

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: April 28, 2021

TO: Planning Commission

FROM: Planning Staff

SUBJECT: EXECUTIVE SUMMARY: Consideration of an appeal of the Community Development Director's decision to approve a Significant Tree Removal Permit to remove a 17.4-inch diameter-at-breast height (dbh) Spanish fir tree and a 22.2-inch dbh coast live oak tree due to suppression by other trees and conflict with proposed development, respectively, on property located at 383 Arlington Way in the unincorporated Menlo Oaks area of San Mateo County.

County File Number: PLN 2021-00032 (383 Arlington Investments, LLC/Tektive Design, Pearl Renaker)

PROPOSAL

The appellant has appealed the Community Development Director's decision to approve a Significant Tree Removal Permit to remove one 17.4-inch diameter-at-breast height (dbh) Spanish fir tree (Tree No.1, per arborist numbering) located in the Arlington Way right-of-way that is suppressed by mature redwood trees and one 22.2-inch dbh coast live oak tree (Tree No.14) located east of the center of the parcel that conflicts with the proposed development plans to construct a new single-family residence (Building Permit, BLD 2020-02352) on the 19,914 sq. ft. parcel (existing single-family residential development to be demolished). Both trees are considered significant trees according to the County's Significant Tree Ordinance.

The appeal asserts that the Spanish fir tree is in fair health and lives as part of a grove of redwoods where removal could disrupt the grove and have negative consequences for the redwood trees, the tree is not in the way of any proposed construction, and that the appellant's arborist states the tree's growth would not impact the redwoods. Additionally, the appeal asserts that the coast live oak tree is not in poor health, that on a large lot where there is room for an Accessory Dwelling Unit (ADU) on the property, as proposed, there should be room on-site to preserve the significant coast live oak tree, and that the developer should be required to design around the tree in order to preserve the tree pursuant to the County's ordinance to preserve significant and heritage trees. Additionally, the appellant takes issue with the developer's intent to remove non-significant trees on the property, some of which are juvenile oaks where

young oaks that are in the setbacks would be a healthier/larger alternative to County-mandated 15-gallon replacement trees.

RECOMMENDATION

That the Planning Commission deny the appeal and uphold the decision of the Community Development Director to approve the Tree Removal Permit, County File Number PLN 2017-00272, by making the findings and adopting the conditions of approval included in Attachment A of the staff report.

SUMMARY

On March 18, 2021, the Community Development Director approved a Tree Removal Permit, that included removal of the 17.4-inch dbh Spanish fir tree and a 22.2-inch dbh coast live oak tree, based on considerations of health and condition, species, poor structure, conflict with proposed development, and health and/or longevity of other trees on the property. An appeal on the decision for these two trees was filed on March 31, 2021 based on the grounds stated above.

An arborist report by Advanced Tree Care, dated January 20, 2021, describes the Spanish fir tree as being one-sided and suppressed by the adjacent redwood tree with not enough room for both trees to thrive. A condition rating of 50 (out of 100) was assigned for form and vitality, representing “fair” condition, compared to the condition rating of 70 (representing “good”) for the nearby 30-inch dbh redwood tree. Recommendation was provided by the project arborist to remove the Spanish fir tree as the redwood is a preferred species. Staff has no evidence that its removal would adversely impact the nearby redwood trees as asserted by the appellant. The permit approval included a condition for a 1:1 tree replacement with a 15-gallon sized native species. The applicant’s construction plans under building permit review identifies 4 coast live oak redwood trees (24-inch box) proposed to be planted on-site.

The coast live oak tree located east of the center of the property is described in the arborist report as leaning with fair health and poor structure. The tree was assigned a condition rating of 40 (out of 100), representing “poor” condition for form and vitality. Additionally, the tree conflicts with proposed development. Once zoning setbacks are applied to the 19,914 sq. ft. parcel, the total primary building envelope is reduced to 6,920 sq. ft. of the property and the resulting building envelope is located within the area of the coast live oak tree, while the ADU is able to take advantage of less restrictive setbacks of 4 feet from property lines. To retain the coast live oak tree and minimize development impacts around the tree, the building envelope and proposed residence would need to reduce approximately 25 percent. Given the already reduced building envelope as a result of the zoning setback standards, the tree’s location within the building envelope and its condition and structure, staff believes removal of the coast live oak tree with the 1:1 replacement best balances accommodating development relative to the condition of the tree in order to utilize the property in a manner that is of greater

public value than any environmental degradation caused by the action and to allow reasonable economic or other enjoyment of the property.

Additionally, there are a number of non-significant trees (i.e., less than 38-inch circumference, or 12-inch diameter, measured at 4.5 feet above ground) on the property which are not regulated by the County's Significant Tree Ordinance and therefore do not require a permit to remove. Furthermore, the applicant is proposing the planting of coast live oak trees around the street perimeter of the property which staff believes are better positioned for longevity than retaining the non-significant trees being removed for development.

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**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: April 28, 2021

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SUBJECT: Consideration of an appeal of the Community Development Director's decision to approve a Significant Tree Removal Permit to remove a 17.4-inch diameter-at-breast height (dbh) Spanish fir tree and a 22.2-inch dbh coast live oak tree due to suppression by other trees and conflict with proposed development, respectively, on property located at 383 Arlington Way in the unincorporated Menlo Oaks area of San Mateo County.

County File Number: PLN2021-00032 (383 Arlington Investments, LLC/Tektive Design, Pearl Renaker)

PROPOSAL

The appellant has appealed the Community Development Director's decision to approve a Significant Tree Removal Permit to remove one 17.4-inch diameter-at-breast height (dbh) Spanish fir tree (Tree No.1, per arborist numbering) located in the Arlington Way right-of-way that is suppressed by mature redwood trees and one 22.2-inch dbh coast live oak tree (Tree No.14) located east of the center of the parcel that conflicts with the proposed development plans to construct a new single-family residence (Building Permit, BLD2020-02352) on the 19,914 sq. ft. parcel (existing single-family residential development to be demolished). Both trees are considered significant trees according to the County's Significant Tree Ordinance.

The appeal asserts that the Spanish fir tree is in fair health and lives as part of a grove of redwoods where removal could disrupt the grove and have negative consequences for the redwood trees, the tree is not in the way of any proposed construction, and that the appellant's arborist states the tree's growth would not impact the redwoods. Additionally, the appeal asserts that the coast live oak tree is not in poor health, that on a large lot where there is room for an Accessory Dwelling Unit (ADU) on the property, as proposed, there should be room on-site to preserve the significant coast live oak tree, and that the developer should be required to design around the tree in order to preserve the tree pursuant to the County's ordinance to preserve significant and heritage trees. Additionally, the appellant takes issue with the developer's intent to remove non-significant trees on the property, some of which are juvenile oaks where young oaks that are in the setbacks would be a healthier/larger alternative to County-mandated 15-gallon replacement trees.

Three other significant trees were approved for removal including a 12-inch dbh black acacia tree, a 30.8-inch dbh blue atlas cedar tree, and a 51.3-inch dbh Aleppo pine tree located throughout the property due to invasive species, poor structure, poor health and condition, respectively, conflict with proposed development, and being an invasive tree species. The approval of removal of these three trees is not being contested.

RECOMMENDATION

That the Planning Commission deny the appeal and uphold the decision of the Community Development Director to approve the Tree Removal Permit, County File Number PLN 2017-00272, by making the findings and adopting the conditions of approval included in Attachment A of the staff report.

BACKGROUND

Report Prepared By: Summer Burlison, Project Planner; 650/363-1815

Appellants: Judy Horst

Applicant: Tektive Design, Pearl Renaker

Owner: 383 Arlington Investments, LLC

Location: 383 Arlington Way, Menlo Oaks

APN: 062-262-040

Parcel Size: 19,914 sq. ft.

Existing Zoning: R-1/S-100 (One-family Residential/Menlo Oaks area)

General Plan Designation: Low Density Residential

Sphere-of-Influence: Menlo Park

Existing Land Use: Single-family residential

Water Supply: California Water Service – Bear Gulch Office

Sewage Disposal: West Bay Sanitary District

Flood Zone: Zone X (area of minimal flood), FEMA Panel 06081C0308E, effective October 16, 2012

Environmental Evaluation: The project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section 15303, Class 3(a), related to the construction of a new single-family residence.

