINARY TITLE REPORT AS TITLE REFERENCE, WHICH ALSO INCLUDES WITHIN ITS COVERAGE LOT 11, WHICH IS OUTSIDE THE SCOPE OF THIS SURVEY. SAID REPORT IS LISTED AS ORDER NO. 0051900083. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

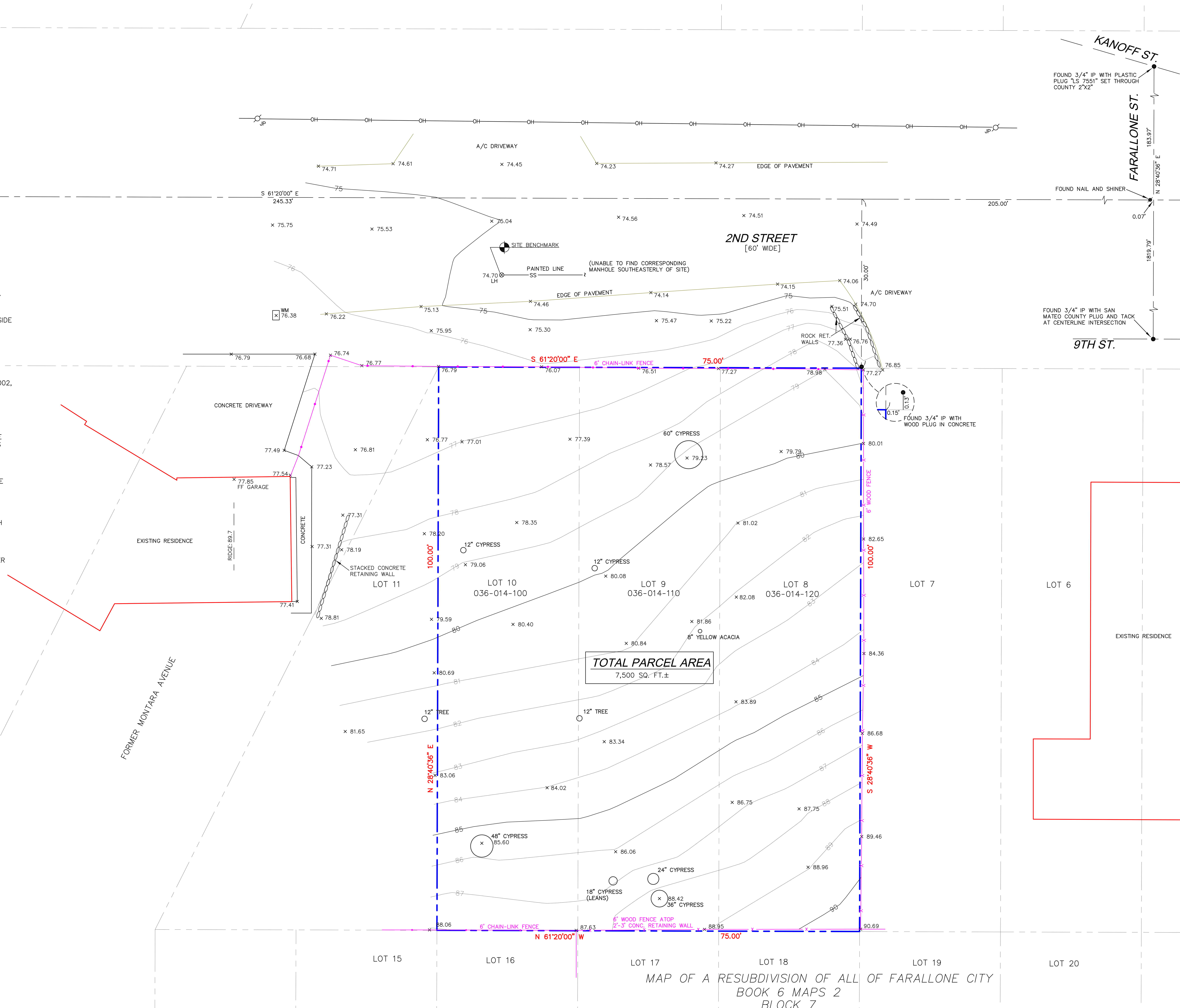
TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtsurveying.com

DATE OF FIELD SURVEY: AUGUST 22, 2019
JOB NUMBER: 19-115

LEGEND

AC	ASPHALT CONCRETE
FF	FINISHED FLOOR
IP	IRON PIPE
JP	JOINT POLE
LH	LAMP HOLE
WM	WATER METER BOX
WV	WATER VALVE
-SS-	SANITARY SEWER LINE



BGT LAND SURVEYING
871 Woodside Way - San Mateo, CA 94401
Main (650) 212-1030 bgtinfo@bgtsurveying.com

LICENSED LAND SURVEYOR
BRYAN G. TAYLOR
NO. 7551
STATE OF CALIFORNIA

BOUNDARY AND TOPOGRAPHIC SURVEY

LOTS 8-10, BLOCK 7, "MAP OF A RESUBDIVISION OF ALL OF FARALLONE CITY" (BOOK 6 MAPS 2)

VACANT, SECOND STREET

MONTARA, SAN MATEO COUNTY, CALIFORNIA

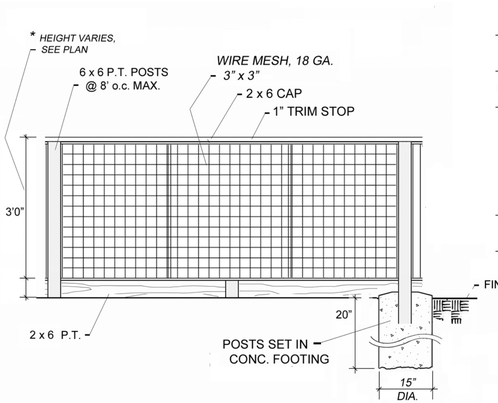
Assessor Parcel Number:
036-014-100
036-014-110
036-014-120

Prepared For:
BRANDON & KRISTY FIELDS
204 BAYVIEW DRIVE
SAN CARLOS, CA 94070

Date:	AUGUST 2019
Scale:	1" = 8'
Contour Interval:	1'
Drawn by:	LHL
Revisions:	

SU-1

Job No. 19-115



2 WIRE MESH FENCE

Not to Scale

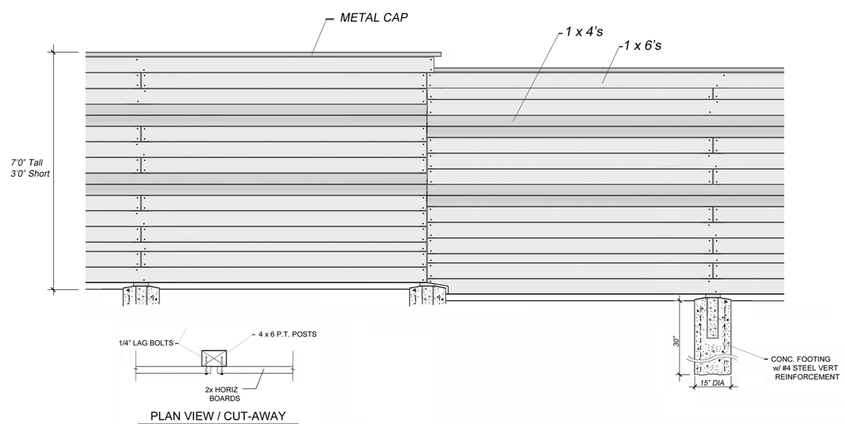
PLANTING NOTES

1. **CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ADMINISTRATION** PRIOR TO EXCAVATION AND GRADING.
2. **ALL PLANTING AREAS SHALL BE CLEARED OF WEEDS AND OTHER DEBRIS.** THE CONTRACTOR SHALL VERIFY WITH THE OWNER WHICH EXISTING PLANTS ARE TO REMAIN. EXISTING PLANTS TO BE REMOVED SHALL BE VERIFIED WITH OWNER PRIOR TO REMOVAL. ALL IVY IN PROJECT AREA SHALL BE REMOVED; IVY SHALL BE SPRAYED WITH HERBICIDE TWO WEEKS PRIOR TO REMOVAL.
3. **SOIL TESTING SHALL BE UNDERTAKEN BY THE CONTRACTOR,** AND PERFORMED BY A CERTIFIED LABORATORY. A COPY OF THE REPORT SHALL BE PROVIDED TO THE OWNER AND LANDSCAPE ARCHITECT. RECOMMENDATIONS FOR AMENDMENTS AND FERTILIZATION SHALL REFLECT THE NUTRIENT REQUIREMENTS OF SPECIFIED PLANT SPECIES
4. **SOIL AMENDMENTS SHALL BE FREE OF DEBRIS** SUCH AS LITTER, BROKEN CLAY POTS, AND OTHER FOREIGN MATERIAL. ROCKS LARGER THAN ONE INCH DIAMETER WILL NOT BE PERMITTED. SOIL AMENDMENTS SHALL HAVE THE FOLLOWING CONTENT: REDWOOD NITRIFIED COMPOST 40%, COARSE SAND 30%, BLACK TOPSOIL 30%.
5. **PLANT HOLES SHALL BE DOUBLE THE SIZE OF THE CONTAINER** (generally). THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH THE FOLLOWING MIXTURE: 80% TO 20% IMPORTED SOIL TO EXISTING SOIL.
6. **SOIL BERMS SHALL BE FORMED AROUND ALL PLANTS** 1 GALLON SIZE AND LARGER. BASINS SHALL BE MULCHED WITH A 4" LAYER OF BARK CHIPS, MINIMUM OF 1" IN SIZE. **PLANTING AREAS SHALL BE COVERED** WITH A 3" INCH LAYER OF BARK CHIPS.
7. **ALL PLANTS SHALL BE FERTILIZED.** FERTILIZER SHALL BE COMMERCIALLY AVAILABLE TYPE, AGRIFORM OR EQUIVALENT. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS. **RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED** BY THE CONTRACTOR. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
8. GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE PROJECT ARBORIST IN A TIMELY MANNER TO HAVE THE PROJECT ARBORIST PRESENT FOR ALL WORK PERFORMED WITHIN THE DRIP LINE OF PROTECTED TREES. THE CONTRACTOR SHALL ALSO REFER TO TO THE ARBORIST REPORT FOR EXISTING TREE IDENTIFICATION AND PROTECTION MEASURES.
9. PLANTS TO BE HAND-WATERED.

Plant List

No.	Botanical Name	Common Name	Qty	Size	WI	Remarks
ACER BJ	Acer palmatum 'Bloodgood'	Red Japanese Maple	2	24" Box	M	Decid Tree
COT COG	Cotinus coggyria	Smoke Tree	1	24" Box	L	Decid Tree
MET EXC	Metrosideros excelsus	New Zealand	3	15 Gal	L	Evgn Tree
LEP LAE	Leptospermum laevigatum	Australian Tea Tree	3	15 Gal	L	Evgn Tree
ALY HUE	Alyogyne huegelii	Blue Hibiscus		5 Gal	L	Evgn Shrub
BOUG BK	Bougainvillea	Bougainvillea		15 Gal	L	Decid Vine
	'Barbara Karst'					
CAR CAL	Carpenteria californica	Bush Anemone		5 Gal	M	Evgn Shrub
CAR BG	Carex 'Bowles Golden'	Bowles Golden sedge		5 Gal	M	Clump Grass
CAR DIV	Carex divulsa	European Grey Sedge		1 Gal	L	Clump Grass
CIS HYB	Cistus hybridus	White Orchid Rockrose		5 Gal	L	Evgn Shrub
DOD VP	Dodonaea viscosa	Purple Hopseed Bush		5 Gal	L	Evgn Shrub
	'Purpurea'					
ECH FAS	Echium fastuosum	Pride of Madeira		5 Gal	L	Evgn Shrub
ERICA	Erica carnea	Heath		1 Gal	L	Evgn Shrub
	'Myretoun Ruby'					
ERI KAR	Erigeron karvinskianus	Santa Barbara Daisy		1 Gal	L	Perennial
GUA LIN	Gaura lindheimeri	Lindheimer Bee Blossom		1 Gal	M	Perennial
HAR VIO	Hardenbergia violacea	Lilac Vine		15 Gal	M	Evgn Vine
HEU SAN	Heuchera sanguinea	Coral Bells		1 Gal	L	Perennial
LEU SS	Leucadendron 'Safari Sunset'	N C N		5 Gal	L	Evgn Shrub
LIM PER	Limonium perezii	Sea Thrift		1 Gal	L	Perennial
LOM LB	Lomandra longifolia	Live Evergreen		1 Gal	L	Clump Grass
	Breeze	Grass				
MYR COM	Myrtus communis	True Myrtle		1 Gal	M	Evgn Shrub
NEP SHG	Nepeta 'Six Hills Giant'	Ornamental Catmint		1 Gal	L	Perennial
PHOR DD	Phormium 'Dark Delight'	New Zealand Flax		5 Gal	L	Evgn Shrub
PHOR MC	Phormium 'Maori Chief'	New Zealand Flax		5 Gal	L	Evgn Shrub
ROS OFF	Rosmarinu officinalis	Creeping Rosemary		1 Gal	L	Groundcover
	'Prostratus'					
SAL GRE	Salvia greggii	Autumn Sage		5 Gal	L	Evgn Shrub
	'Furman's Red'					
STREL	Strelitzia reginae	Bird of Paradise		5 Gal	L	Evgn Shrub
TEUC CM	Teucrium conssonii majoricum	N C N		5 Gal	VL	Low Ev Shrub
COT LOW	Cotoneaster 'Lowfast'	Cotoneaster		1 Gal	L	Groundcover
DUC IND	Duchesna indica	Indian Mock Strawberry		1 Gal	M	Groundcover
AEON	Aeonium spp.	Rosette Succulent		1 Gal	L	Low Succulent
CRASS	Crassula spp.	Jade Plant Succulent		1 Gal	L	Low Succulent
LAM SPEC	Lampranthus spectablis	Trailing Ice Plant		1 Gal	L	Low Succulent
SEDUM	Sedum spurium	Sedum		1 Gal	L	Groundcover
	'Dragon's Blood'					

Note: Contractor shall verify quantities



PLAN VIEW / CUT-AWAY

1 WOOD FENCE

Not to Scale

Bruce A. Chan
Landscape Architect
CA Lic. # 002324
923 Arguello Street, Suite 200
Redwood City, California 94063
Tel (650) 346-7645
Fax (650) 367-8139
Email: bacla@sbcglobal.net
Landscape Architecture
Environmental Design
Site Planning

REGISTERED LANDSCAPE ARCHITECT BRUCE ALLEN CHAN No. 2324 Exp 03-31-22 STATE OF CALIFORNIA

Fields Residence
234 2nd Street
Montara California

TITLE

Landscape Plan

REVISIONS

	Date	Notes
1		
2		
3		
4		

PROJECT #:

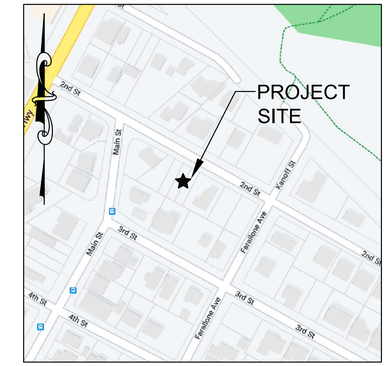
DATE: *July 12, 2020*

SHEET #:

L 1.1

NEW RESIDENCE
SECOND STREET
MONTARA, CA 94037

VICINITY MAP
N.T.S.



LOCATION MAP
N.T.S.