Setting: The property is a flat lot located at the corner of Arlington Way and Madison Way in Menlo Oaks. Existing development on the property includes an existing two-story residence (1,800 sq. ft.) with an attached 400 sq. ft. garage and a detached cottage (440 sq. ft.) built in the mid-1920's located on the front portion of the parcel. The existing driveway is located on Arlington Way, near the Spanish fir tree approved for removal. There are 15 significant trees located primarily around the perimeter of the property, along with a number of smaller non-significant trees (less than 38-inch circumference at breast height) throughout the parcel. A total of 5 significant trees were approved for removal under the subject tree removal permit, PLN 2021-00032, two of which are being appealed. Surrounding development includes similar sized properties supporting similar sized residential development primarily from the 1920's – 1950's.

DISCUSSION

A. **KEY ISSUES OF THE APPEAL**

The appeal letter submitted on March 31, 2021, Attachment H, opposes the Community Development Director's decision to approve a Significant Tree Removal Permit to remove a Spanish fir tree (Tree No.1) and coast live oak tree (Tree No.14), based on the following concerns (in **bold type**):

Spanish fir, Tree No.1

- 1. This significant tree is in fair health and lives with Redwoods as part of a grove. Disrupting the grove could have negative consequences for the Redwoods. Our arborist states this tree's growth would not impact the Redwoods.**

Staff response: As cited in the tree removal application and arborist report prepared by Advanced Tree Care, dated January 20, 2021, the Spanish fir tree (17.4-inch dbh) is in fair health and condition. The tree is located within the Arlington Way right-of-way with the nearest redwood tree (30-inch dbh) located inside the front property line approximately 20 feet away. A second redwood tree (48.7-inch dbh) is located inside the front property line across the existing driveway, approximately 24 feet away. The arborist report describes the tree as being one-sided and suppressed by the adjacent redwood on the property with not enough room for both trees to thrive. A recommendation was provided in the arborist report to remove the Spanish fir tree as the redwood is a preferred species.

While staff agrees that the Spanish fir tree would not impact the nearby redwoods, there are signs that its location relative to the redwoods has

suppressed its growth as evidenced by its one-sided canopy and condition rating for form and vitality of 50 (out of 100), representing “fair” condition, compared to the condition rating of the nearest 30-inch dbh redwood tree of 70, representing “good” health and condition, and a condition rating of 90, representing “excellent” health and condition, for the 48.7-inch dbh redwood tree (located across the existing driveway). Furthermore, the tree’s canopy is located on the perimeter of this tree “grove” (as described by the appellant) with no evidence that its removal would adversely impact the nearby redwood trees as they have dominated over the Spanish fir tree.

2. This tree is not in the way of any proposed construction.

Staff response: As stated in the application, removal of the Spanish fir tree was requested due to the tree being suppressed by the nearby dominating redwood trees. Staff concurred with this assessment. Pursuant to Section 12,023 (*Criteria for Permit Approval*) of the Significant Tree Ordinance, only one of the cited findings must be made to approve tree removal, including (but not limited to) that the tree will be replaced by plantings approved by the Community Development Director. Based on the tree’s condition and surrounding environment as described in staff’s response No.1 above, and a condition of approval for 1:1 tree replacement with a 15-gallon sized tree of native species, the Spanish fir tree was approved for removal.

Coast live oak, Tree No.14

3. This tree is not in poor health and is protected by the County’s ordinance to preserve significant and heritage trees.

Staff response: As cited in the arborist report, the coast live oak tree is described as leaning and having fair health and poor structure. The tree was assigned a condition rating of 40 (out of 100), falling into a lower scale range of 30 – 49 representing “poor” condition (for form and vitality). The tree does not meet the criteria of a heritage tree pursuant to Section 11,050(g)(8) which defines coast live oak trees greater than 48” dbh as heritage trees. However, this coast live oak tree (22.2” dbh) is a significant tree regulated under the County’s Significant Tree Ordinance.

The County recognizes that trees are a valuable and distinctive natural resource and that the preservation and replacement of significant trees is necessary to protect the natural beauty of the area, protect property values, and prevent undesirable changes in the environment. Therefore, the Significant Tree Ordinance was adopted to control and supervise in a reasonable manner the cutting of significant trees and tree communities within the County while respecting and recognizing individual rights to develop, maintain, and enjoy private property to the fullest possible extent, consistent with the public interest, convenience, and necessity. To this

purpose, the Ordinance allows tree removal in a certain number of situations when a finding can be made as provided in Section 12,023 (*Criteria for Permit Approval*) of the Significant Tree Ordinance, including (but not limited to) that the tree will be replaced by plantings approved by the Community Development Director, when the action is necessary to utilize the property in a manner which is of greater public value than any environmental degradation caused by the action, and/or to allow reasonable economic or other enjoyment of the property. Based on these findings, as allowed by Ordinance, the coast live oak tree was approved for removal.

4. **On a large lot like this one, the developer should be required to redesign around the significant trees in order to preserve them. If there is room in the plans for an Accessory Dwelling Unit (ADU) on the property, there should be room to preserve a significant coastal oak.**

Staff response: The 19,914 sq. ft. parcel was originally developed with a single-family residence in the 1920's. The existing development is located primarily towards the front half of the property and covers 13percent of the property. The proposed development includes a new two-story residence with attached two-car garage and a detached ADU covering 24.5 percent of the property, where 25 percent maximum lot coverage is allowed. In addition to a lot coverage standard, the applicable "S-100" zoning standards for the 19,914 sq. ft. corner parcel include a 40-foot building setback from the front property line and street side (Madison Way) property line, a 20-foot building setback from the rear property line, and a 10-foot building setback from the interior side property line, resulting in a total primary building envelope of 6,920 sq. ft. (35 percent of the total lot size). The proposed residence (including house, garage, and patio) is designed to conform with the setback constraints for the property. The ADU is allowed a reduced setback of 4 feet from the side and rear property lines and therefore takes advantage of not being restricted to the same building envelope as the primary residence.

The coast live oak tree is offset from the center of the primary building envelope on the property. Without removal, the coast live oak tree would reduce development within the building envelope by approximately 25 percent to avoid significant root impacts within its tree protection zone. Given the already reduced building envelope as a result of the zoning setback standards, the tree's location within the building envelope and its condition (including poor condition rating, poor structure and lean, as concluded by an arborist), staff believes that removal of the coast live oak tree with the condition for a 1:1 replacement best balances accommodating development and condition of the tree in order to utilize the property in a manner which is of greater public value than any environmental degradation caused by the action and to allow reasonable economic or other enjoyment of the property.

B. OTHER CONCERNS

The appeal letter submitted on March 31, 2021 raises the following concern over non-significant tree removal.

Concern

We take issue with the developer's arborist approval to remove non-significant trees on the property, some of which are juvenile oaks. Where the young oaks are in the setbacks, these oaks would be healthier/larger alternative to County-mandated 15-gallon replacements.

Staff response

The County's Significant Tree Ordinance regulates the removal of trees with a circumference of 38-inch or greater measured at 4.5 feet above ground (~12 dbh). There are a number of non-significant trees throughout the property ranging in size from 6-inch dbh to 10-inch dbh proposed for removal to accommodate development (including the ADU, house, utility lines and pool). Several of these trees are located within the footprint of the proposed ADU and primarily around the perimeter of the property where proposed development would leave little distance, less than 10 feet, from new development. These non-significant trees are not regulated by the County's Significant Tree Ordinance and therefore do not require a permit to remove. The proposed development plans include the planting of four 24-inch box coast live oak trees around the street perimeter of the property which staff believes are better positioned for longevity.

C. CONFORMANCE WITH THE GENERAL PLAN

General Plan Policy 1.25 (*Protect Vegetative Resources*) seeks to ensure that development will minimize the removal of vegetative resources and/or protect vegetation which enhances microclimate, stabilizes slopes or reduces surface water runoff, erosion or siltation, and/or protects historic and scenic trees.

The trees approved for removal under the subject tree removal permit, including but not limited to the Spanish fir tree and coast live oak tree, are the minimum necessary based on considerations of health and condition, species, poor structure, conflict with proposed development, and health and/or longevity of other trees on the property. Opportunities to ensure protection for as many of the 15 significant trees on the property as possible have been explored, recommended and will be implemented by the project applicant, including but not limited to re-routing of a sewer utility line for the main residence to minimize root impacts to two redwood trees (48.7-inch dbh and 56-inch dbh) and hand digging for excavation of walkways, driveway and utilities where avoidance of tree protection zones is not feasible. Therefore, staff believes the project has been designed and will be implemented in a manner that best balances the development goals of the

applicant and the goal of the General Plan for minimizing tree removal and where necessary, replacement of trees with appropriately selected species for the area.

D. CONFORMANCE WITH THE SIGNIFICANT TREE ORDINANCE

Section 12,023 (*Criteria for Permit Approval*) of the Significant Tree Ordinance states that the Community Development Director or any other person or body charge with determining whether to grant, conditionally grant or deny a Tree Cutting or Trimming Permit may approve a permit only if one or more of the following findings are made:

1. The tree is diseased;
2. The tree could adversely affect the general health and safety;
3. The tree could cause substantial damage;
4. The tree is a public nuisance;
5. The tree is in danger of falling;
6. The tree substantially detracts from the value of the property;
7. The tree acts as a host for a plant which is parasitic to another species of tree which is in danger of being infested or exterminated by the parasite;
8. The tree is a substantial fire hazard;
9. The tree will be replaced by plantings approved by the Community Development Director;
10. The required action is necessary (a) to utilize the property in a manner which is of greater public value than any environmental degradation caused by the action; or (b) to allow reasonable economic or other enjoyment of the property.

Approval of the Spanish fir tree and coast live oak tree was granted based on staff's assessment that Finding Nos. 9 and 10(a)(b) from above could be made. See staff's responses in Section A.1, A.2 and A.3 for discussion.

E. ENVIRONMENTAL REVIEW

The project is exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section 15303, Class 3(a), related to the construction of a new single-family residence.

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Significant Tree Removal Permit Approval Letter, dated March 18, 2021
- D. Project Arborist Report by Advanced Tree Care, dated January 20, 2021
- E. Photos
- F. Site and Tree Plan, Building Permit, BLD 2020-02352
- G. Reference Permit Plans, Building Permit, BLD 2020-02352
- H. Appeal Application

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2021-00032

Hearing Date: April 28, 2021

Prepared By: Summer Burlison,
Project Planner

For Adoption By: Planning Commission

RECOMMENDED FINDINGS

Regarding the Environmental Review, Find:

1. That the project is exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section 15303, Class 3(a) (*New Construction of Small Structures*), related to the construction of a new single-family residence.

Regarding the Significant Tree Removal Permit, Find:

2. That denying the appeal and upholding the Community Development Director's decision to approve the removal of one 17.4-inch dbh Spanish fir tree and one 22.2-inch dbh coast live oak tree meets the criteria for tree removal established in Section 12,023 (*Criteria for Permit Approval*) of the Significant Tree Ordinance:
 - a. The 17.4-inch dbh Spanish fir tree and 22.2-inch dbh coast live oak tree will be replaced by plantings approved by the Community Development Director; and
 - b. The 22.2-inch dbh coast live oak tree removal is necessary to: (1) utilize the property in a manner which is of greater public value than any environmental degradation caused by the action, and (2) allow reasonable economic or other enjoyment of the property.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. The trees indicated on the application form dated January 28, 2021, may only be removed after the end of the appeal period and upon issuance of the associated building permit case no. BLD 2020-02352 (residence) and BLD 2020-02353 (ADU), assuming no appeal is filed as stipulated in this letter. A separate Tree Removal

Permit or Tree Trimming Permit shall be required for the removal of any additional trees.

2. This Significant Tree Removal Permit approval shall be on the site and available at all times during the tree removal operation and shall be available to any person for inspection. The issued permit shall be posted in a conspicuous place at eye level at a point nearest the street.
3. The applicant shall plant on-site a total of five (5) trees of native species using at least 15-gallon size stock, for the trees removed. Replacement planting shall occur within one (1) year of the Significant Tree Removal Permit approval date (Section 12,024 of the San Mateo County Ordinance Code).
4. The applicant shall submit photo verification to the Planning Department of the planted replacement trees required in Condition of Approval No. 3. Photos shall either be submitted in person to the Planning Department, or via email to plngbldg@smcgov.org with reference to the Planning Application PLN Number, as identified in the subject line of this letter.
5. If the subject Significant Tree Removal Permit is associated with a building permit for construction of a new residence, the required tree replanting, per Condition of Approval No. 3, shall be required prior to the final building inspection approval. Any outstanding tree replacements not yet complied with from previously approved tree removal permits, if any, shall also be fulfilled. An inspection final by the Planning Department will be added to the building permit.
6. If work authorized by an approved permit is not commenced within the period of one (1) year from the date of approval, the permit shall be considered void.
7. During the tree removal phase, the applicant shall, pursuant to Chapter 4.100 of the San Mateo County Ordinance Code, minimize the transport and discharge of stormwater runoff from the construction site by:
 - a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30.
 - b. Removing spoils promptly and avoiding stockpiling of fill materials when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
 - c. Storing, handling, and disposing of construction materials and wastes so as to avoid their entry to the storm drain system or water body.
 - d. Using filtration or other measures to remove sediment from dewatering effluent.
 - e. Avoiding cleaning, fueling or maintaining vehicles on-site, except in an area designated to contain and treat runoff.

- f. Limiting and timing application of pesticides and fertilizers to avoid polluting runoff.
- 8. Prior to the removal of any trees located within the public right-of-way, the applicant shall obtain an encroachment permit from the Department of Public Works. Additionally, prior to planting any trees within the public right-of-way, the applicant shall obtain a landscaping/encroachment permit from the Department of Public Works.
- 9. The applicant shall clear all debris from the public right-of-way.

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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



San Mateo County

Vicinity Map: 383 Arlington Way



0.04

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0.02

0.04 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere

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1: 1,128



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C

March 18, 2021

Tektive Design
Attn: Pearl Renaker
623 Guinda Street
Palo Alto, CA 94301

Dear Ms. Renaker:

SUBJECT: Bayside Tree Removal Permit
383 Arlington Way, Menlo Oaks
APN 062-262-040; County File No. PLN 2021-00032

Your application for a Significant Tree Removal Permit, to remove a 12-inch diameter at breast height (dbh) black acacia tree, 17.4-inch dbh Spanish fir tree, 22.2-inch dbh coast live oak tree, 30.8-inch dbh blue atlas cedar tree, and 51.3-inch dbh Aleppo pine tree located throughout the subject property, is hereby **approved**, pursuant to Section 12,000 of the San Mateo County Ordinance Code. Public notification was sent out on February 10, 2021. The posting period began on February 11, 2021 and ended on February 26, 2021. Six (6) objection and comment letters were received during the comment period, which generally disagree with the proposed removal of all five (5) trees because the trees serve as a host for wildlife and the contents of the arborist report does not provide adequate evidence for removal.

The application states that the purpose of the tree removal is due to poor structure, poor health and condition, and within the building footprint of the proposed residence and accessory dwelling unit associated with BLD 2020-02352 and BLD 2020-02353, respectively. An arborist report prepared by Advanced Tree Care, dated January 20, 2021, describes the Spanish fir tree as one sided and suppressed by an adjacent redwood, the Aleppo pine tree as leaning heavily and not tolerant of construction impacts, the blue atlas cedar tree and coast live oak tree as in poor health and condition, and the black acacia tree as an invasive species in fair health and condition. The report recommends the removal of all five (5) significant trees.

In consult with the County arborist, staff believes the applicant has proposed a development that reasonably considers the impacts to all trees on-site and proposes tree removal that balances accommodating development, health and condition of trees, and that best benefits the health and/or longevity of other trees (including but not limited to a 30-inch redwood tree and 36-inch valley oak tree). The County Arborist recommends hand digging the sewer line of the accessory dwelling unit and relocating the main sewer line in the front of the proposed primary residence to be equidistant between the redwoods to avoid unnecessary root impacts.