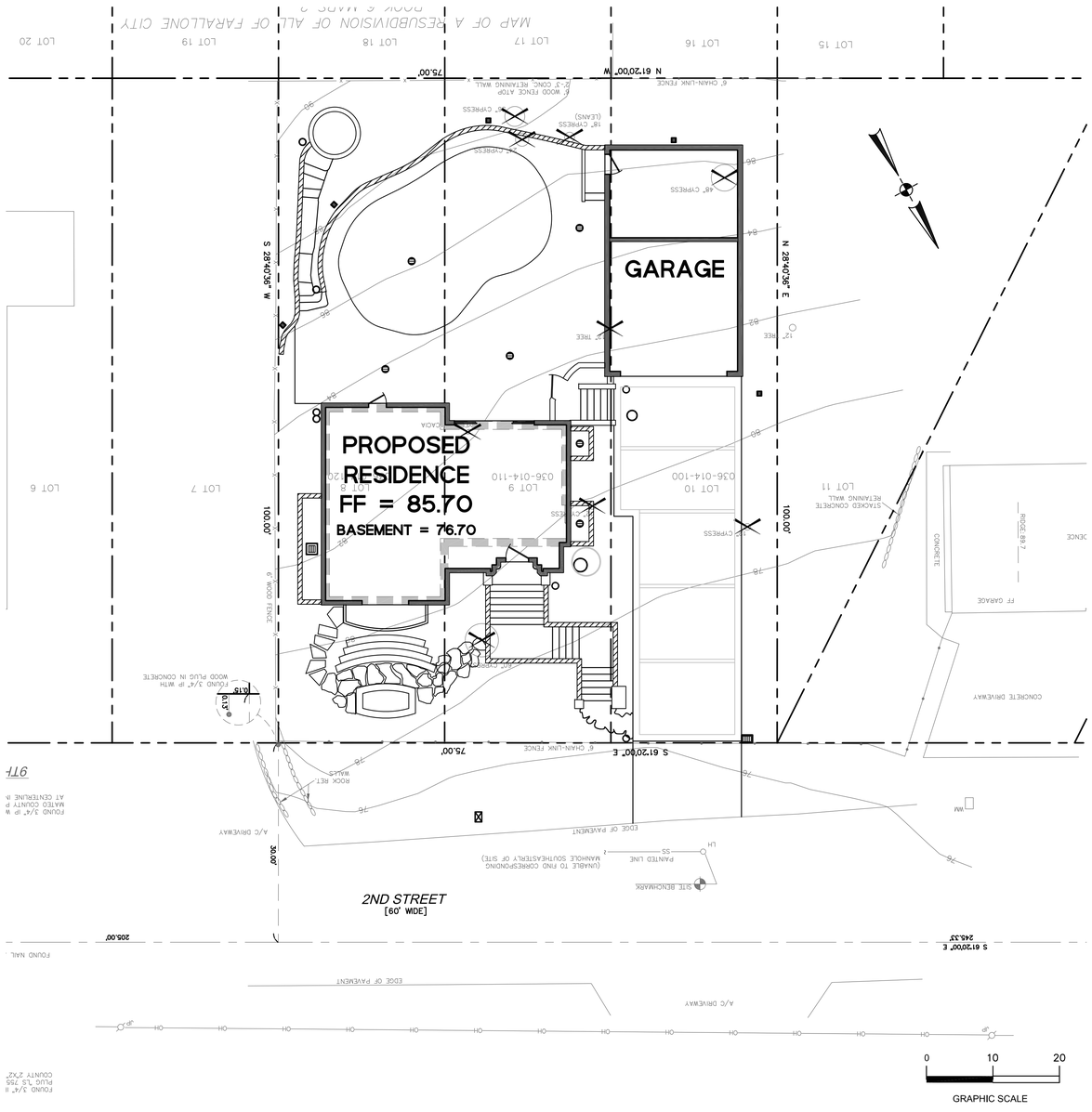
ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFP	BACK FLOW PREVENTION DEVICE
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DG	DECOMPOSED GRANITE
DIP	DUCTILE IRON PIPE
DS	ROOF DOWN SPOUT
DWY	DRIVEWAY
(E)	EXISTING
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
HW	HEATED WATER LINE
INV	PIPE INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
(N)	NEW
PIV	POST INDICATOR VALVE
POC	POINT OF CONNECTION
RIM	RIM ELEVATION
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBDCO	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SICB	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SPP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
VD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WM	WATER METER

EARTHWORK QUANTITIES

CUT	335 C.Y.
FILL	140 C.Y.
TOTAL TO BE MOVED	475 C.Y.
BALANCE	195 C.Y. CUT (OFF-HAUL)

EARTHWORK QUANTITIES SHOWN ABOVE ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES, AND USE THEIR CALCULATIONS FOR BIDDING AND COST ESTIMATING PURPOSES.



LEGEND:

EXISTING	PROPOSED	
SS	SS	SANITARY SEWER
SD	SD	STORM DRAIN
		STORM SUB-DRAIN (PERFORATED PIPE)
		TRANSITION FROM PERF. PIPE TO SOLID PIPE
FM	FM	FORCE MAIN
FW	FW	FIRE WATER LINE
W	W	DOMESTIC WATER SERVICE
IRR	IRR	IRRIGATION SERVICE
G	GAS	NATURAL GAS
E	E	ELECTRIC
JT	JT	JOINT TRENCH
X		FENCE
		CLEAN OUT
		DOUBLE DETECTOR CHECK VALVE
		POST INDICATOR VALVE
		VALVE
		METER BOX
		STREET LIGHT
		AREA DRAIN
		CATCH BASIN
		FIRE HYDRANT
		FIRE DEPARTMENT CONNECTION
		BENCHMARK
		MANHOLE
		SIGN
		DOWNSPOUT
		SPLASH BLOCK
		CONTOURS
		PROPERTY LINE
		SETBACK
		GRASS SWALE
		RETAINING WALL/ BUILDING STEMWALL
		(E) TREE TO BE REMOVED

SHEET INDEX

HYDROLOGY

(E) IMPERVIOUS AREA	(N) IMPERVIOUS AREA	REQUIRED STORAGE VOL.	STORAGE VOL. PROVIDED
0 SF	4,967 SF	318 CF	318 CF

811
CALL BEFORE YOU DIG
USA
UNDERGROUND SERVICE ALERT

PRECISION ENGINEERING AND CONSTRUCTION
T: 650.226.8640
Travis@precision-ec.com
901 Watterman Street
Belmont, CA 94002

REVISIONS:
	COUNTY COMMENTS	DATE: 10/27/2020
1		

REGISTERED PROFESSIONAL ENGINEER
TRAVIS R. LITZ
73638
CIVIL
STATE OF CALIFORNIA

TITLE SHEET
NEW RESIDENCE
SECOND STREET
MONTARA (SMCO), CA 94037

Date: 07/07/2020
Scale: AS SHOWN
Design: AJP
Check: TRL
Drawing Number: C-0
PEC Job No. PEC 20-013

DRAWING NAME: G:\Shared drives\PEC Project Files\2020\PEC 20-013 - Second Street, Montara (SMCO)\Dwg\PEC 20-013 SHEETS.dwg
LAST SAVED BY: Travis
PLOTTED BY: Travis

CAUTION:

1. THE LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS PLAN WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). CONTRACTOR SHALL VERIFY LOCATION AND DEPTH PRIOR TO ANY EXCAVATION OR IMPROVEMENT.

2. CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION- PHONE (800) 642-2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND SHALL CLEARLY MARK (AND THEN PRESERVE THESE MARKERS) FOR THE DURATION OF CONSTRUCTION OF ALL TELEPHONE, DATA, STREET LIGHT, SIGNAL LIGHT AND POWER FACILITIES THAT ARE IN OR NEAR THE AREA OF CONSTRUCTION PRIOR TO BEGINNING ANY WORK ON THIS SITE.

3. THESE DRAWINGS DO NOT ADDRESS CONTRACTOR MEANS AND METHODS OF CONSTRUCTION OR PROCESSES THAT MAY BE ASSOCIATED WITH ANY TOXIC SOILS IF FOUND ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL CITY AND COUNTY STANDARDS AND APPROPRIATE REGULATIONS IF TOXIC SOILS ARE ENCOUNTERED OR SUSPECTED OF BEING CONTAMINATED.

GENERAL SITE NOTES:

1. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING ON THIS WORK AND CONSIDER THE EXISTING CONDITIONS AND SITE CONSTRAINTS IN THE BID. CONTRACTOR SHALL BE IN THE POSSESSION OF AND FAMILIAR WITH ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS PRIOR TO SUBMITTING OF A BID.

2. THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.

3. ALL WORK ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS & SPECIFICATIONS.

4. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND INDEMNIFY AND HOLD THE OWNER, THE CONSULTING ENGINEER AND THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE CONSULTING ENGINEER.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE JOB SITE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT UNAUTHORIZED PERSONS ON THE JOB SITE BY PROVIDING A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION, INCLUDING ALL STAGING AND STORAGE AREAS. CONSTRUCTION FENCE SHALL BE A MINIMUM OF A 6' HIGH GALVANIZED CHAIN LINK WITH GREEN WINDSCREEN FABRIC ON THE OUTSIDE OF THE FENCE.

7. EXISTING PEDESTRIAN WALKWAYS, BIKE PATHS AND ACCESSIBLE PATHWAYS SHALL BE MAINTAINED, WHERE FEASIBLE, DURING CONSTRUCTION.

8. IF A CONFLICT ARISES BETWEEN THE SPECIFICATIONS AND THE PLAN NOTES, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.

9. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT BY GEOFORENSICS, INC. DATED OCTOBER 3, 2019 AND SUPPLEMENTAL RECOMMENDATIONS DATED AUGUST 25, 2020.

EXISTING CONDITIONS:

1. EXISTING TOPOGRAPHIC SURVEYS PERFORMED BY BGT LAND SURVEYING ON AUGUST 22, 2019 (JOB #19-115). GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.

2. CLIENT AGREES TO HOLD ENGINEER HARMLESS FROM ANY AND ALL OCCURRENCES RESULTING FROM THE INACCURACIES OF THE CLIENT SUPPLIED TOPOGRAPHIC AND/OR BOUNDARY SURVEY (PREPARED BY OTHERS).

SURVEYOR'S NOTES:

BASIS OF BEARINGS:

BEARINGS SHOWN HEREON TAKEN FROM THE RECORD OF SURVEY BY BGT WHICH WAS FILED FOR RECORD IN VOLUME 29 OF LLS MAPS PAGE 40 ON DECEMBER 01, 2006, SAN MATEO COUNTY RECORDS, BASED ON MONUMENTS FOUND ON MAIN STREET, OUTSIDE MAPPING LIMITS (NORTH 28°39'00" EAST). THE BEARING OF FARALLONE STREET WAS ADJUSTED FROM SAID SURVEY BASED UPON THE TWO MONUMENTS AS SHOWN.

BENCHMARK:

ELEVATIONS SHOWN HEREON ARE BASED UPON MEAN SEA LEVEL DATUM BASED UPON A PREVIOUS GPS SURVEY PERFORMED IN 2002, TYING INTO "TIDAL; 5" BENCHMARK AT PRINCETON HARBOR. BENCHMARK TO USE FOR SITE WORK IS THE SEWER LAMP HOLE WITH AN ELEVATION OF 74.70 FEET.

DEMOLITION NOTES :

1. PRIOR TO BEGINNING DEMOLITION WORK ACTIVITIES, CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES OUTLINED IN THE EROSION CONTROL PLAN & DETAILS.

2. THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.

3. CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, THE SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS AND REMOVAL AND DISPOSAL OF HAZARDOUS MATERIAL(S).

4. CONTRACTOR'S BID IS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED TO BE REMOVED OR ABANDONED IN THESE DOCUMENTS.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH THE DEMOLITION WORK.

7. THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.

8. BACKFILL ALL DEPRESSIONS AND TRENCHES FROM DEMOLITION. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS.

9. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.

10. THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS FACILITIES AND STRUCTURES WHICH ARE TO REMAIN. ANY ITEMS DAMAGED BY THE CONTRACTOR OR HIS AGENTS OR ANY ITEMS REMOVED FOR HIS USE SHALL BE REPLACED IN EQUAL OR BETTER CONDITION AS APPROVED BY THE OWNER.

11. COORDINATE ALL UTILITY SHUT-DOWN/DISCONNECT LOCATIONS WITH APPROPRIATE DRAWINGS (ELECTRICAL, MECHANICAL, ARCHITECTURAL, ETC.). CONTRACTOR IS TO SHUT OFF ALL UTILITIES AS NECESSARY PRIOR TO DEMOLITION. CONTRACTOR IS TO COORDINATE SERVICE INTERRUPTIONS WITH THE OWNER. DO NOT INTERRUPT SERVICES TO ADJACENT OFF-SITE OWNERS. ANY EXISTING UNDERGROUND UTILITY LINES TO BE ABANDONED, SHOULD BE REMOVED FROM WITHIN THE PROPOSED BUILDING ENVELOPE AND THEIR ENDS CAPPED OUTSIDE OF THE BUILDING ENVELOPE.

12. THIS PLAN IS NOT INTENDED TO BE A COMPLETE CATALOGUE OF ALL EXISTING STRUCTURES AND UTILITIES. THIS PLAN INTENDS TO DISCLOSE GENERAL INFORMATION KNOWN BY THE ENGINEER AND TO SHOW THE LIMITS OF THE AREA WHERE WORK WILL BE PERFORMED. THIS PLAN SHOWS THE EXISTING FEATURES TAKEN FROM A FIELD SURVEY, FIELD INVESTIGATIONS AND AVAILABLE INFORMATION. THIS PLAN MAY OR MAY NOT ACCURATELY REFLECT THE TYPE OR EXTENT OF THE ITEMS TO BE ENCOUNTERED AS THEY ACTUALLY EXIST. WHERE EXISTING FEATURES ARE NOT SHOWN, IT IS NOT IMPLIED THAT THEY ARE NOT TO BE DEMOLISHED OR REMOVED. THE CONTRACTOR SHALL PERFORM A THOROUGH FIELD INVESTIGATION AND REVIEW OF THE SITE WITHIN THE LIMIT OF WORK SHOWN IN THIS PLAN SET TO DETERMINE THE TYPE, QUANTITY AND EXTENT OF ANY AND ALL ITEMS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXTENT OF EXISTING STRUCTURES AND UTILITIES AND QUANTITY OF WORK INVOLVED IN REMOVING THESE ITEMS FROM THE SITE.

TREE/PLANT PROTECTION NOTES:

1. PRIOR TO BEGINNING CONSTRUCTION ON SITE, CONTRACTOR SHALL IDENTIFY AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.

2. PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY INJURIOUS MATERIAL; AS WELL AS FROM PUDDLING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE CITY'S ENGINEER/INSPECTOR IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL AS WELL AS MATERIAL CLEAN UP.

3. CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL TREES DESIGNATED TO REMAIN AND FOR MAINTENANCE OF RELOCATED TREES STOCKPILED DURING CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REPLACE TREES THAT DIE DUE TO LACK OF MAINTENANCE.

HORIZONTAL CONTROL NOTES:

1. ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.

PAVEMENT SECTION:

1. SEE STRUCTURAL DRAWINGS FOR BUILDING SLAB SECTIONS AND PAD PREPARATIONS.

2. SEE GEOTECHNICAL REPORT FOR ALL FLATWORK, VEHICULAR PAVEMENT SECTIONS, BASE AND COMPACTION REQUIREMENTS.

3. THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL GRADING, AND ALL UNACCEPTABLE CONCRETE WORK HAS BEEN REMOVED AND REPLACED, UNLESS OTHERWISE APPROVED BY THE CITY/COUNTY ENGINEER AND/OR DEVELOPER'S CIVIL ENGINEER.

4. ALL PAVING SHALL BE IN CONFORMANCE WITH SECTION 26 "AGGREGATE BASE" AND SECTION 39 "ASPHALT CONCRETE" PER LATEST EDITION OF CALTRANS STANDARD SPECIFICATIONS.

GRADING NOTES:

1. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 5%, UNLESS OTHERWISE NOTED ON THE PLANS. SLOPE LANDINGS 2% (1/4" PER FOOT) AWAY FROM, STRUCTURES UNLESS OTHERWISE NOTED ON PLANS. ANY AREAS ON THE SITE NOT CONFORMING TO THESE BASIC RULES DUE TO EXISTING CONDITIONS OR DISCREPANCIES IN THE DOCUMENTS ARE TO BE REPORTED TO THE CIVIL ENGINEER PRIOR TO PROCEEDING WITH PLACEMENT OF BASE ROCK OR FORMWORK FOR CURBS AND/OR FLATWORK.

2. CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTORS RESPONSIBILITY TO CONFIRM IF A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. BRING ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS TO THE ATTENTION OF THE CIVIL ENGINEER.

3. ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE GEOTECHNICAL ENGINEER TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.

4. IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.

5. DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE CIVIL ENGINEER.

6. SITE STRIPPINGS THAT CONTAIN ONLY ORGANIC MATERIAL (NO DEBRIS TRASH, BROKEN CONC. OR ROCKS GREATER THAN 1" IN DIAMETER) MAY BE USED IN LANDSCAPE AREAS, EXCEPT FOR AREAS IDENTIFIED AS IMPORT TOP SOIL BY THE LANDSCAPE DRAWINGS. EXCESS STRIPPINGS SHALL BE REMOVED FROM SITE.

7. ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05', HOWEVER CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.

8. THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTORS SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT NO EXTRA COST TO THE CLIENT.

9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING PRIOR TO START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.

10. THE CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL EXISTING MANHOLES, CURB INLETS, CATCH BASINS, VALVES, MONUMENT COVERS, AND OTHER CASTINGS WITHIN THE WORK AREA TO FINAL GRADE IN PAVEMENT AND LANDSCAPE AREAS UNLESS NOTED OTHERWISE.

STORM DRAIN NOTES:

1. USE DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6" BELOW THE SURFACE. TAPE SHALL BE A BRIGHT COLOR AND IMPRINTED WITH "CAUTION-BURIED STORM DRAIN LINE BELOW".

2. PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH IN NON-TRAFFIC AREAS SHALL BE INSTALLED WITH A MINIMUM OF EIGHTEEN (18) INCHES OF COVER AND SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS, 45° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE's ARE PROHIBITED.

3. PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITHIN VEHICULAR TRAFFIC AREAS SHALL BE INSTALLED WITH A MINIMUM OF EIGHTEEN (18) INCHES OF COVER AND SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 PIPE. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, OBTUSE ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE's ARE PROHIBITED.

4. PAINT THE TOP OF THE CURBS ADJACENT TO EACH CATCH BASIN INSTALLED UNDER THIS WORK OR ADJACENT TO THIS SITE WITH THE WORDS "NO DUMPING". WORDING TO BE BLUE 4" HIGH LETTERS ON A PAINTED WHITE BACKGROUND.

5. ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.

6. DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT/OWNER.

6. WHERE FEASIBLE ALL DOWNSPOUTS SHALL DISCHARGE TO A SPLASHBLOCK OR IMPERVIOUS SURFACE AND FLOW TO LANDSCAPED FEATURES BEFORE ENTERING THE DRAINAGE SYSTEM. USE OF AREA DRAINS (RATHER THAN DIRECT CONNECTION TO DRAINAGE SYSTEM) TO COLLECT ROOF/SURFACE WATER IS STRONGLY ENCOURAGED IN CONFORMANCE WITH COUNTYWIDE C.3 REQUIREMENTS. OTHERWISE, DOWNSPOUTS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM WITH 4" PVC SDR 35 PIPE WHERE SHOWN ON PLANS. SEE ARCHITECTURE PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.

7. CONTRACTOR SHALL INSTALL RAIN GUTTER GUARDS OR WIRE MESH ON ALL ROOF GUTTERS TO REDUCE THE AMOUNT TO LEAVES AND DEBRIS FROM ENTERING THE STORM DRAIN SYSTEM.

8. CONTRACTOR TO COORDINATE ANY VENT WELL DRAINS AND RAT SLAB DRAINS WITH PERIMETER SUB-DRAIN SYSTEM. SEE ARCHITECTURAL PLANS FOR VENT WELL LOCATIONS. SEE STRUCTURAL PLANS FOR FOUNDATION AND RAT SLAB.

9. INSTALL SEPARATE SUB-DRAIN SYSTEM BEHIND RETAINING WALLS PER GEOTECHNICAL REPORT AND CONNECT TO STORM DRAIN SYSTEM AT SUMP PUMP.

10. INSTALL UNDER SLAB DRAINAGE SYSTEM PER THE GEOTECHNICAL REPORT AND CONNECT TO STORM DRAIN SYSTEM AS SHOWN ON UTILITY PLAN.

GENERAL UTILITY SYSTEM NOTES :

1. UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS AND EXTENT BASED UPON FIELD OBSERVATION ONLY. NO GUARANTEE IS MADE TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION AND DEPTH OF ALL THE UTILITIES AND CROSSINGS TO ENSURE THEY ARE CORRECT AS SHOWN. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING AND SHALL PROTECT ALL EXISTING UTILITIES FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS.

2. CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATIONS OF EXISTING UTILITIES AS DETERMINED DURING THE DEMOLITION WORK, AND ALL PROPOSED UTILITIES SHOWN ON THE CIVIL, ELECTRICAL, JOINT TRENCH AND FIRE SPRINKLER DRAWINGS.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.

4. CONTRACTOR SHALL REPLACE ALL COVERS AND GRATE LIDS FOR MANHOLES, VAULTS, CATCH BASINS, ETC., WITH VEHICULAR-RATED STRUCTURES IN ALL TRAFFIC ACCESSIBLE AREAS.

5. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.

6. ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.

7. CLEAN OUTS, CATCH BASINS, MANHOLES, AREA DRAINS AND UTILITY VAULTS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS (WHICH IS APPROXIMATE). CONTRACTOR SHALL STAKE LOCATIONS OF ABOVE GROUND UTILITY EQUIPMENT (BACKFLOW PREVENTOR, TRANSFORMER, UTILITY METERS, ETC.) AND MEET WITH OWNER TO REVIEW LOCATION PRIOR TO INSTALLATION.

8. CATHODIC PROTECTION MAY BE REQUIRED ON ALL METALLIC FITTINGS AND ASSEMBLIES THAT ARE IN CONTACT WITH THE SOIL, IF RECOMMENDED BY THE GEOTECHNICAL REPORT. CONTRACTOR IS RESPONSIBLE TO FULLY ENGINEER AND INSTALL THIS SYSTEM AND COORDINATE ANODE AND TEST STATION LOCATIONS WITH PROJECT MANAGER AND HOME OWNER.

9. ALL UTILITY SYSTEMS (SANITARY SEWER, STORM DRAIN, WATER SYSTEM, ETC.) ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.

10. CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK FOR STORM AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT TO ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UP STREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY. CONTRACTOR SHALL VERIFY LOCATION OF SANITARY SEWER LATERAL WITH OWNER PRIOR TO CONSTRUCTION.

11. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITIES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT HORIZONTAL AND VERTICAL CLEARANCE. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE CIVIL ENGINEER PRIOR TO INSTALLATION.

12. VERTICAL SEPARATION REQUIREMENTS:

    A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.

    WHERE NEW WATER PIPELINES ARE REQUIRED TO CROSS UNDER EXISTING AND/OR NEW SANITARY SEWER PIPELINES, THE MINIMUM VERTICAL SEPARATION SHALL BE 12 INCHES. WATER LINE PIPE ENDS SHALL BE INSTALLED NO CLOSER THAN 10' MINIMUM HORIZONTAL DISTANCE FROM CENTERLINE OF UTILITY CROSSINGS, WHERE FEASIBLE.

    HORIZONTAL SEPARATION REQUIREMENTS:

    A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE 5' FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10' MINIMUM, UNLESS OTHERWISE NOTED. WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90° ANGLE AND WATER LINES SHALL BE A MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES.

    A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.

SANITARY SEWER NOTES:

1. USE DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6" BELOW THE SURFACE. TAPE SHALL BE A BRIGHT COLOR AND IMPRINTED WITH "CAUTION-BURIED SANITARY SEWER LINE BELOW".

2. ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE CITY OR APPROPRIATE SANITARY SEWER DISTRICT.

3. PUBLIC AND PRIVATE SANITARY SEWER MAIN AND SERVICE LINE 4-INCH THROUGH 8-INCH WITH A MINIMUM OF TWENTY FOUR (24) INCHES OF COVER SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS or 45° ELBOWS, 90° ELBOWS AND TEE's ARE PROHIBITED.

4. ALL LATERALS SHALL HAVE A CLEANOUT AT FACE OF BUILDING, AT THE PROPERTY LINE AND AS SHOWN ON PLANS PER THE CITY STANDARD OR APPROPRIATE SANITARY SEWER DISTRICT.

WATER SYSTEM NOTES:

1. USE DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6" BELOW THE SURFACE. TAPE SHALL BE A BRIGHT COLOR AND IMPRINTED WITH "CAUTION-BURIED WATER LINE BELOW".

2. ALL WATER SERVICE CONNECTIONS, INCLUDING BUT NOT LIMITED TO WATER VALVES TEMPORARY AND PERMANENT AIR RELEASE VALVES AND BLOW OFF VALVES, SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY/COUNTY OR APPLICABLE WATER DISTRICT STANDARDS.

3. CONTRACTOR SHALL SIZE AND INSTALL ALL NEW DESIGN BUILD DOMESTIC IRRIGATION AND FIRE WATER LINE(S) IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM/CALIFORNIA PLUMBING AND FIRE CODES. (ALL FIXTURE UNIT COUNTS SHALL BE REVIEWED AND APPROVED BY THE CITY'S BUILDING AND/OR WATER DEPARTMENT PRIOR TO CONSTRUCTION.)

4. ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER.

5. PUBLIC AND PRIVATE WATER MAIN AND WATER SERVICE LINE4" THROUGH 12-INCH SHALL BE POLYVINYL CHLORIDE (PVC) AND SHALL MEET AWWA C900, RATED FOR 200 PSI CLASS PIPE WITH EPOXY COATED DUCTILE IRON FITTINGS AND FUSION EPOXY COATED GATE VALVES. ALL JOINTS SHALL BE FACTORY MANUFACTURED WITH BELL AND SPIGOT ENDS AND RUBBER GASKETS.

6. ALL WATER LINES 2" OR SMALLER SHALL BE TYPE K COPPER WITH SILVER BRAZED JOINTS. CONTRACTOR TO VERIFY PRESSURES FROM EXISTING LINES ARE ADEQUATE TO SERVICE BUILDINGS AS SPECIFIED BY THE PLUMBING PLANS.

7. CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE APPROVED BY THE APPLICABLE WATER DISTRICT STANDARDS. THE CONTRACTOR SHALL PAY THE ACTUAL COSTS OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, PREPARE THE SITE, FURNISH ALL MATERIALS, INSTALL TAPPING TEE, VALVE AND ALL THRUST BLOCKS, BACKFILL, RESTORE THE SURFACE, AND CLEAN UP. THE APPLICABLE WATER DISTRICT STANDARDS WILL PROVIDE THE CONTRACTOR WITH A LIST OF APPROVED CONTRACTORS FOR MAKING WET TAPS.

8. ALL WATER VALVES SHALL BE CLUSTERED, UNLESS OTHERWISE DIRECTED BY THE CITY/COUNTY OR APPLICABLE WATER DISTRICT.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COLLECTING AND DELIVERING WATER SAMPLES FOR ANALYSIS TO A CITY/COUNTY/APPLICABLE WATER DISTRICT APPROVED LAB.

10. ALL ON AND OFF-SITE LANDSCAPE IRRIGATION SYSTEMS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS AND SHALL BE CONNECTED TO THE EXISTING AND/OR NEW WATER SYSTEM AND METERED ACCORDINGLY.

11. INSTALL CITY/COUNTY/APPLICABLE WATER DISTRICT APPROVED PRESSURE REGULATOR AND REDUCED BACKFLOW PREVENTOR ON WATER LINE AT ENTRANCE TO BUILDING. REFERENCE PLUMBING PLANS FOR MORE DETAIL.

FIRE PROTECTION NOTES:

1. CONTRACTOR SHALL INSTALL THE DESIGN BUILD FIRE SERVICE LINE, BACKFLOW PREVENTOR, SPRINKLERS AND EQUIPMENT IN ACCORDANCE WITH THE FIRE PROTECTION CONSULTANT'S PLANS, SPECIFICATIONS, LATEST EDITION OF THE UNIFORM/CALIFORNIA FIRE CODE AND CITY/TOWN STANDARDS.

2. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY THE LOCAL FIRE MARSHAL, INCLUDING ANGLES, THRUST BLOCKS, VALVES, FIRE HYDRANTS, PIV's, FDC's, BACKFLOW ASSEMBLIES, FLEXIBLE CONNECTIONS, VAULTS, ETC.

3. SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE MARSHAL, THE RATING AGENCY AND THE PROJECT MANAGER, ALLOWING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO START OF WORK.

4. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO ORDERING MATERIALS, FABRICATING SYSTEMS OR ANY INSTALLATION.

5. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATIONS. RISER LOCATIONS ARE SHOWN ON ARCHITECTURAL AND PLUMBING DRAWINGS AND ARE TO BE COORDINATED WITH ACTUAL FIELD CONDITIONS.

RECORD DRAWINGS:

1. THE CONTRACTOR SHALL KEEP UP-TO-DATE AND ACCURATE A COMPLETE RECORD SET OF PRINTS OF THE CONTRACT DRAWINGS SHOWING EVERY CHANGE FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRUCTION INCLUDING EXACT FINAL LOCATION, ELEVATION, SIZES, MATERIALS, AND DESCRIPTION OF ALL WORK. RECORDS SHALL BE "REDLINED" ON A SET OF CONSTRUCTION PLAN DRAWINGS. A COMPLETE SET OF CORRECTED AND COMPLETED RECORD DRAWING PRINTS SHALL BE SUBMITTED TO THE OWNER PRIOR TO FINAL ACCEPTANCE .

SITE MAINTENANCE

1. UPON PROJECT COMPLETION THE OWNER SHALL BE SOLELY RESPONSIBLE TO ROUTINELY INSPECT AND MAINTAIN ALL ON-SITE STORM DRAIN FACILITIES. STORM DRAIN FACILITIES INCLUDE; ROOF GUTTERS AND DOWNSPOUTS, SURFACE DRAINS AND DISCHARGE POINTS (BUBBLE UP BOX). STORM DRAIN SYSTEM SHALL BE CLEANED AND/OR FLUSHED ON A BIANNUAL BASIS OR AS FOUND NECESSARY.

PRECISION ENGINEERING AND CONSTRUCTION
901 Waltermire Street
Belmont, CA 94002
T: 650.226.8640
Travis@precision-ec.com

DATE:	REVISIONS:
10/27/2020	1 COUNTY COMMENTS

REGISTERED PROFESSIONAL ENGINEER
TRAVIS R. LUTZ
73638
CIVIL
STATE OF CALIFORNIA

NOTES SHEET
NEW RESIDENCE
SECOND STREET
MONTARA (SMCO), CA 94037

Date: 07/07/2020
Scale: NONE
Design: AJP
Check: TRL
Drawing Number: C-1
PEC Job No. PEC 20-013

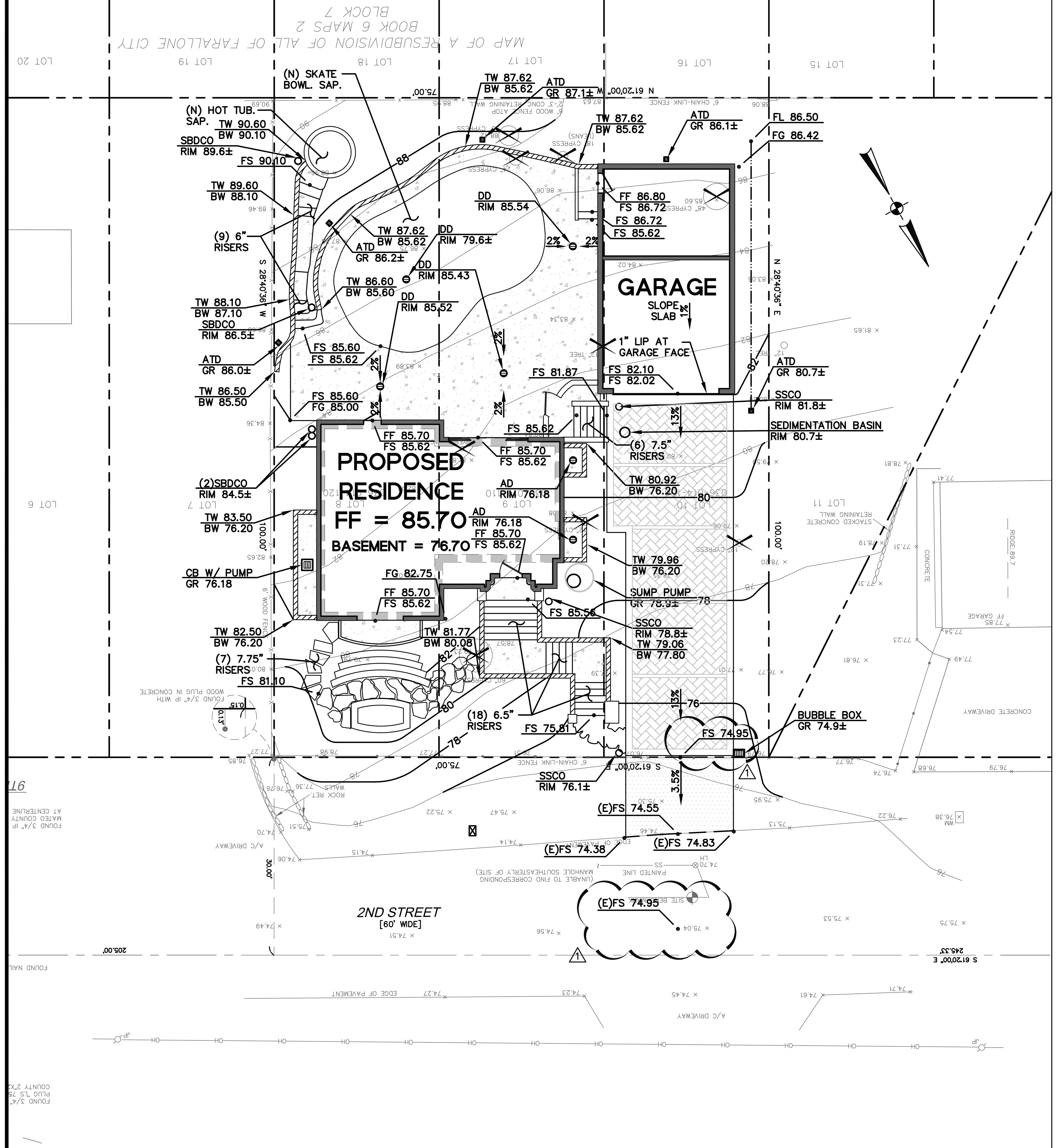
DRAWING NAME: G:\Shared drives\PEC Project Files\2020\PEC 20-013 - Second Street, Montara (SMCO)\Dwg\PEC 20-013 SHEETS.dwg
PLOT TIME: 10-27-20
PLOTTED BY: Windows

PAVEMENT LEGEND:

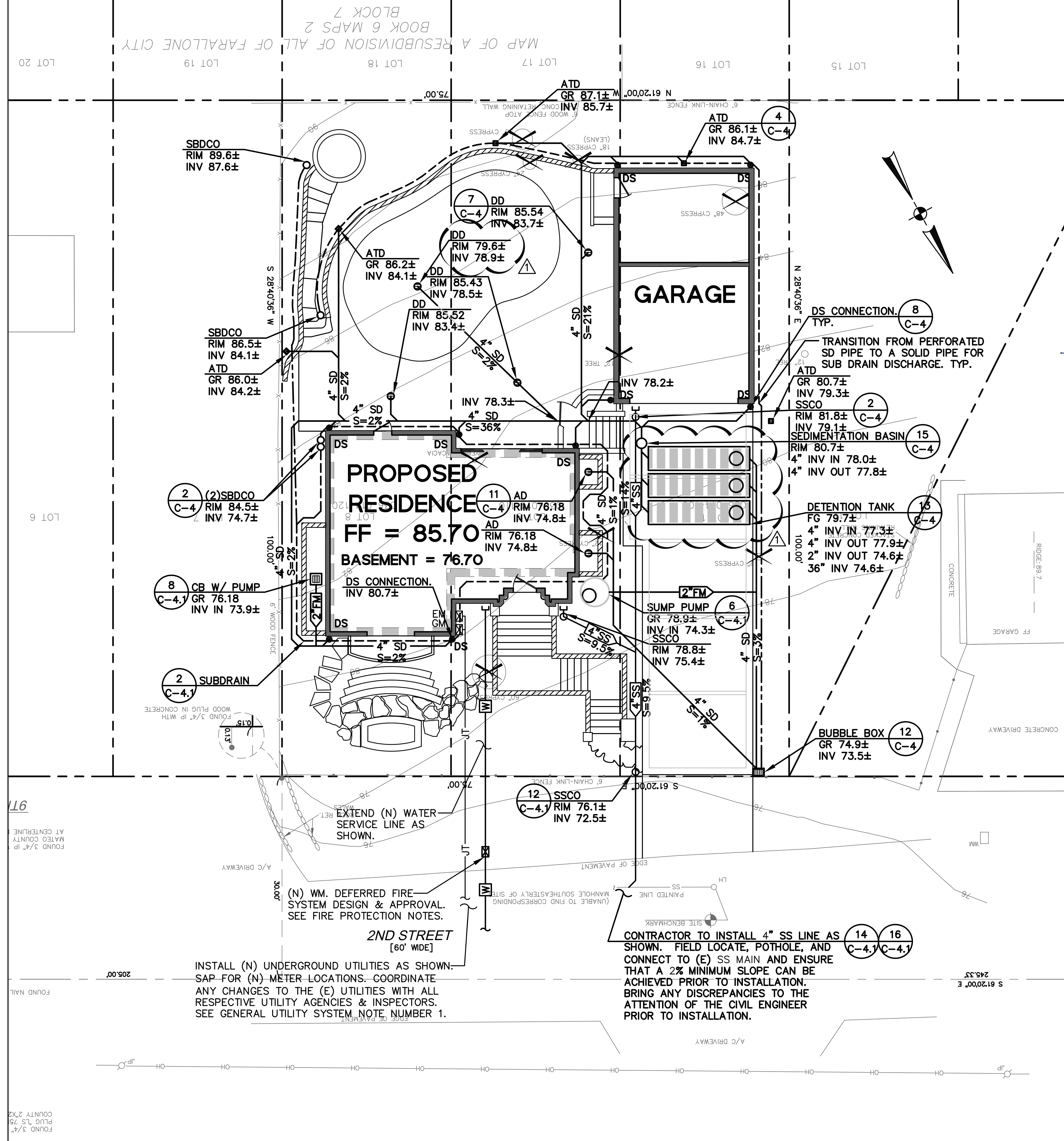
SEE GEOTECHNICAL REPORT BY GEOFORENSICS, INC. DATED OCTOBER 3, 2019 AND SUPPLEMENTAL RECOMMENDATIONS DATED AUGUST 25, 2020 FOR EXACT PAVEMENT SECTIONS, OVER-EXCAVATION AND COMPACTION REQUIREMENTS. SEE ARCHITECTURAL PLAN(S) FOR EXACT MATERIAL SELECTION.

▨	CONCRETE	4" CONCRETE W/#4 BARS 12" O.C. - EACH WAY OVER 6" OF CALTRANS CLASS II AGGREGATE BASE ROCK.
▨	AC PAVING	2.5" OF AC PAVING OVER 6" MIN OF CALTRANS CLASS II AGGREGATE BASE ROCK.
▨	DG	SAP
▨	PAVERS	PAVER UNIT OVER A THIN LEVELING COURSE OF SAND OVER 6" MIN OF CLASS II AGGREGATE BASE. INSTALL PER MANUFACTURERS RECOMMENDATIONS. COLOR AND TYPE TO BE APPROVED BY THE OWNER PRIOR TO INSTALLATION. INSTALL EDGE CONSTRAINT SUCH AS A FLUSH CURB. SLP.

GRADING PLAN



UTILITY PLAN



SEE SHEET C-0 FOR LEGEND AND SHEET C-1 FOR NOTES

811 CALL BEFORE YOU DIG USA UNDERGROUND SERVICE ALERT

0 10 20
GRAPHIC SCALE

PRECISION ENGINEERING AND CONSTRUCTION
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REVISIONS:	DATE:
1 COUNTY COMMENTS	10/27/2020

REGISTERED PROFESSIONAL ENGINEER TRAVIS R. LUTZ 73638 CIVIL STATE OF CALIFORNIA

GRADING AND UTILITY PLAN
NEW RESIDENCE
SECOND STREET
MONTARA (SMCO), CA 94037

Date:	07/07/2020
Scale:	1" = 10'
Design:	AJP
Check:	TRL
Drawing Number:	C-2
PEC Job No.	PEC 20-013

DRAWING NAME: G:\Shared drives\PEC Project Files\2020\PEC 20-013 - Second Street, Montara (SMCO)\Dwg\PEC 20-013 SHEETS.dwg
PLOT TIME: 12-21-20
PLOTTED BY: Windows

EC POINT OF CONTACT:

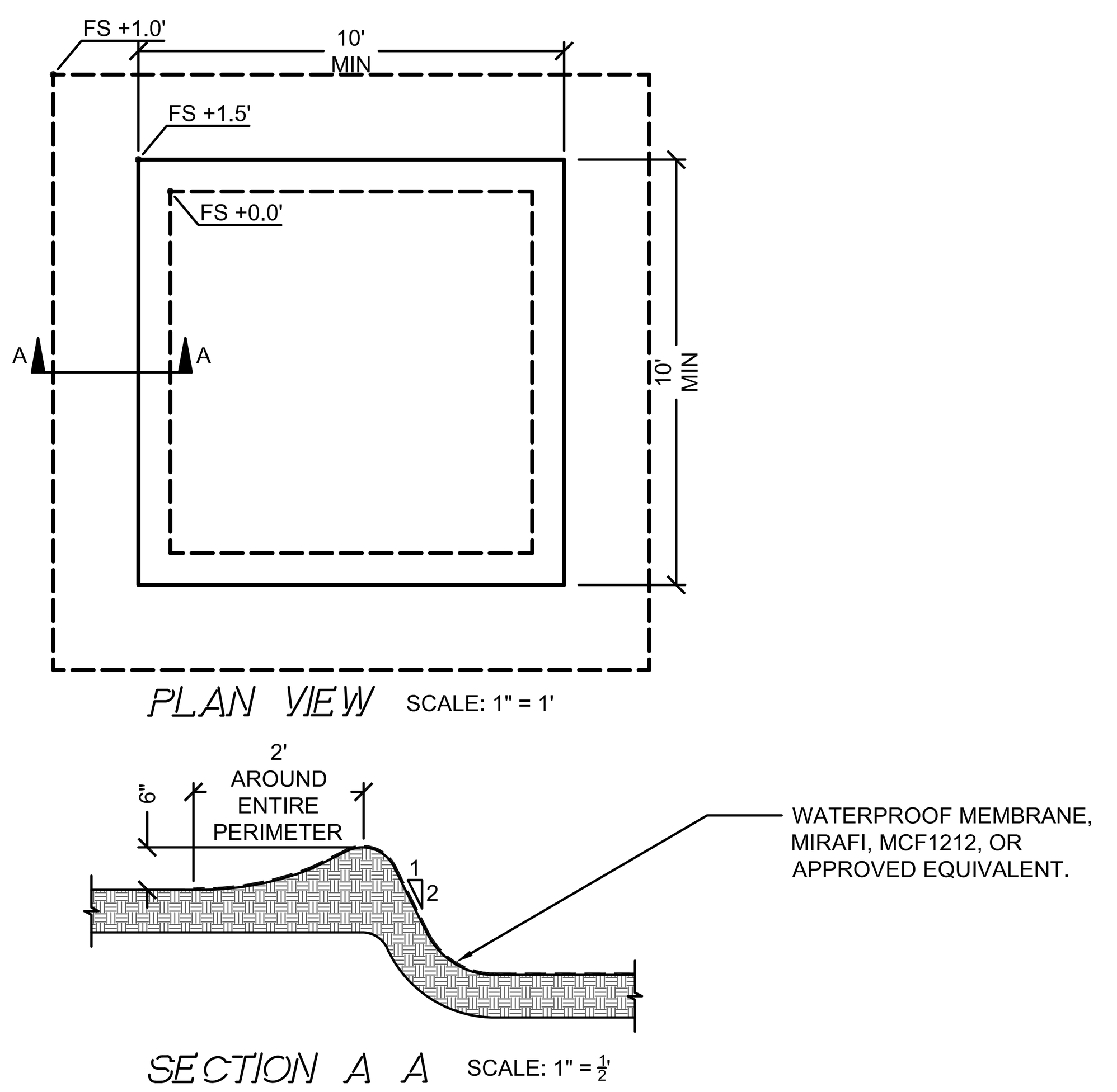
TO BE DETERMINED

CONSTRUCTION SCHEDULE:

ANTICIPATED CONSTRUCTION DURATION 18 MONTHS

EC SYMBOL LEGEND:

— —	STRAW ROLLS
⬚	INLET PROTECTION

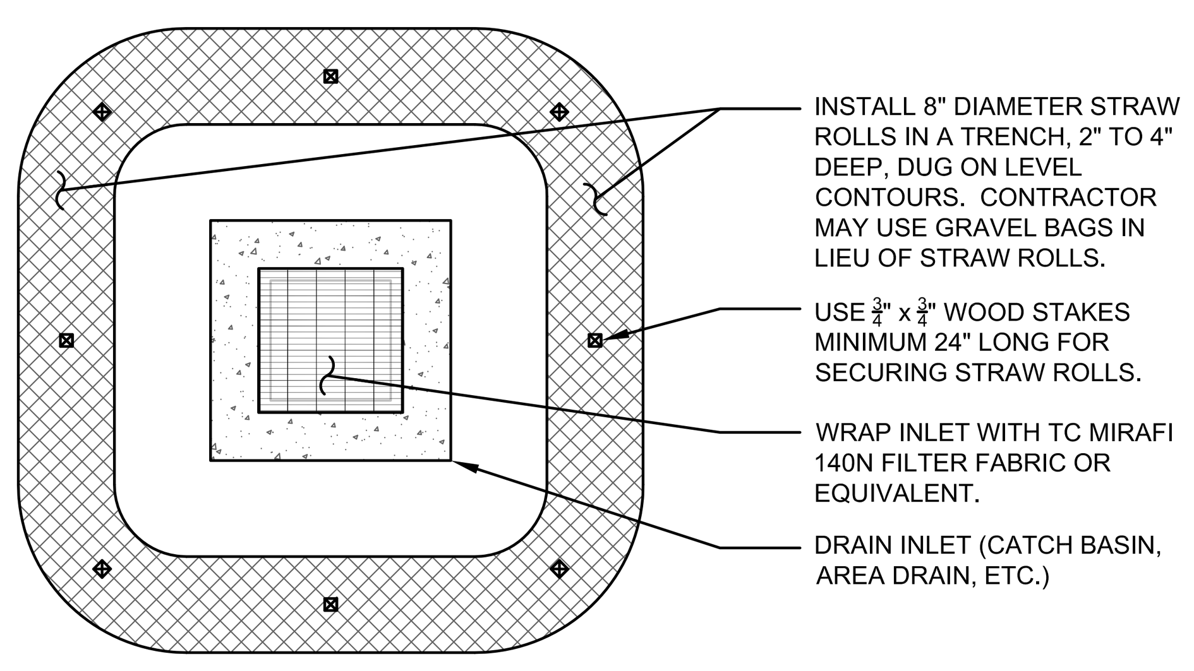


NOTES:

1. LOCATE AWAY FROM STORM DRAIN INLETS, DRAINAGE FACILITIES, OR WATERCOURSES. DO NOT DISCHARGE WASH WATER TO STORM DRAINS OR WATERCOURSES.
2. BERM UP EDGES AS SHOWN IN SECTION A-A TO CONTAIN WASH WATERS AND TO PREVENT RUNON AND RUNOFF.
3. IF WASH WATER REACHES WITHIN 3" OF THE TOP OF BERM, CONTRACTOR SHALL UTILIZE SUMP PUMP AND DESILTING BASIN TO REMOVE SEDIMENT LADEN WASH WATER.