Based on the foregoing, your application is hereby approved subject to the following findings and conditions of approval:

FINDINGS

Staff found that:

1. The trees will be replaced by plantings approved by the Community Development Director, unless special conditions indicate otherwise.
2. The required action is necessary to utilize the property in a manner which is of greater public value than any environmental degradation caused by the action.
3. The required action is necessary to allow reasonable economic or other enjoyment of the property.

CONDITIONS OF APPROVAL

1. The trees indicated on the application form dated January 28, 2021, may only be removed after the end of the appeal period and upon issuance of the associated building permit case no. BLD 2020-02352 and BLD 2020-02353, assuming no appeal is filed as stipulated in this letter. A separate Tree Removal Permit or Tree Trimming Permit shall be required for the removal of any additional trees.
2. This Significant Tree Removal Permit approval shall be on the site and available at all times during the tree removal operation and shall be available to any person for inspection. The issued permit shall be posted in a conspicuous place at eye level at a point nearest the street.
3. The applicant shall plant on-site a total of five (5) trees of native species using at least 15-gallon size stock, for the trees removed. Replacement planting shall occur within one (1) year of the Significant Tree Removal Permit approval date (Section 12,024 of the San Mateo County Ordinance Code).
4. The applicant shall submit photo verification to the Planning Department of the planted replacement trees required in Condition of Approval No. 3. Photos shall either be submitted in person to the Planning Department, or via email to plngbldg@smcgov.org with reference to the Planning Application PLN Number, as identified in the subject line of this letter.
5. If the subject Significant Tree Removal Permit is associated with a building permit for construction of a new residence, the required tree replanting, per Condition of Approval No. 3, shall be required prior to the final building inspection approval. Any outstanding tree replacements not yet complied with from previously approved tree removal permits, if any, shall also be fulfilled. An inspection final by the Planning Department will be added to the building permit.

6. If work authorized by an approved permit is not commenced within the period of one (1) year from the date of approval, the permit shall be considered void.
7. During the tree removal phase, the applicant shall, pursuant to Chapter 4.100 of the San Mateo County Ordinance Code, minimize the transport and discharge of stormwater runoff from the construction site by:
 - a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30.
 - b. Removing spoils promptly and avoiding stockpiling of fill materials when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
 - c. Storing, handling, and disposing of construction materials and wastes so as to avoid their entry to the storm drain system or water body.
 - d. Using filtration or other measures to remove sediment from dewatering effluent.
 - e. Avoiding cleaning, fueling or maintaining vehicles on-site, except in an area designated to contain and treat runoff.
 - f. Limiting and timing application of pesticides and fertilizers to avoid polluting runoff.
8. Prior to the removal of any trees located within the public right-of-way, the applicant shall obtain an encroachment permit from the Department of Public Works. Additionally, prior to planting any trees within the public right-of-way, the applicant shall obtain a landscaping/encroachment permit from the Department of Public Works.
9. The applicant shall clear all debris from the public right-of-way.

To ensure compliance with the above conditions, a "Parcel Tag" will be placed on this parcel which shall restrict future development until these conditions are met, particularly with regard to the planting and photo verification of the replacement trees. Upon fulfillment of these conditions, as determined by the Community Development Director, the subsequent parcel tag shall be lifted.

The approval of this Significant Tree Removal Permit and any conditions of the approval may be appealed within ten (10) working days of the date of this letter. An appeal form accompanied by the applicable filing fee of \$616.35 must be submitted by **5:00 p.m., April 1, 2021**. If at the end of that period no appeal has been filed, the subject trees may be removed (Section 12,028 of the San Mateo County Ordinance Code). Per County directive due to COVID-19, the Planning and Building Department public assistance counter is currently closed until further notice. To file an appeal, a completed appeal form shall be emailed to the project planner (contact information below) who will coordinate with the appellant regarding payment of the filing fee.

You will be notified if an appeal is made.

If you have any questions, please contact the project planner, Lawrence Truong, by email at lktruong@smcgov.org.

To provide feedback, please visit the Department's Customer Survey at the following link: <http://planning.smcgov.org/survey>.

FOR STEVE MONOWITZ
COMMUNITY DEVELOPMENT DIRECTOR, By:



Summer Burlison, Senior Planner

SSB:LKT:agv – LKTFF0576_WAN.DOCX

cc: 383 Arlington Investments, LLC
Menlo Oaks Tree Advocacy
Interested Parties



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D

Andy Kwitowski
AK Construction
385 Woodview Ave, #250
Morgan Hill, CA 95037

Site: 383 Arlington Way, Menlo Park

Dear Andy,

At your request I visited the above site for the purpose of inspecting and commenting on the regulated trees around the property. A new home and ADU is planned, prompting the need for this tree protection report.

Method:

San Mateo County regulates Significant Trees whereby a “SIGNIFICANT TREE” shall mean any live woody plant rising above the ground with a single stem or trunk of a circumference of 38” (Diameter 12.1”) or more measured at 4 1/2’ vertically above the ground or immediately below the lowest branch, whichever is lower, and having the inherent capacity of naturally producing one main axis continuing to grow more vigorously than the lateral axes.

The location of the Significant trees on this site can be found on the plan provided by you. Each tree is given an identification number. The trees are measured at 54 inches above ground level (DBH or Diameter at Breast Height). A condition rating of 1 to 100 is assigned to each tree representing form and vitality on the following scale:

1 to 29	Very Poor
30 to 49	Poor
50 to 69	Fair
70 to 89	Good
90 to 100	Excellent

The height and spread of each tree is estimated. A Comments section is provided for any significant observations affecting the condition rating of the tree.

A Summary and Tree Protection Plan are at the end of the survey providing recommendations for maintaining the health and condition of the trees during and after construction.

If you have any questions, please don’t hesitate to call.

Sincerely



Robert Weatherill
Certified Arborist WE 1936A

Tree Survey

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
1	Spanish fir <i>Abies pinsapo</i>	17.4"	40/15	50	Fair health and condition, suppressed by adjacent trees, Significant
2	Coastal redwood <i>Sequoia sempervirens</i>	30.0"	70/20	70	Good health and condition Significant
3	Coastal redwood <i>Sequoia sempervirens</i>	48.7"	90/35	90	Excellent health and condition Significant
4	Coastal redwood <i>Sequoia sempervirens</i>	56.0"	90/40	60	Good health, fair condition, codominant at 35', Significant
5	Aleppo pine <i>Pinus halepensis</i>	51.3"	70/70	50	Good health, fair condition, poor structure, Significant
6	Monterey cypress <i>Cupressus macrocarpa</i>	19.6"	50/25	50	Fair health and condition Significant
7	Monterey cypress <i>Cupressus macrocarpa</i>	13.1"	40/10	40	Poor health, poor condition, suppressed by adjacent trees, Significant
8	Valley oak <i>Quercus lobata</i>	36.1"	35/40	40	Poor health and condition, decay in trunk, leaning cable, Significant
9	Douglas fir <i>Pseudotsuga menziesii</i>	33.6"	60/30	40	Fair health, poor condition, poor structure, declining, Significant
10	Blue atlas cedar <i>Cedrus atlantica 'Glauca'</i>	30.8"	50/25	40	Poor health and condition, broken branches, Significant
11	Coastal redwood <i>Sequoia sempervirens</i>	18.3"	50/30	50	Fair health and condition, thinning, drought stress, Significant
12	Coast live oak <i>Quercus agrifolia</i>	24.8"	25/30	50	Fair health, poor condition, topped by utility, leaning, Significant
13	Black acacia <i>Acacia melanoxylon</i>	12.0"	25/10	55	Fair health and condition, poor species Significant
14	Coast live oak <i>Quercus agrifolia</i>	22.2"	35/30	40	Fair health, poor structure, leaning, Significant
15	Valley oak <i>Quercus lobata</i>	10.0/10.1"	20/20	40	Fair health, poor condition, codominant at 1', decay on both Trunks, Significant

Summary:

The trees on the site are a variety of natives and non-natives.

There are 15 Significant trees on the property in varying health and condition.

Tree #1 is a Spanish fir that is one sided and suppressed by the adjacent redwood. There is not enough room for both of these trees to thrive, the redwood is the preferred species I recommend removing the Spanish fir.

Tree #s 2, 3 and 4 are coastal redwoods in good health and condition and should be protected during construction.

Tree # 5 is a large Aleppo pine. The tree is in good health but only fair condition. The tree has structurally weak branch unions that are being supported with a cabling system. The canopy leans heavily over the existing house. Pines do not tolerate construction impacts very well despite all tree protection measures. I recommend that this tree be removed.

Tree #s 7, 8, 9 and 15 are in poor health and condition and should be removed, but will be protected for this project.

Tree #s 10 and 14 are in poor health and condition and should be removed.

Tree #s 6, 11 and 12 are in fair health and condition and should be protected during construction.

Tree # 13 is a black acacia in fair health and condition. The black acacia is an invasive species and considered not a desirable species. I recommend this tree be removed.

The non Significant trees on this property can be removed if desired.

Tree Protection Plan

1. The Tree Protection Zone (TPZ) should be defined with protective fencing. This should be cyclone or chain link fencing on 1½” or 2” posts driven at least 2 feet in to the ground standing at least 6 feet tall. Normally a TPZ is defined by the dripline of the tree. I recommend the TPZ’s as follows:-

Tree # 2: TPZ should be at 20 feet from the trunk closing on the fence line and edge of gravel by pavement in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2⁽⁶⁾.

If the driveway is to be retained, the fencing can follow the edge of the driveway. After driveway is removed, the fencing should be placed at its fullest extent.

Tree # 3: TPZ should be at 32 feet from the trunk closing on the fence line and edge of gravel by pavement in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2⁽⁶⁾.

If driveway is to be retained, the fencing can follow the edge of the driveway. After driveway is removed, the fencing should be placed at its fullest extent.

Excavation and construction of the proposed walk way within the TPZ should be done by hand, no roots greater than 2” in diameter should be cut without arborist supervision.

Tree # 4: TPZ should be at 36 feet from the trunk closing on the fence line and edge of gravel by pavement in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2⁽⁶⁾.

Excavation of the sewer through the TPZ should be done by hand. No roots greater than 2” in diameter should be cut.

Tree # 6: TPZ should be at 12 feet from the trunk closing on the fence line and edge of gravel by pavement in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2⁽⁶⁾.

Excavation of the proposed driveway within the TPZ should be done by hand, no roots greater than 2” in diameter should be cut without arborist supervision. The proposed new driveway should be constructed of a permeable media placed on a base with minimal excavation and compaction.

Tree # 7: TPZ should be at 8 feet from the trunk in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2⁽⁶⁾.

Tree # 8: TPZ should be at 24 feet from the trunk in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2⁽⁶⁾.

Tree # 9: TPZ should be at 22 feet from the trunk closing on the property line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2⁽⁶⁾.

Tree # 11: TPZ should be at 12 feet from the trunk closing on the fence line and edge of gravel by pavement in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾.

Excavation for foundation of ADU should be done by hand within the TPZ. Ideally the foundation for the ADU should be slab on grade with reinforced edge. This should minimize depth of required excavation and conflict with roots. All excavation within the TPZ should be done by hand under arborist supervision.

Tree # 12: TPZ should be at 16 feet from the trunk closing on the fence line and edge of gravel by pavement in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾.

Excavation for foundation of ADU and patio should be done by hand within the TPZ. Ideally the foundation for the ADU should be slab on grade with reinforced edge. This should minimize depth of required excavation and conflict with roots. All excavation within the TPZ should be done by hand under arborist supervision.

Tree # 15: TPZ should be at 10 feet from the trunk closing on the property line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾.