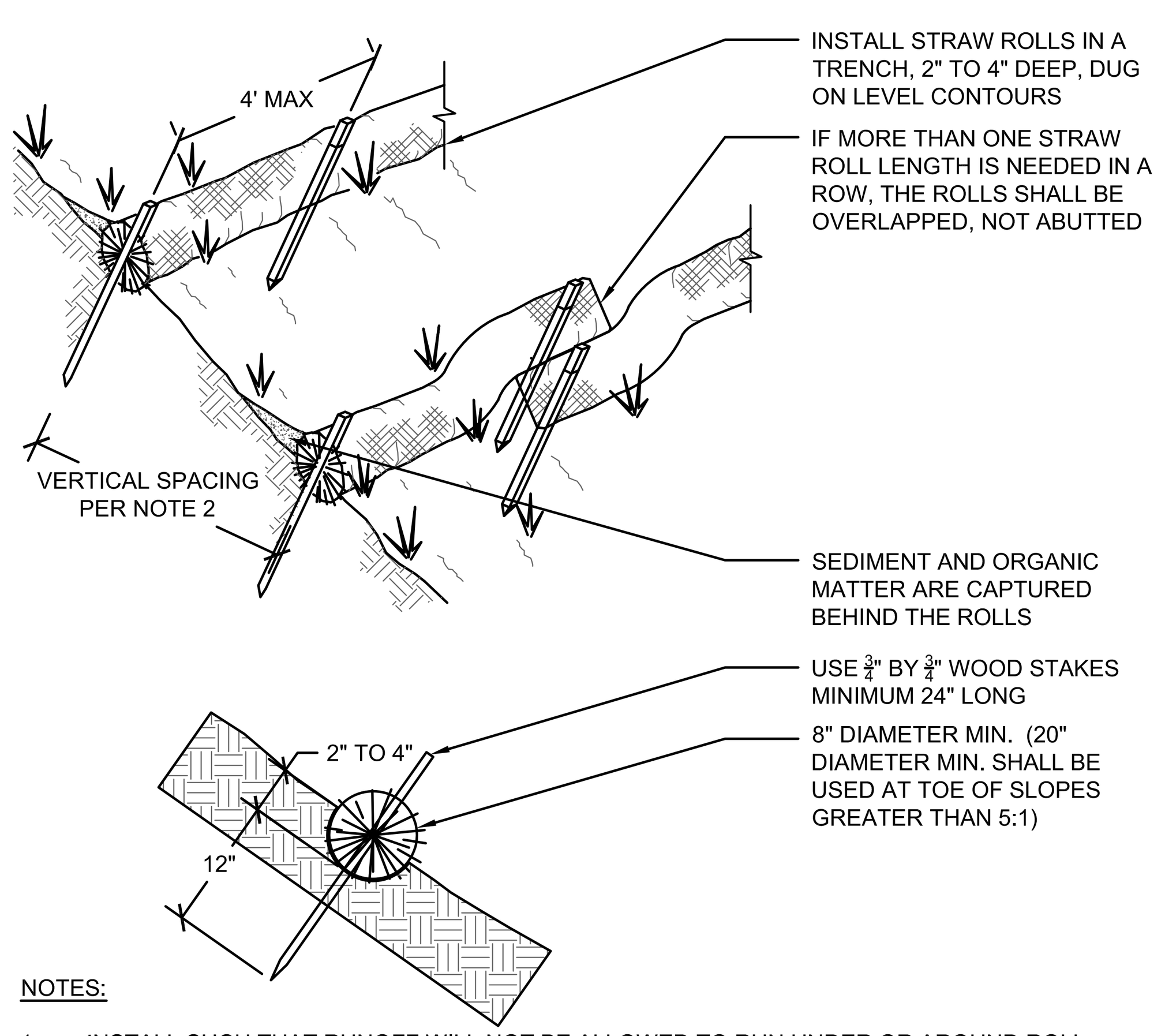
14 TEMPORARY WASHOUT PIT

SCALE : AS SHOWN WASHOUT PIT-024-*MSTR



9 INLET PROTECTION

SCALE : 3/4"=1'-0" INLET PROTECTION-016-*MSTR

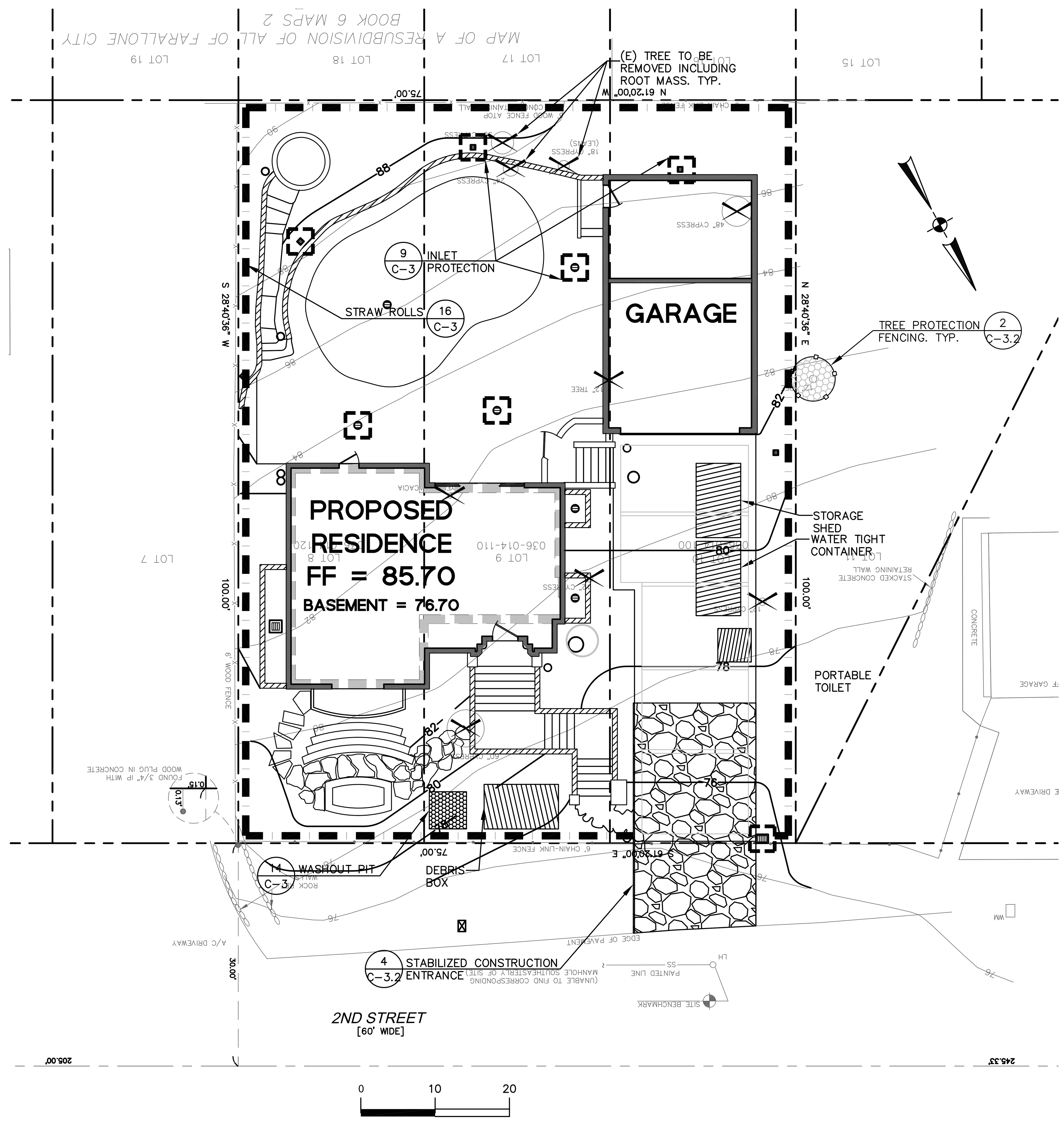


NOTES:

1. INSTALL SUCH THAT RUNOFF WILL NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL. TURN ENDS UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND ROLL.
2. SPACE STRAW ROLLS AS FOLLOWS:
   - SLOPE OF 4:1 OR FLATTER = 20 FEET APART
   - SLOPE BETWEEN 4:1 AND 2:1 = 15 FEET APART
   - SLOPE OF 2:1 OR GREATER = 10 FEET APART
3. INSPECT AND REPAIR STRAW ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE.
4. IN LIEU OF STRAW ROLL INSTALLATION AROUND PROJECT PERIMETER, CONTRACTOR HAS OPTION TO PRESERVE A NATURAL VEGETATED BUFFER 3 FOOT MINIMUM IN WIDTH OR A 6 INCH HIGH BERM.

16 STRAW ROLL

SCALE : 3/4"=1'-0" STRAW ROLL-016-*MSTR



EROSION AND SEDIMENTATION CONTROL NOTES:

1. ALL EROSION CONTROL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED, BY OCTOBER 1st AND SHALL CONTINUE IN EFFECT UNTIL APRIL 30 th OR UNTIL INSTALLATION OF THE PERMANENT SITE IMPROVEMENTS.
2. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN WHICH ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF THE EROSION CONTROL SYSTEM SO THAT IT WORKS WITH THE CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
3. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS PRIOR TO ANTICIPATED STORMS AND AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
4. AS SOON AS PRACTICAL FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS IN THE STREET AND FROM THE EROSION CONTROL SEDIMENT BASINS AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
5. NECESSARY EROSION CONTROL MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL MEASURES AND FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS.
7. WATER TRUCKS SHALL BE PRESENT AND IN USE AT THE CONSTRUCTION SITE. ALL PORTIONS OF THE SITE SUBJECT TO BLOWING DUST SHALL BE WATERED AS OFTEN AS DEEMED NECESSARY BY GREYSTONE WEST AND/OR THE DISTRICT IN ORDER TO INSURE PROPER CONTROL OF BLOWING DUST FOR THE DURATION OF THE PROJECT.
8. WHEEL WASHERS SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. IF WHEEL WASHERS CANNOT BE INSTALLED, TIRES OR TRACKS OF ALL TRUCKS AND EQUIPMENT SHALL BE WASHED OFF BEFORE LEAVING THE CONSTRUCTION SITE.
9. THE CONTRACTOR SHALL DEMONSTRATE DUST SUPPRESSION MEASURES, SUCH AS REGULAR WATERING, WHICH SHALL BE IMPLEMENTED TO REDUCE EMISSIONS DURING CONSTRUCTION AND GRADING IN A MANNER MEETING THE APPROVAL OF THE CONSTRUCTION MANAGER. THIS SHALL ASSIST IN REDUCING SHORT-TERM IMPACTS FROM PARTICLES WHICH COULD RESULT IN NUISANCES THAT ARE PROHIBITED BY RULE 403 (FUGITIVE DUST).

EROSION AND SEDIMENTATION CONTROL NOTES CONT:

10. GRADING OR ANY OTHER OPERATIONS THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT DUST CONTROL FOR THE ENTIRE PROJECT SITE AT ALL TIMES. THE SITE SHALL BE WATERED AS NECESSARY TO PREVENT DUST NUISANCE. IN THE EVENT THAT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE HOME OWNER RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
11. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA VEHICLE TRAFFIC, SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
12. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER. COVER STOCKPILED MATERIAL WITH VISQUEEN OR A TARPAULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
13. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
14. ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARPAULINS OR OTHER EFFECTIVE COVERS.
15. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
16. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE. NEVER CLEAN MACHINERY, EQUIPMENT OR TOOLS INTO A STREET, GUTTER OR STORM DRAIN.
17. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND.
18. CLEAN UP ALL SPILLS USING DRY METHODS.
19. CALL 911 IN CASE OF A HAZARDOUS SPILL.
20. BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, CALIFORNIA STORM WATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, JANUARY 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THE PROJECT. ALL CONSTRUCTION IMPROVEMENTS SHALL ADHERE TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE CITY OR COUNTY STORM DRAIN SYSTEMS. ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS.
21. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
22. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN AND HOME OWNER. THE ADJACENT STREET SHALL BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION, METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE RIGHT-OF-WAY IS PERMITTED.
23. UPON SATISFACTORY COMPLETION OF THE WORK, THE ENTIRE WORK SITE SHALL BE CLEANED BY THE CONTRACTOR AND LEFT WITH A SMOOTH AND NEATLY GRADED SURFACE FREE OF CONSTRUCTION WASTE, RUBBISH, AND DEBRIS OF ANY NATURE.
24. THE CONTRACTOR SHALL ADHERE TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OF COUNTY STORM DRAIN SYSTEMS.
25. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INCEPTION OF ANY WORK ONSITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
26. THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION WITH PROPERLY INSTALLED INLET FILTERS.
27. SILT FENCE(S) AND FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15 AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO ENSURE THEIR PROPER FUNCTION.
28. PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
29. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
30. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
31. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
32. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
33. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
34. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
35. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
36. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
37. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
38. PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS IS REQUIRED ON WEEKENDS AND DURING RAIN EVENTS: (LIST LOCATIONS).
39. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
40. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
41. DUST CONTROL IS REQUIRED YEAR-ROUND.
42. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
43. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.

SEE SHEET C-0 FOR LEGEND AND SHEET C-1 FOR NOTES

811 CALL BEFORE YOU DIG USA UNDERGROUND SERVICE ALERT

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Travis@precision-ec.com

REVISIONS:	DATE:
△ COUNTY COMMENTS	10/27/2020

REGISTERED PROFESSIONAL ENGINEER TRAVIS R. LUTZ 73638 CIVIL STATE OF CALIFORNIA

[illegible]

EROSION AND SEDIMENT CONTROL PLAN
NEW RESIDENCE
SECOND STREET
MONTARA (SMCO), CA 94037

Date:	07/07/2020
Scale:	AS SHOWN
Design:	AJP
Check:	TRL
Drawing Number:	C-3
PEC Job No.	PEC 20-013

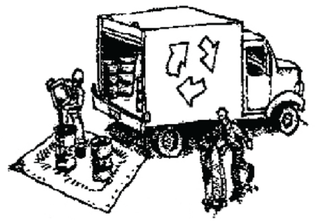
DRAWING NAME: G:\Shared drives\PEC Project Files\2020\PEC 20-013 - Second Street, Montara (SMCO)\Dwg\PEC 20-013 SHEETS.dwg
PLOT TIME: 12-21-20
PLOTTED BY: Windows

SAN MATEO COUNTYWIDE
Water Pollution Prevention Program
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control

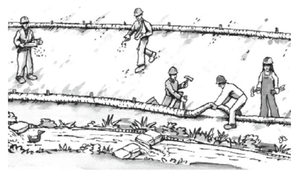
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

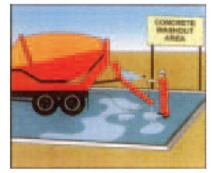
Paving/Asphalt Work

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application

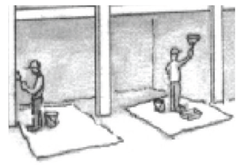


- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

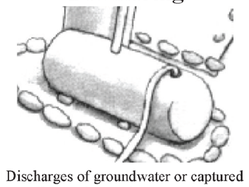
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to $10,000 per day!

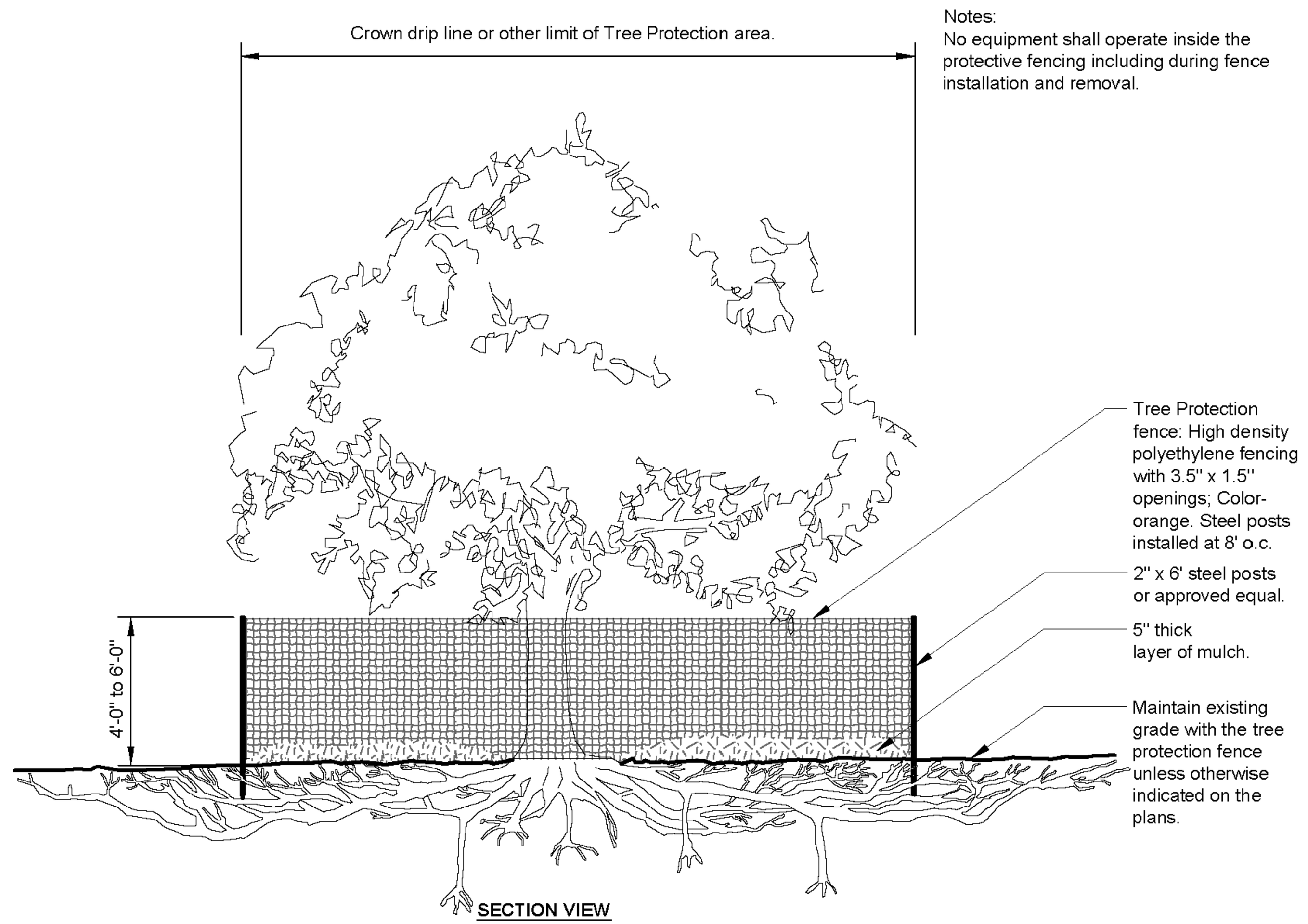
PRECISION ENGINEERING AND CONSTRUCTION
901 Waltermire Street
Belmont, CA 94002
T: 650.228.8640
Travis@precision-ec.com

DATE:
REVISIONS:

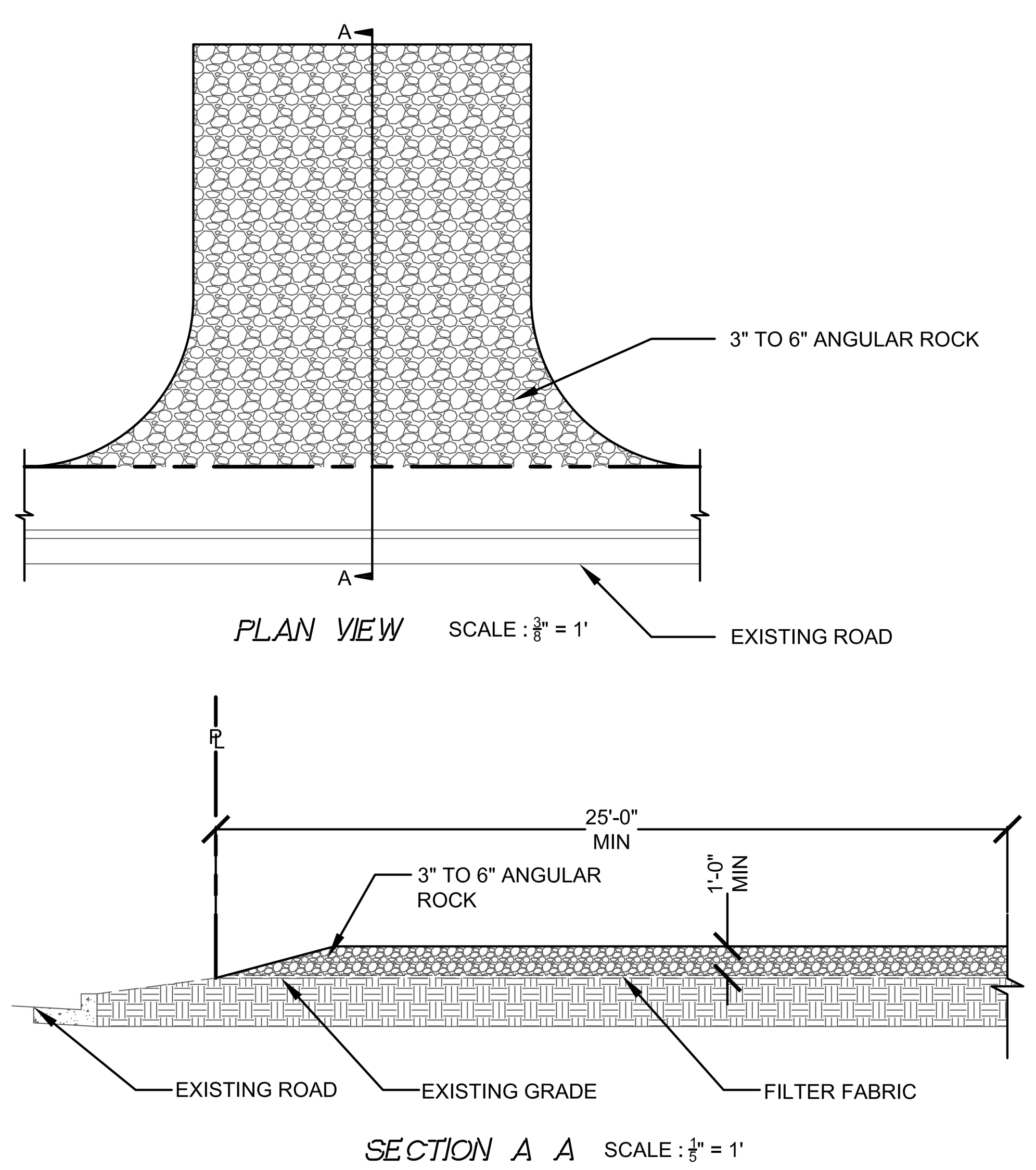
REGISTERED PROFESSIONAL ENGINEER
TRAVIS R. LUTTRELL
73638
CIVIL
STATE OF CALIFORNIA