IMAGE 2.15-1
Tree Protection Fence at the Dripline

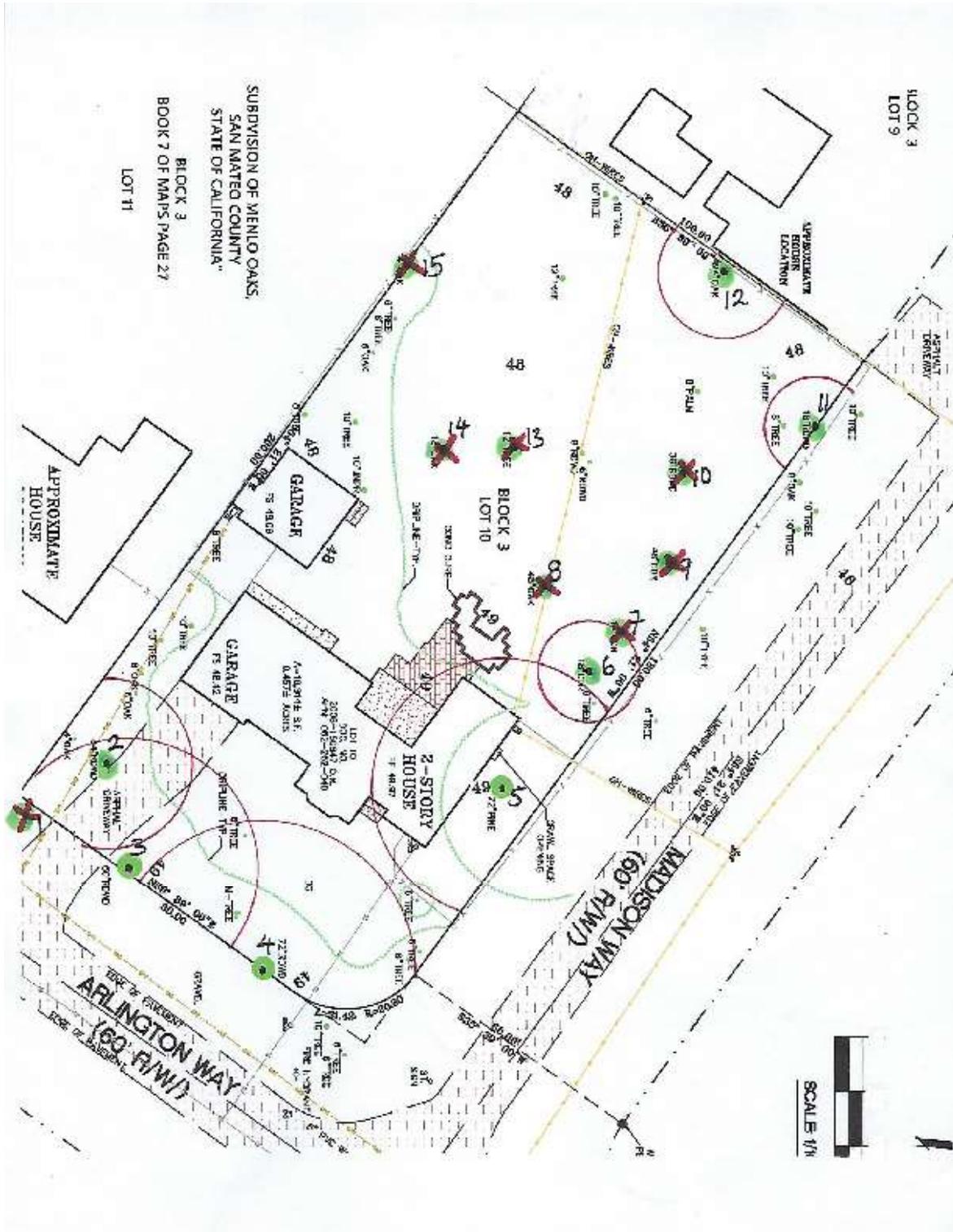


IMAGE 2.15-2
Tree Protection Fence at the Dripline

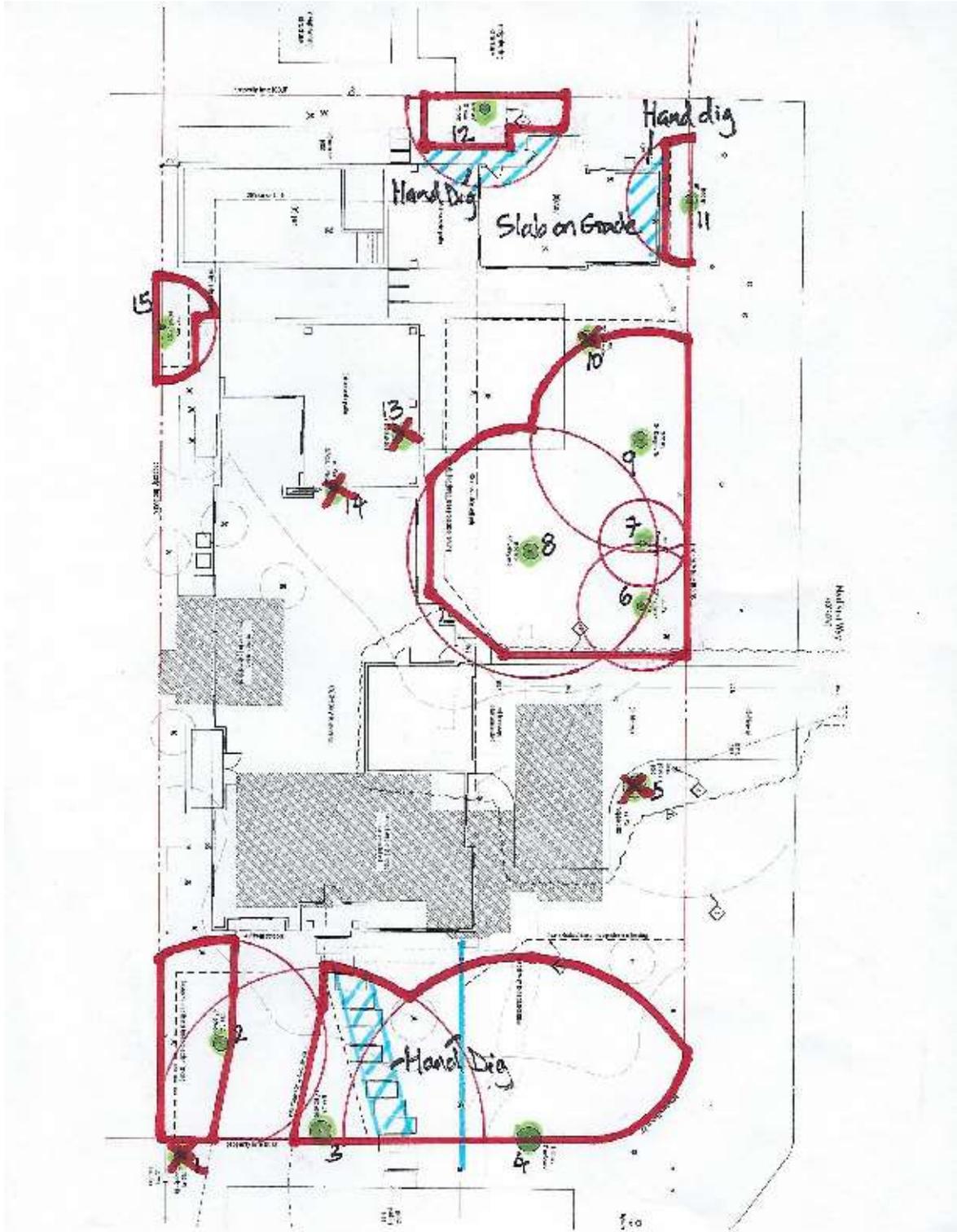
• **Type I Tree Protection**

The fences shall enclose the entire area under the **canopy dripline or TPZ** of the tree(s) to be saved throughout the life of the project, or until final improvement work within the area is required, typically near the end of the project (*see Images 2.15-1 and 2.15-2*). Parking Areas: If the fencing must be located on paving or sidewalk that will not be demolished, the posts may be supported by an appropriate grade level concrete base.

2. Any pruning and maintenance of the tree shall be carried out before construction begins. This should allow for any clearance requirements for both the new structure and any construction machinery. This will eliminate the possibility of damage during construction. **The pruning should be carried out by an arborist, not by construction personnel.** No limbs greater than 4” in diameter shall be removed.
3. Any excavation in ground where there is a potential to damage roots of 1” or more in diameter should be carefully hand dug. Where possible, roots should be dug around rather than cut.⁽²⁾
4. If roots are broken, every effort should be made to remove the damaged area and cut it back to its closest lateral root. A clean cut should be made with a saw or pruners. This will prevent any infection from damaged roots spreading throughout the root system and into the tree.⁽²⁾
5. **Do Not:**⁽⁴⁾
 - a. Allow run off or spillage of damaging materials into the area below any tree canopy.
 - b. Store materials, stockpile soil, park or drive vehicles within the TPZ of the tree.
 - c. Cut, break, skin or bruise roots, branches or trunk without first obtaining permission from the city arborist.
 - d. Allow fires under any adjacent trees.
 - e. Discharge exhaust into foliage.
 - f. Secure cable, chain or rope to trees or shrubs.
 - g. Apply soil sterilants under pavement near existing trees.
6. Where roots are exposed, they should be kept covered with the native soil or four layers of wetted, untreated burlap. Roots will dry out and die if left exposed to the air for too long.⁽⁴⁾
7. Route pipes into alternate locations to avoid conflict with roots.⁽⁴⁾
8. Where it is not possible to reroute pipes or trenches, the contractor is to bore beneath the dripline of the tree. The boring shall take place no less than 3 feet below the surface of the soil in order to avoid encountering “feeder” roots.⁽⁴⁾
9. Compaction of the soil within the dripline shall be kept to a minimum.⁽²⁾ If access is required to go through the TPZ of a protected tree, the area within the TPZ should be protected from compaction either with steel plates or with 4” of wood chip overlaid with plywood.
10. Any damage due to construction activities shall be reported to the project arborist or city arborist within 6 hours so that remedial action can be taken.
11. Ensure upon completion of the project that the original ground level is restored



Location of existing house, protected trees and their Tree Protection Zones



Location of proposed new house, protected trees and their Tree Protection Zones

Glossary

Canopy	The part of the crown composed of leaves and small twigs. ⁽²⁾
Cavities	An open wound, characterized by the presence of extensive decay and resulting in a hollow. ⁽¹⁾
Decay	Process of degradation of woody tissues by fungi and bacteria through the decomposition of cellulose and lignin ⁽¹⁾
Dripline	The width of the crown as measured by the lateral extent of the foliage. ⁽¹⁾
Genus	A classification of plants showing similar characteristics.
Root plate	The point at which the trunk flares out at the base of the tree to become the root system.
Species	A Classification that identifies a particular plant.
Standard height	Height at which the girth of the tree is measured. Typically 4 1/2 feet above ground level

References

(1) Matheny, N.P., and Clark, J.P. Evaluation of Hazard Trees in Urban Areas. International Society of Arboriculture, 1994.

(2) Harris, R.W., Matheny, N.P. and Clark, J.R.. Arboriculture: Integrated Management of Landscape Trees, Shrubs and Vines. Prentice Hall, 1999.

(3) Carlson, Russell E. Paulownia on The Green: An Assessment of Tree Health and Structural Condition. Tree Tech Consulting, 1998.

(4) Extracted from a copy of Tree Protection guidelines. Anon

(5) T. D. Sydnor, Arboricultural Glossary. School of Natural Resources, 2000

(6) D Dockter, Tree Technical Manual. City of Palo Alto, June, 2001

Certification of Performance⁽³⁾

I, Robert Weatherill certify:

- * That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and appraisal is stated in the attached report and the Terms and Conditions;
- * That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;
- * That the analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts;
- * That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events;
- * That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;
- * That no one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a member of the International Society of Arboriculture and a Certified Arborist. I have been involved in the practice of arboriculture and the care and study of trees for over 20 years.

Signed



Robert Weatherill
Certified Arborist WE 1936a
Date: 1/20/21

Terms and Conditions(3)

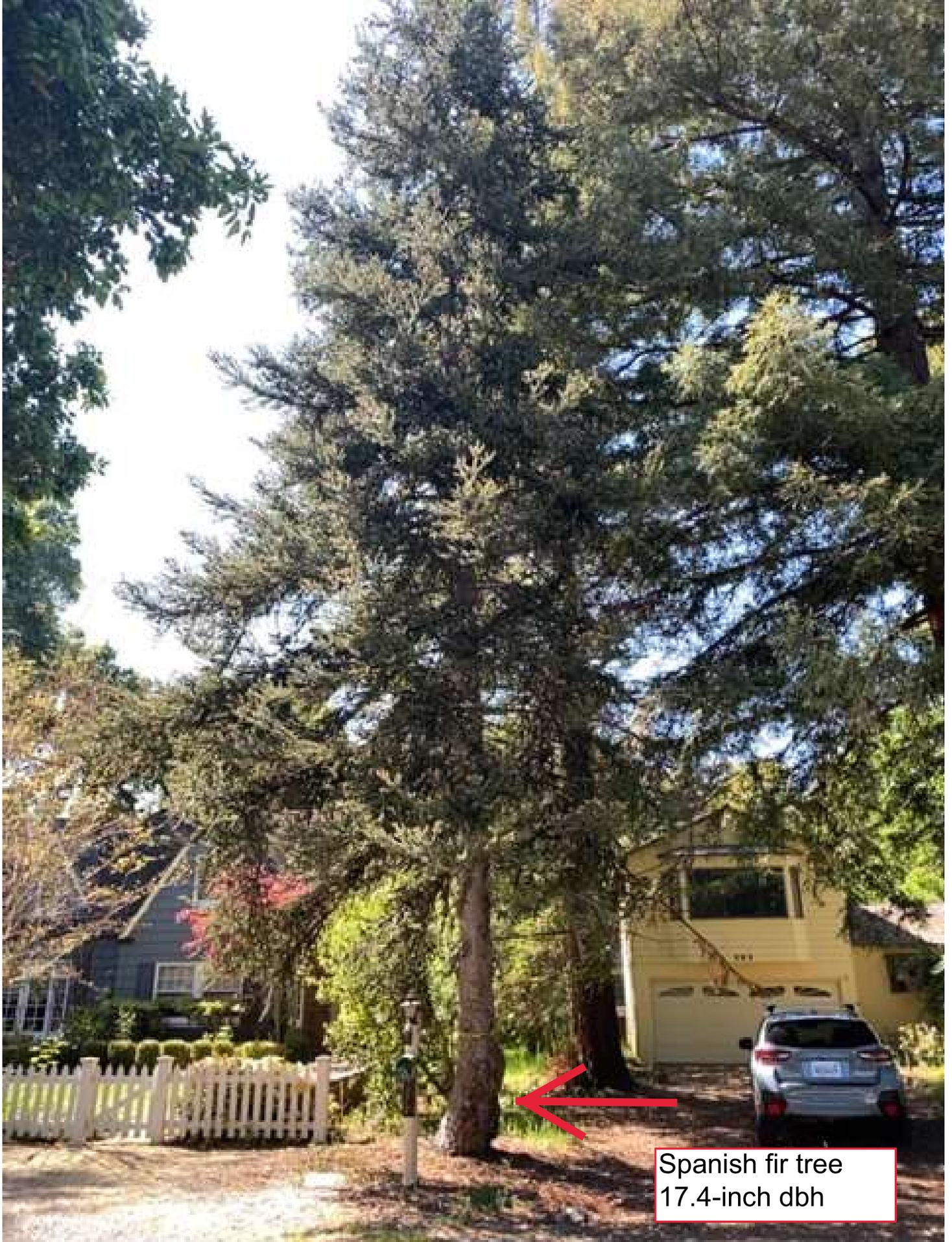
The following terms and conditions apply to all oral and written reports and correspondence pertaining to consultations, inspections and activities of Advanced Tree Care :

1. All property lines and ownership of property, trees, and landscape plants and fixtures are assumed to be accurate and reliable as presented and described to the consultant, either verbally or in writing. The consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.
2. It is assumed that any property referred to in any report or in conjunction with any services performed by Advanced Tree Care, is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. Any existing liens and encumbrances have been disregarded.
3. All reports and other correspondence are confidential, and are the property of Advanced Tree Care and its named clients and their assignees or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal or alteration of any part of a report invalidates the entire appraisal/evaluation.
4. The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. Advanced Tree Care and the consultant assume no liability for the failure of trees or parts of trees, either inspected or otherwise. The consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.
5. All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring or other invasive procedures, unless otherwise noted in the report. No warrantee or guarantee is made, expressed or implied, that problems or deficiencies of the plants or the property will not occur in the future, from any cause. The consultant shall not be responsible for damages caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.
6. The consultant shall not be required to provide further documentation, give testimony, be deposed, or attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as described by the consultant or in the fee schedules or contract.
7. Advanced Tree Care has no warrantee, either expressed or implied, as to the suitability of the information contained in the reports for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.
8. Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the consultants, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding to be reported.
9. Any photographs, diagrams, graphs, sketches, or other graphic material included in any report, being intended solely as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys, unless otherwise noted in the report. Any reproductions of graphs material or the work product of any other persons is intended solely for the purpose of clarification and ease of reference. Inclusion of said information does not constitute a representation by Advanced Tree Care or the consultant as to the sufficiency or accuracy of that information.