BEST MANAGEMENT PRACTICES
NEW RESIDENCE
SECOND STREET
MONTARA (SMCO), CA 94037

Date: 07/07/2020
Scale: NONE
Design: AJP
Check: TRL
Drawing Number: C-3.1
PEC Job No. PEC 20-013



2 TREE PROTECTION



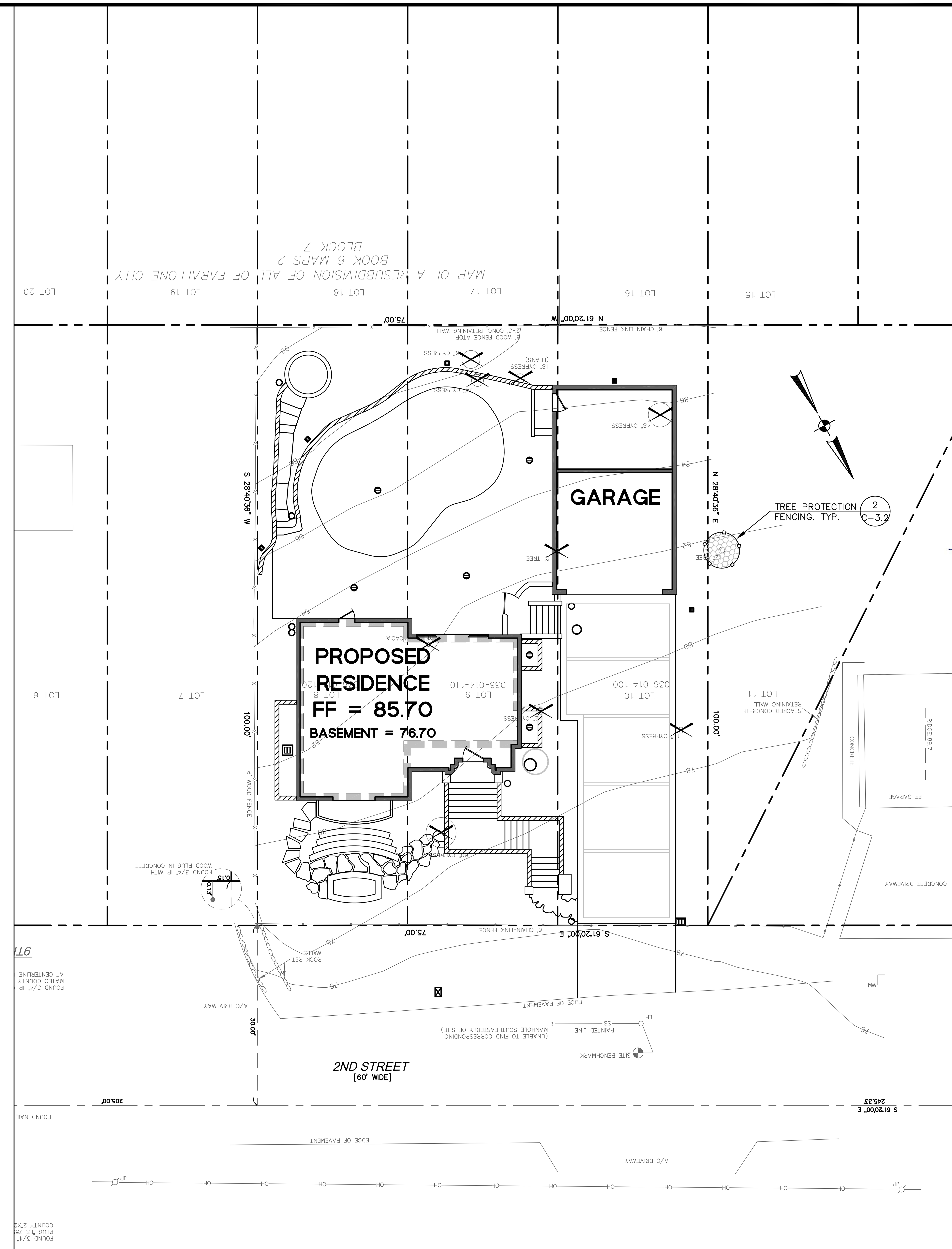
NOTES:

1. PROVIDE A FANNED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET.

4 GRAVEL CONSTRUCTION ENTRANCE

SCALE : AS SHOWN

TEMP GRAV CONST ENT-060-*MSTR



SEE SHEET C-0 FOR LEGEND AND SHEET C-1 FOR NOTES

811 CALL BEFORE YOU DIG USA UNDERGROUND SERVICE ALERT

0 10 20
GRAPHIC SCALE

PRECISION ENGINEERING AND CONSTRUCTION
901 Waltermire Street
Belmont, CA 94002
T: 650.226.8640
Travis@precision-ec.com

REVISIONS:	DATE:
1 COUNTY COMMENTS	10/27/2020

REGISTERED PROFESSIONAL ENGINEER TRAVIS R. LUTZ 73638 CIVIL STATE OF CALIFORNIA

[illegible]

TREE PROTECTION PLAN
NEW RESIDENCE
SECOND STREET
MONTARA (SMCO), CA 94037

Date: 07/07/2020

Scale: 1" = 10'

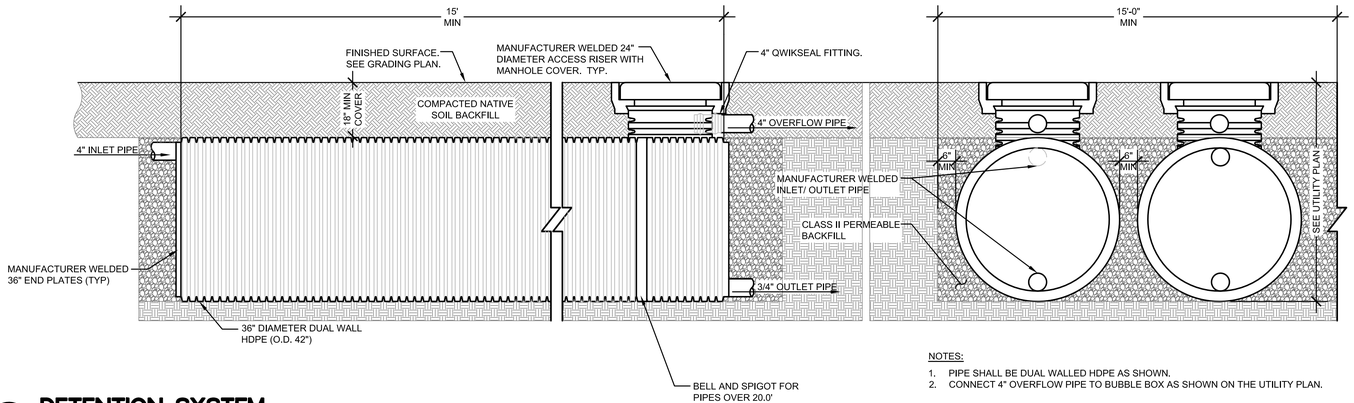
Design: AJP

Check: TRL

Drawing Number: C-4.2

PEC Job No. PEC 20-013

DRAWING NAME: G:\Shared drives\PEC Project Files\2020\PEC 20-013 - Second Street, Montara (SMCO)\Dwg\PEC 20-013 SHEETS.dwg
PLOT TIME: 12-21-20
PLOTTED BY: Windows



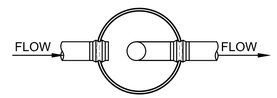
NOTES:

1. PIPE SHALL BE DUAL WALLED HDPE AS SHOWN.
2. CONNECT 4" OVERFLOW PIPE TO BUBBLE BOX AS SHOWN ON THE UTILITY PLAN.

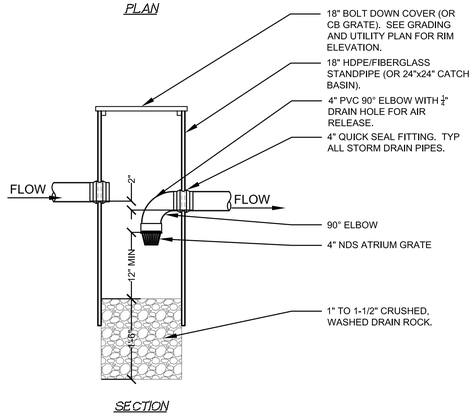
13 DETENTION SYSTEM

SCALE : NO SCALE

DETENTION DOUBLE-024-*MSTR



PLAN

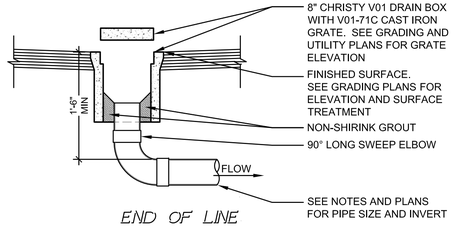


SECTION

15 SEDIMENT BASIN

SCALE : 3/4"=1'-0"

SED BASIN-016-*MSTR



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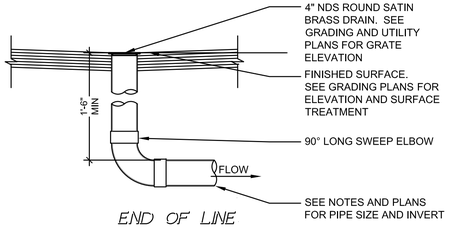

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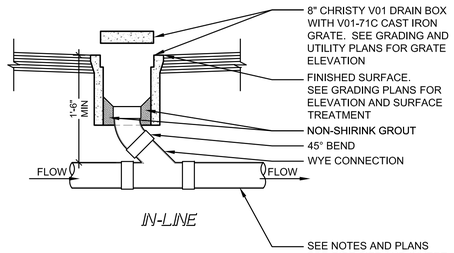
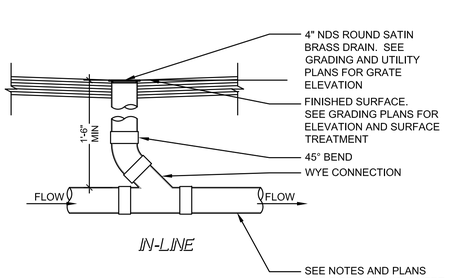


IN-LINE

11 AREA DRAIN

SCALE : 1"=1'-0"

AREA DRAIN-012-*MSTR

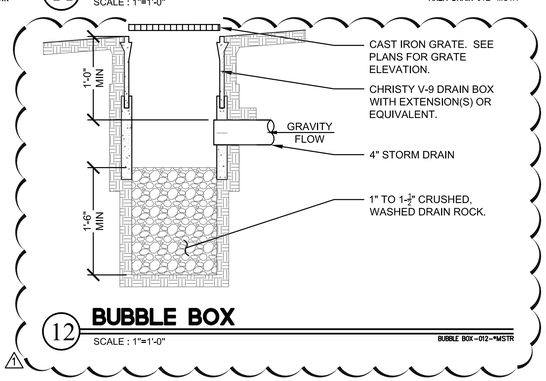


IN-LINE

7 DECK DRAIN

SCALE : 1"=1'-0"

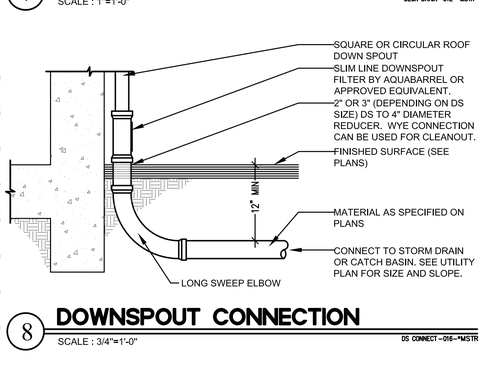
DECK DRAIN-012-*MSTR



12 BUBBLE BOX

SCALE : 1"=1'-0"

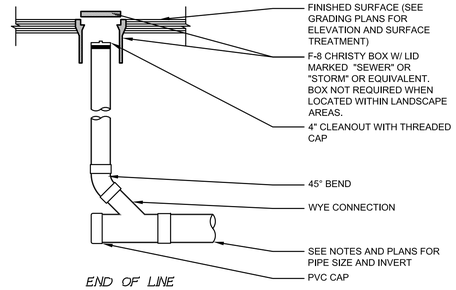
BUBBLE BOX-012-*MSTR



8 DOWNSPOUT CONNECTION

SCALE : 3/4"=1'-0"

DS CONNECT-016-*MSTR



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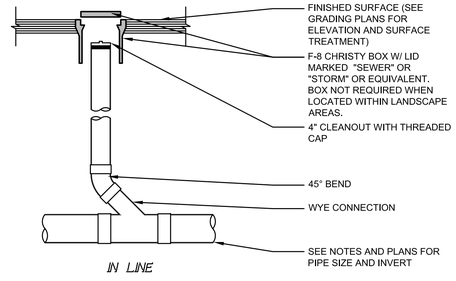
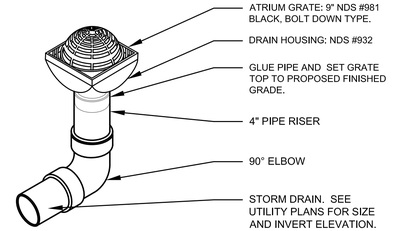


IN LINE

2 CLEANOUT NON-TRAFFIC RATED

SCALE : 3/4"=1'-0"

CLEANOUT RES-016-*MSTR



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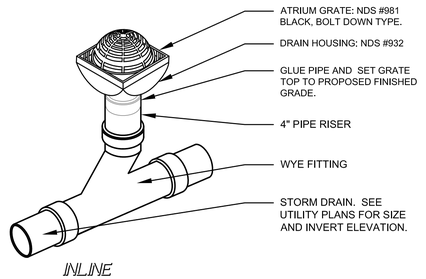


INLINE

4 SQUARE ATRIUM DRAIN

SCALE : 1"=1'-0"

SQUARE ATRIUM DRAIN-012-*MSTR

PRECISION ENGINEERING AND CONSTRUCTION
T: 650.226.8640
Travis@precision-ec.com
901 Watterman Street
Belmont, CA 94002

REVISIONS:

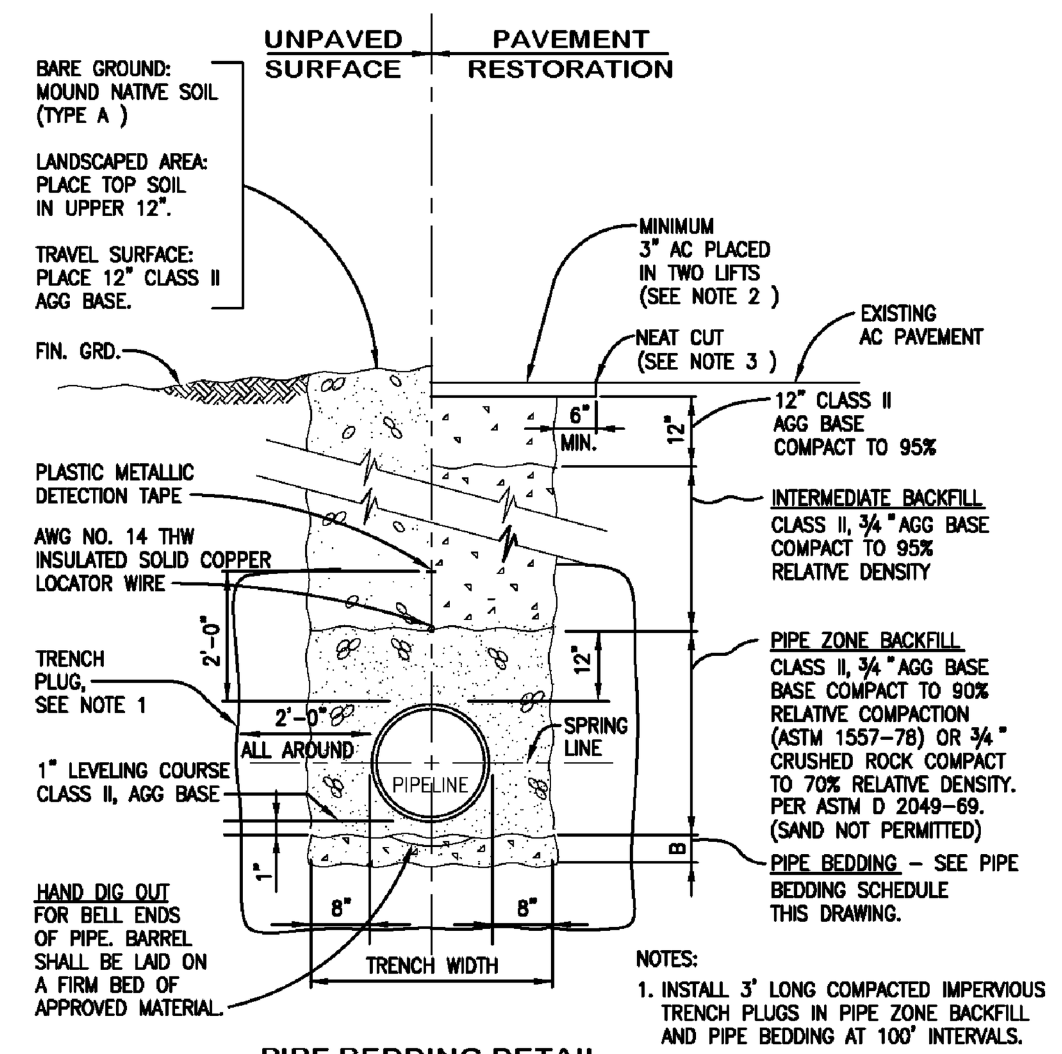
		DATE:
1	COUNTY COMMENTS	10/27/2020

REGISTERED PROFESSIONAL ENGINEER
TRAVIS R. LITZ
73638
CIVIL
STATE OF CALIFORNIA

DETAIL SHEET
NEW RESIDENCE
SECOND STREET
MONTARA (SMCO), CA 94037

Date: 07/07/2020
Scale: AS SHOWN
Design: AJP
Check: TRL
Drawing Number: C-4
PEC Job No. PEC 20-013

DRAWING NAME: G:\Shared Drives\PEC Project Files\2020\PEC 20-013 - Second Street, Montara (SMCO)\Dwg\PEC 20-013 SHEETS.dwg
PLOTTED BY:



PIPE BEDDING DETAIL

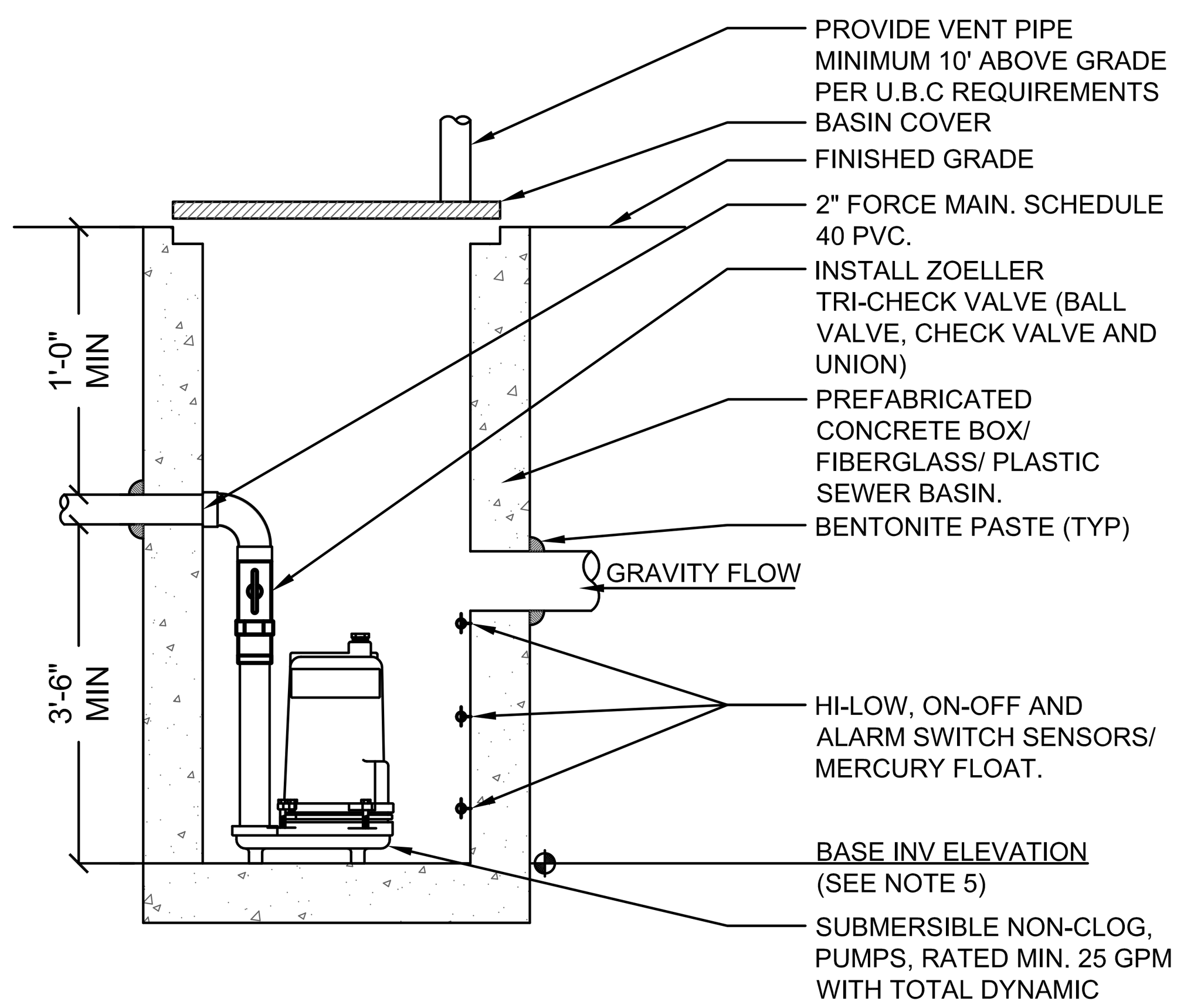
NOTES:
1. INSTALL 3' LONG COMPACTED IMPERVIOUS TRENCH PLUGS IN PIPE ZONE BACKFILL AND PIPE BEDDING AT 100' INTERVALS.
2. ASPHALT THICKNESS SHALL CONFORM TO THE REQUIREMENTS OF THE AGENCY WITH JURISDICTION OVER STREET.
3. CONSULT LOCAL JURISDICTION FOR ASPHALT CUTTING REQUIREMENTS.

PIPE BEDDING SCHEDULE

TRENCH MATERIAL	BEDDING DEPTH – B	BEDDING MATERIAL
SOIL – DRY	6"	3/4 " CRUSHED ROCK OR CLASS II, AGG BASE
SOIL W/ WATER	12"	1 1/2 "CRUSHED ROCK
ROCK OR HARD PAN – DRY	6"	3/4 " CRUSHED ROCK OR CLASS II AGG BASE
ROCK OR HARD PAN W/ WATER	6"	1 1/2 "CRUSHED ROCK
BAY MUD	SEE BAY MUD TRENCH DETAIL DRAWING SD 4.1	

MONTARA WATER & SANITARY DISTRICT
TYPICAL TRENCH SECTION
2017 | SD 4.0

14 STANDARD TRENCH DETAIL



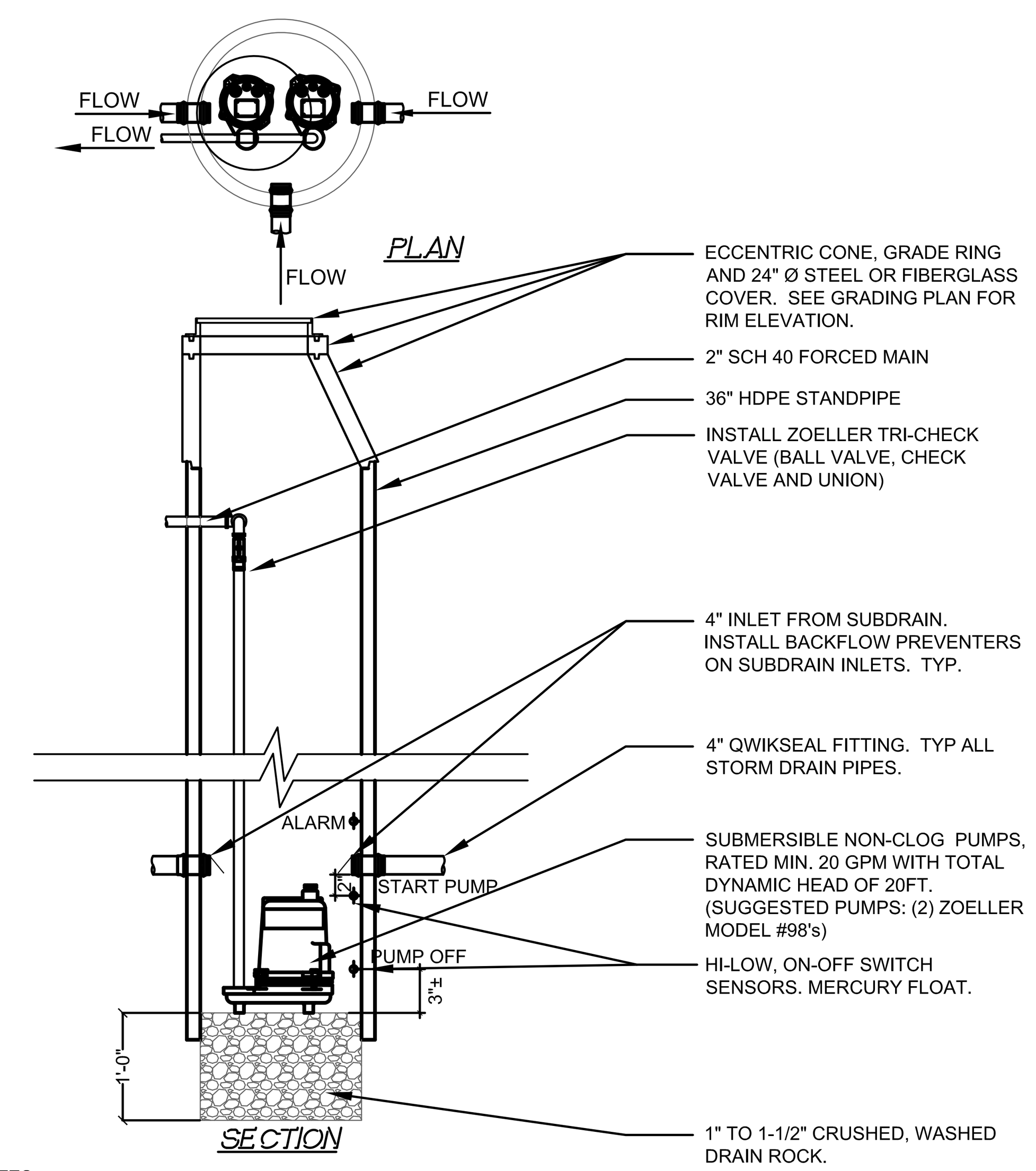
NOTES:

1.) INSTALL PUMP(S) PER MANUFACTURER'S RECOMMENDATIONS.
2.) CONTRACTOR SHALL SUPPLY A COMPLETELY SELF-CONTAINED DUPLEX MOTOR CONTROL PANEL. THE CONTROL PANEL SHALL PROVIDE SHORT CIRCUIT AND OVERLOAD PROTECTION FOR THE PUMP.
3.) PROVIDE HIGH-WATER ALARM SYSTEM.
4.) PROVIDE BENTONITE PASTE OR EQUIVALENT AT ALL PIPE CONNECTIONS TO PUMP BASIN.
5.) CONTRACTOR SHALL FIELD VERIFY ACTUAL BASE ELEVATION BASED ON FINAL FIELD CONDITIONS.
6.) SEE PUMP MANUFACTURER'S RECOMMENDATIONS FOR PUMP MAINTENANCE REQUIREMENTS.
7.) CONTRACTOR TO COORDINATE PUMP BASIN INSTALLATION WITH FOUNDATION CONCRETE POUR. ALL CONNECTIONS SHALL BE WATERTIGHT.
8.) CONNECT SUMP PUMP(S) TO BACK UP BATTERY OR GENERATOR FOR A CONTINUOUS POWER SUPPLY TO ALL PUMPS.

10 SEWER SUMP PUMP

SCALE : 1"=1'-0"

SS PUMP-012-*MSTR



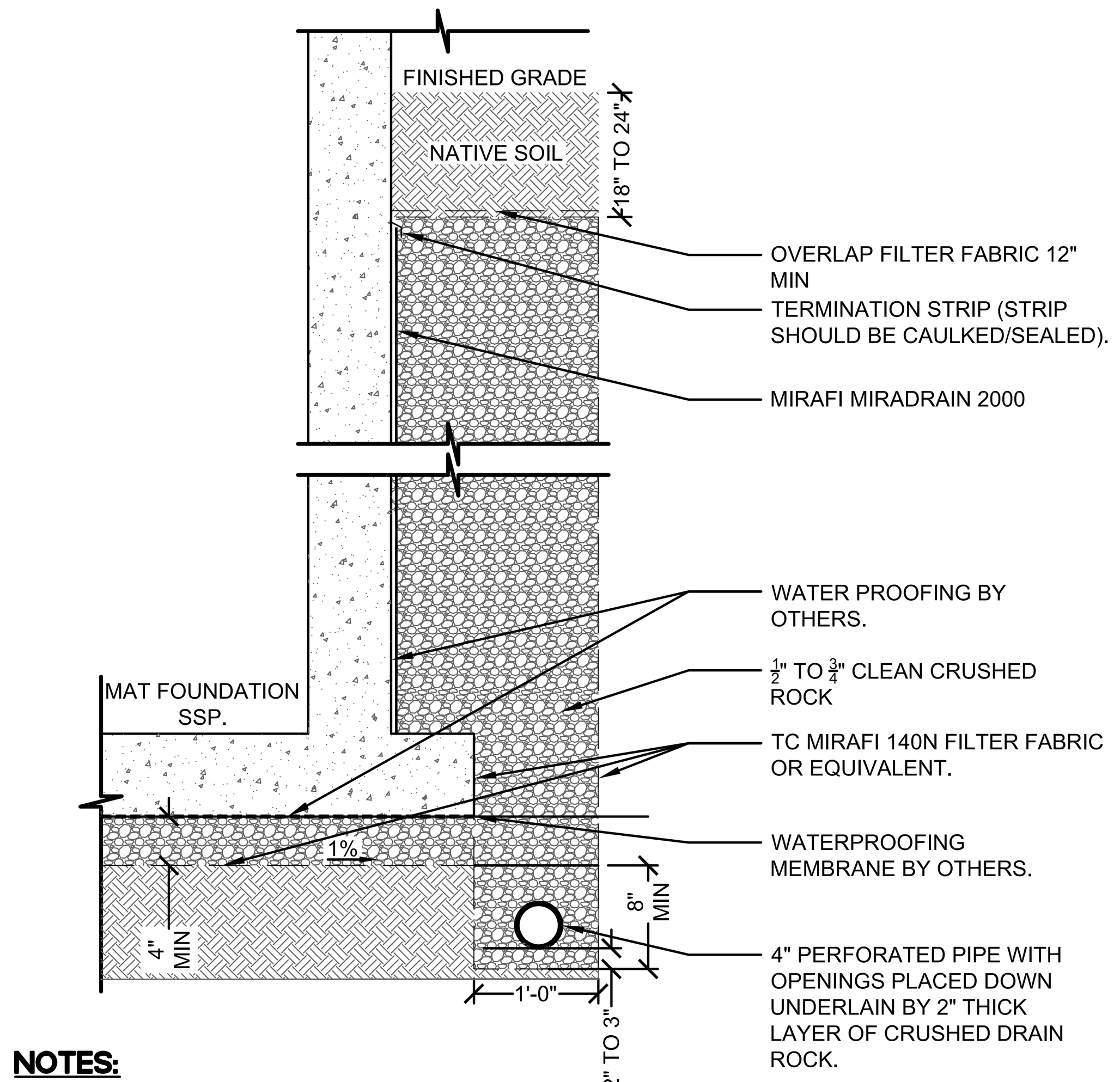
NOTES:

1. INSTALL PUMP PER MANUFACTURER'S RECOMMENDATIONS.
2. CONTRACTOR SHALL SUPPLY A COMPLETELY SELF-CONTAINED DUPLEX MOTOR CONTROL PANEL FOR THE ALTERNATING LEED/LAG PUMP SYSTEM. THE CONTROL PANEL SHALL PROVIDE SHORT CIRCUIT AND OVERLOAD PROTECTION FOR THE PUMPS.
3. PROVIDE FLOAT SENSORS AND HIGH-WATER ALARM PER MANUFACTURER'S RECOMMENDATIONS.
4. CONNECT SUMP PUMPS TO BACKUP GENERATOR FOR A CONTINUOUS POWER SUPPLY TO ALL PUMPS.

6 DUAL SUMP PUMP

SCALE : 3/8"=1'-0"

DUAL SUMP PUMP-032-*MSTR



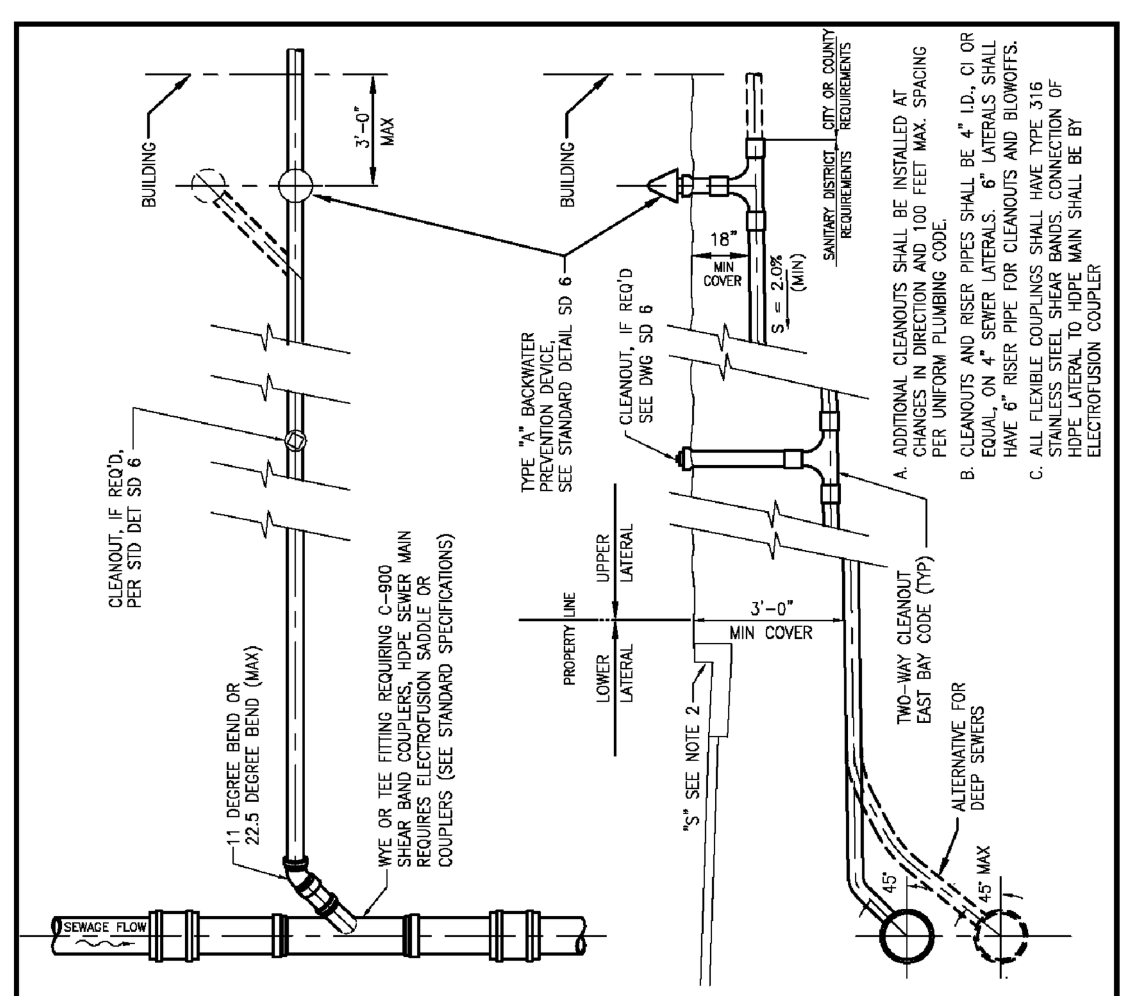
NOTES:

1. PROVIDE A MINIMUM SLOPE OF 0.5% ON SUB-DRAIN PIPE. SEE PLANS FOR CLEANOUT LOCATIONS AND INVERT ELEVATIONS.
2. SEE GEOTECHNICAL REPORT FOR ALL COMPACTION RECOMMENDATIONS. GEOTECHNICAL ENGINEER SHALL INSPECT AND APPROVE THE FINAL INSTALLATION OF THE SUB-DRAIN SYSTEM.

2 BASEMENT SUB-DRAIN

SCALE : 3/4"=1'-0"

SUB-DRAIN 016 *MSTR

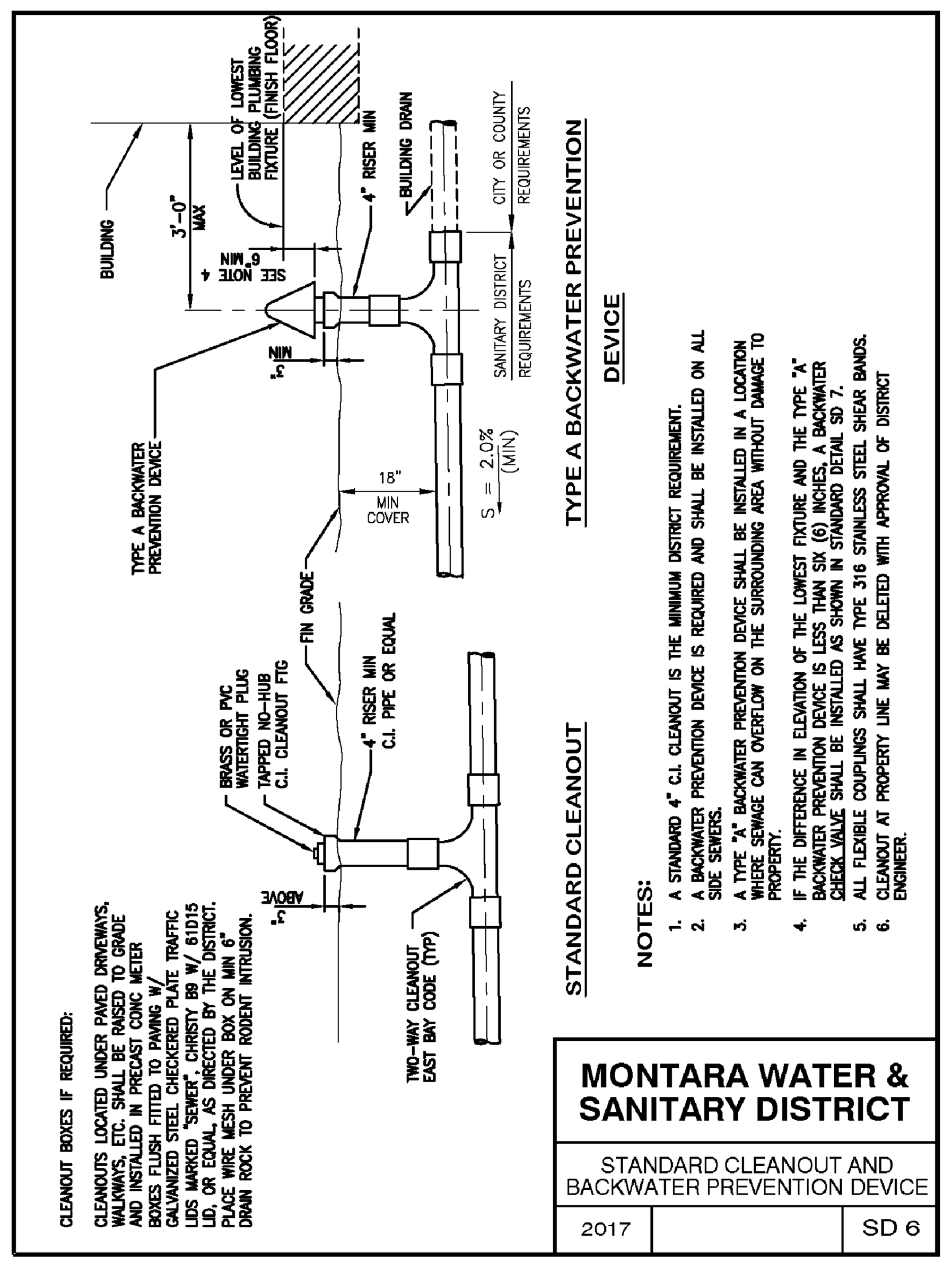


NOTES:

1. WHEN A LATERAL SEWER IS INSTALLED IN ADVANCE OF THE BUILDING SEWER, IT SHALL BE TERMINATED AT OR NEAR THE PROPERTY LINE. THE END OF THE LATERAL SHALL BE MARKED WITH A 4" x 4" REDWOOD STAKE, PAINTED GREEN, FROM THE TOP OF THE PIPE TO A MINIMUM OF 6" ABOVE THE FINISHED GROUND SURFACE.
2. WHERE CONCRETE CURBS AND GUTTERS EXIST OR ARE TO BE A PART OF AN IMPROVEMENT, EACH SIDE SEWER SHALL BE PERMANENTLY LOCATED BY IMPRINTING OR CHISELING AN "S" (3" size) IN THE FACE OF THE CURB VERTICALLY ABOVE THE SEWER PIPE.
3. BACKFILL SHALL NOT BE PLACED UNTIL PIPE INSTALLATION HAS BEEN INSPECTED AND APPROVED BY THE DISTRICT. PIPE BEDDING 3" AROUND PIPE ON PRIVATE PROPERTY MAY BE SAND WHERE REQUIRED BY COUNTY BUILDING PERMIT.
4. TYPE A BACKWATER PREVENTION DEVICE (CONTRA COSTA RELIEF VALVE, ALSO KNOWN AS MUSHROOM CAP) SHALL BE INSTALLED ON A 4" MINIMUM RISER PIPE NOT MORE THAN 2' FROM BUILDING WALL, PER STANDARD DETAIL SD6.
5. TYPE A BACKWATER PREVENTION DEVICE MAY BE INSTALLED TO LEFT OR RIGHT SIDE OF LATERAL IN GARAGE OR STEP AREAS.
6. LATERAL TRENCHES IN AREA OF PUBLIC STREET CURB, GUTTER AND SIDEWALK SHALL BE COMPACTED THE SAME AS TYPICAL TRENCH DETAIL SD 4. AREAS AROUND NEW CONCRETE CLEAN-OUT BOXES SHALL BE SOILS TESTED TO 90% COMPACTED. CONTRACTOR IS TO USE WHATEVER MEANS NECESSARY TO ACHIEVE 90% COMPACTION.

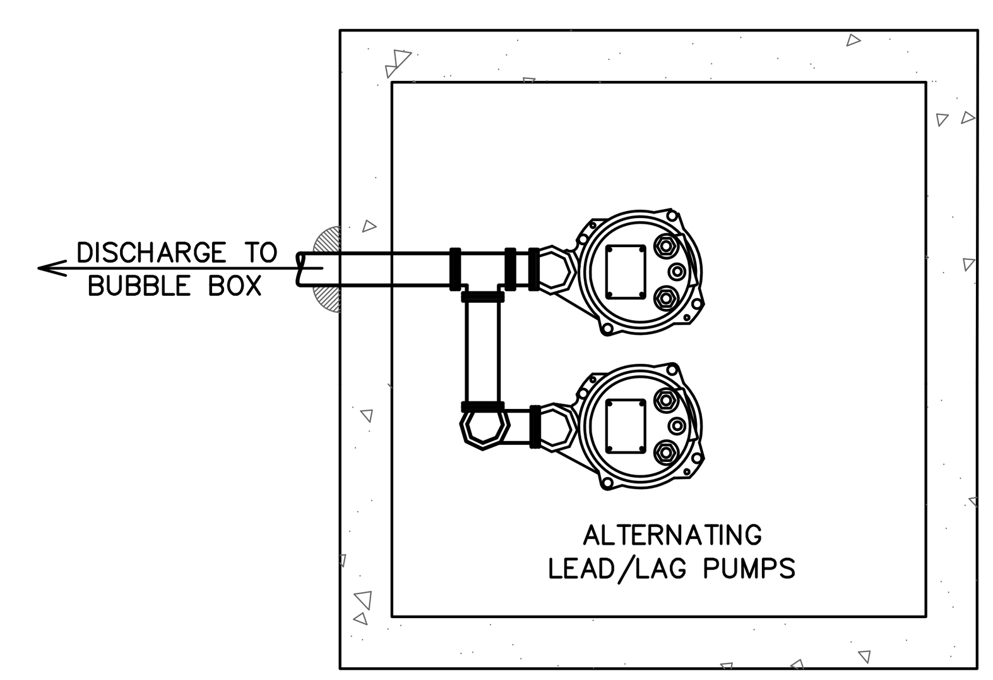
MONTARA WATER & SANITARY DISTRICT
TYPICAL SIDE SEWER DETAILS
2017 | SD 5

16 SEWER LATERAL

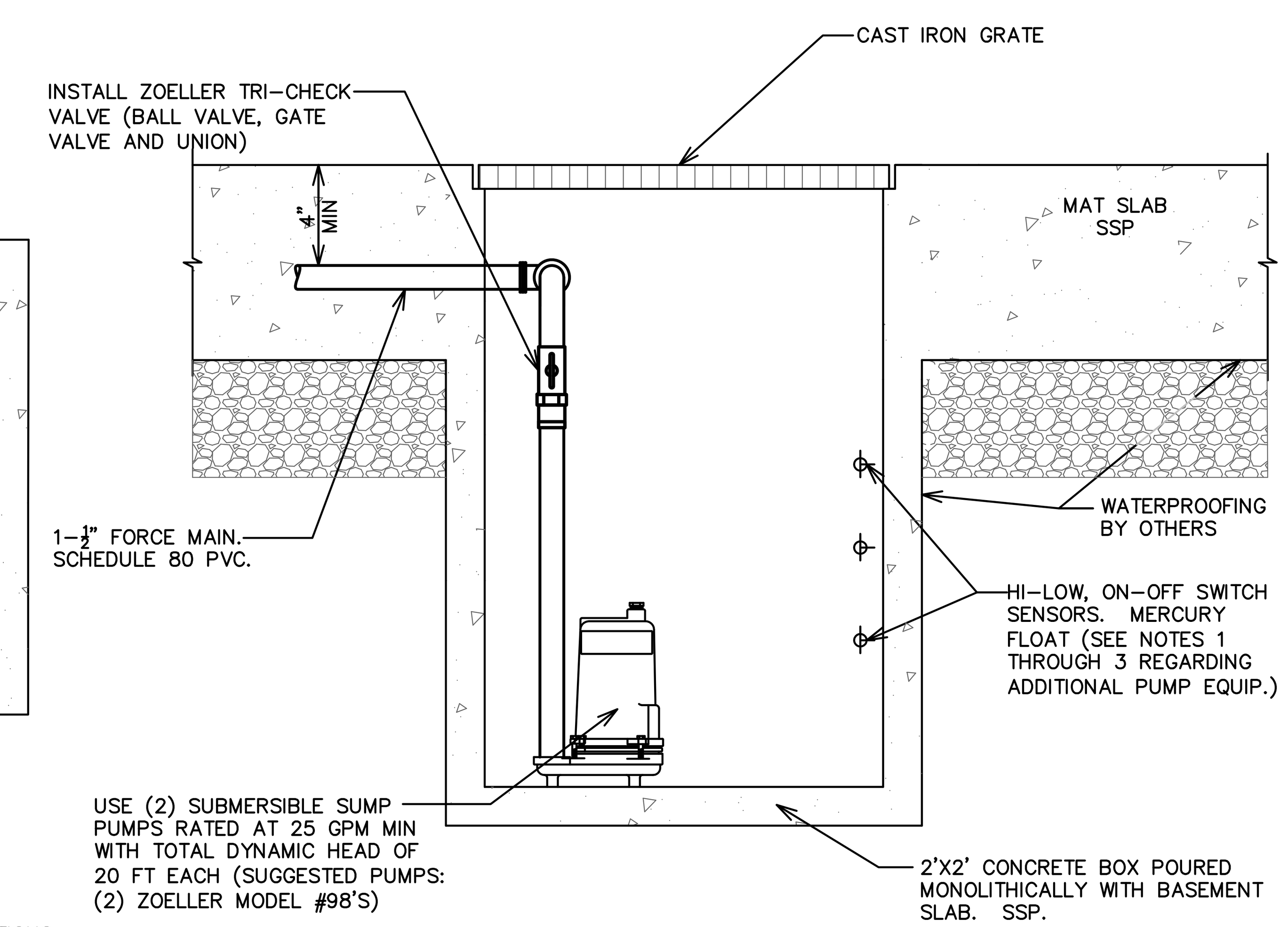


MONTARA WATER & SANITARY DISTRICT
STANDARD CLEANOUT AND BACKWATER PREVENTION DEVICE
2017 | SD 6

12 CLEANOUT AND BACKFLOW



PLAN VIEW



SUB-DRAIN PUMP NOTES:

1. INSTALL PUMP(S) PER MANUFACTURES RECOMMENDATIONS
2. CONTRACTOR SHALL SUPPLY A COMPLETELY SELF-CONTAINED DUPLEX MOTOR CONTROL PANEL. THE CONTROL PANEL SHALL PROVIDE SHORT CIRCUIT AND OVERLOAD PROTECTION FOR THE PUMPS.
3. PROVIDE HIGH-WATER ALARM SYSTEM AND CONNECT TO HOUSE SECURITY SYSTEM.
4. PROVIDE BENTONITE PASTE AT ALL PIPE CONNECTIONS TO PUMP BASIN.
5. CONTRACTOR SHALL COORDINATE LOCATION OF SUMP PUMP BASIN WITH PROJECT ARCHITECT PRIOR TO CONSTRUCTION AND FIELD VERIFY ACTUAL BASE ELEVATION BASED ON FINAL FIELD CONDITIONS.
6. SUMP PUMP MAINTENANCE REQUIREMENTS: CLEAN PUMP VAULT AND PUMP OF DEBRIS EVERY SIX MONTHS MINIMUM.
7. PROVIDE BATTERY BACK UP FOR ALL PUMPS FOR CONTINUOUS SUPPLY OF ELECTRICITY.

8 BASEMENT SUMP PUMP

SCALE : 1"=1'-0"

BASEMENT PUMP DUAL-001-*MSTR

PRECISION ENGINEERING AND CONSTRUCTION
901 Waltermire Street
Belmont, CA 94002
T: 650.226.8640
Travis@precision-ec.com

REVISIONS:	DATE:
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REGISTERED PROFESSIONAL ENGINEER
TRAVIS R. LUTZ
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DETAIL SHEET
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PLOT TIME: 10-27-20
PLOTTED BY: Windows