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT E



Spanish fir tree
17.4-inch dbh

Location: 37.4622, -122.1695

Date: Apr 19, 2021 03:17:20 PM PST



Spanish fir tree
17.4-inch dbh

Location: 37.4622, -122.1695

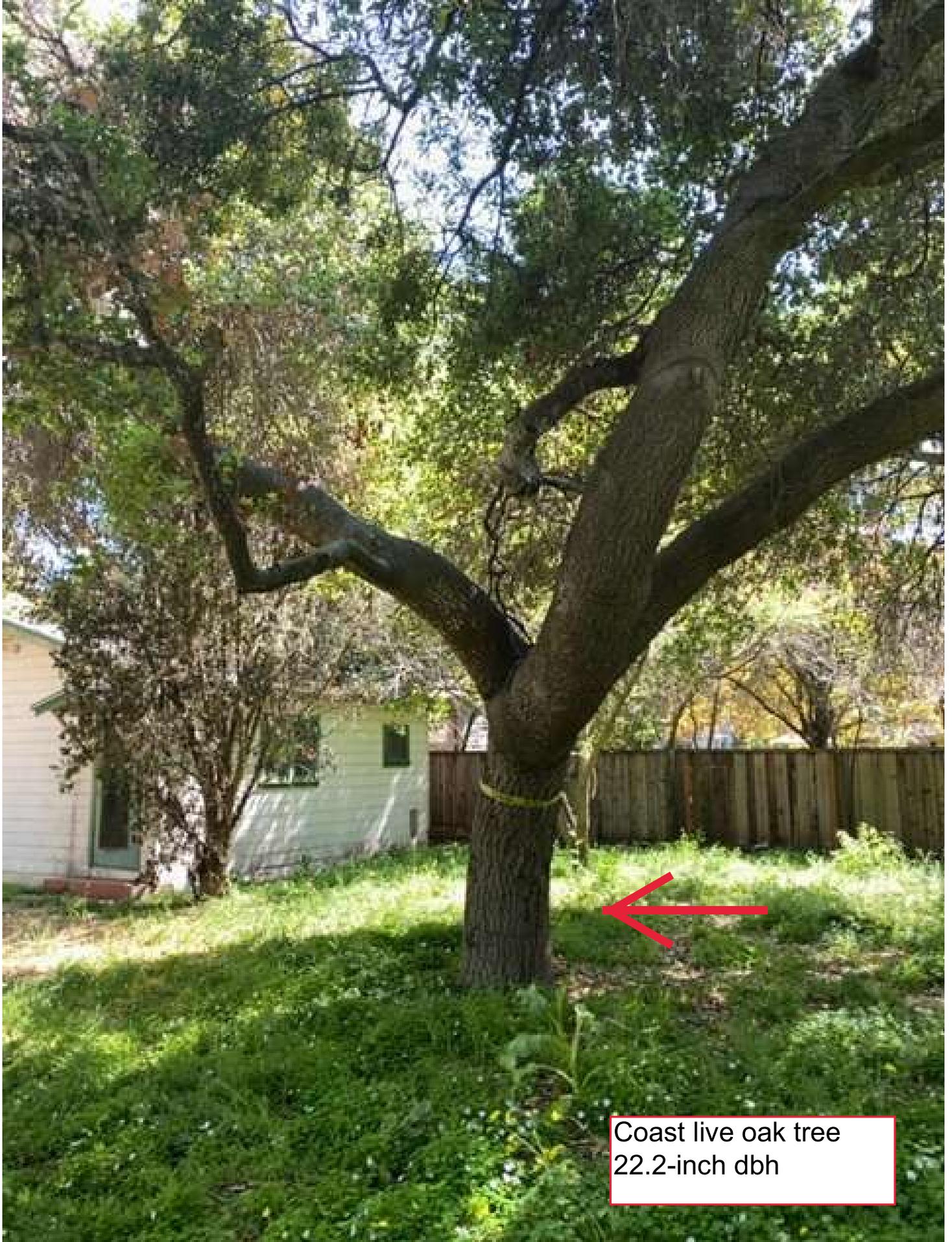
Date: Apr 19, 2021 03:17:43 PM PST



Coast live oak tree
22.2-inch dbh

Location: 37.4625, -122.1698

Date: Apr 19, 2021 03:20:15 PM PST



Coast live oak tree
22.2-inch dbh

Location: 37.4626, -122.1699

Date: Apr 19, 2021 03:22:12 PM PST



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT F



tekive design

627 Gained Street
Menlo Park, CA 94025
415.526.0932
pearl@tekivedesign.com

NEW RESIDENCE
383 ARLINGTON WAY
MENLO PARK, CA 94025
APN 062-262-040

revisions
3/10/22 permit submitted
3/10/22 plan check comments

title
tree protection plan

version
CD.R1

scale
1/8" = 1'-0"

job
2006

date
2021.01.15

sheet
A0.3

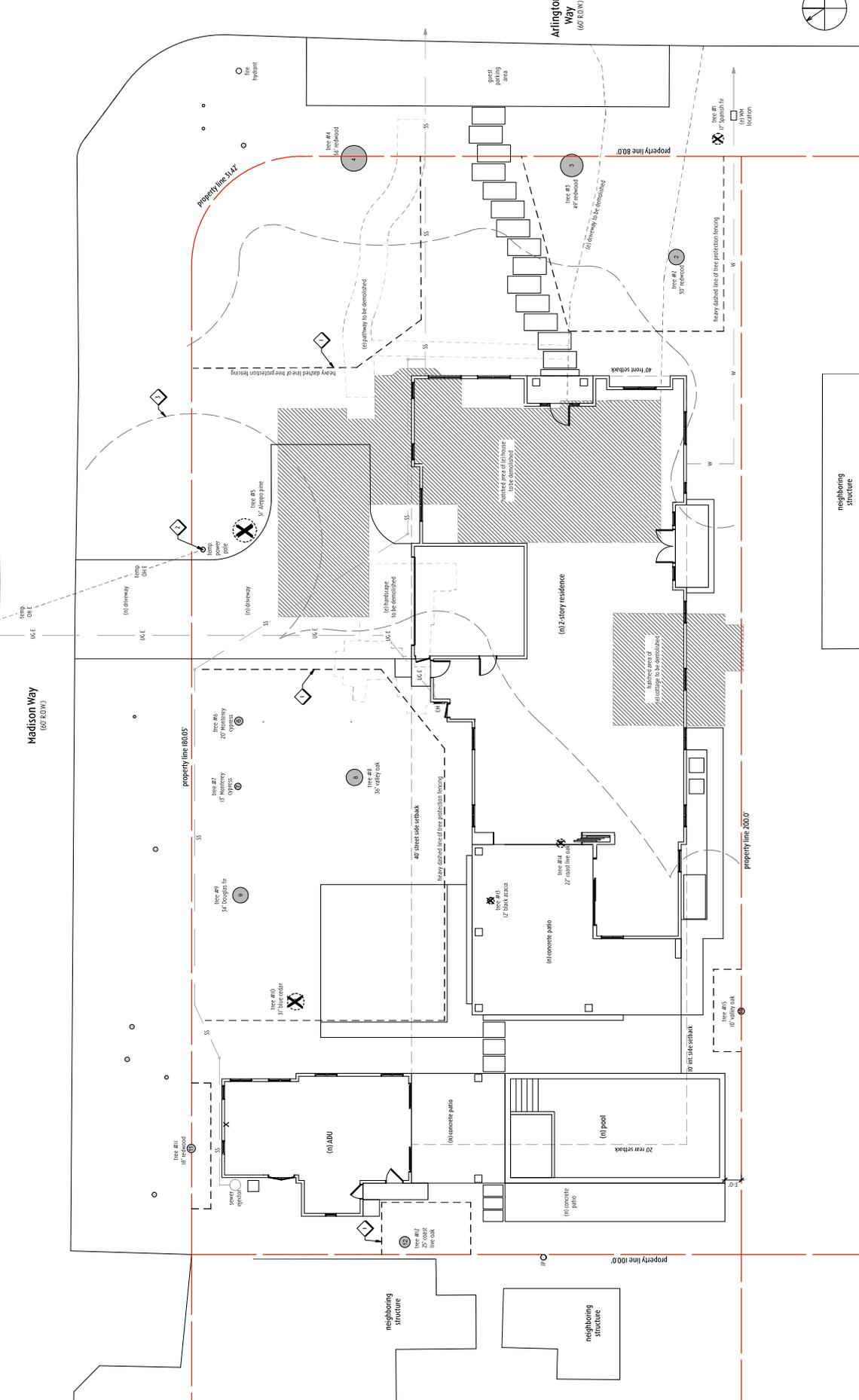


key notes

- Tree protection fencing to be 4' tall metal chain link supported by metal 4" dia poles, pounded into the ground no less than 2' deep. See almost report for additional info.
- Tree protection fence to be 4' high and 4' wide. See almost report for additional info.
- Temporary power pole.
- Long 8' x 4' framed fence indicate approximate location of tree canopy per survey.

significant trees		common name	
#	DBH	genus & species	common name
1	17.4	<i>Albizia julibrissin</i>	Spanish fir
2	30.0	<i>Sequoia sempervirens</i>	coast redwood
3	48.7	<i>Sequoia sempervirens</i>	coast redwood
4	36.0	<i>Sequoia sempervirens</i>	coast redwood
5	51.3	<i>Pinus halepensis</i>	Aleppo pine
6	19.6	<i>Cupressus macrocarpa</i>	Monterey cypress
7	15.1	<i>Quercus lobata</i>	Monterey sycamore
8	36.1	<i>Quercus lobata</i>	valley oak
9	33.6	<i>Podocarpus neriifolia</i>	Douglas fir
10	20.0	<i>Castanea sativa</i>	hedge hedge

marked to be removed



neighboring structure

neighboring structure



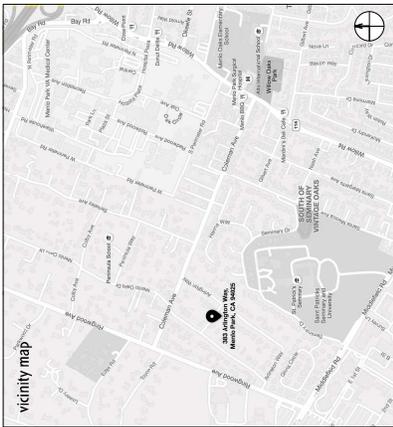
COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT G

project title

NEW RESIDENCE

383 ARLINGTON WAY, MENLO PARK



general notes

- These drawings are complete unless bearing the seal and shall not be used in any other project without written consent.
- Contractor shall verify all dimensions, site conditions, and utility locations before construction. The general contractor shall verify all dimensions, site conditions, and utility locations before construction. The general contractor shall verify all dimensions, site conditions, and utility locations before construction. The general contractor shall verify all dimensions, site conditions, and utility locations before construction.
- Should an error appear in the drawings or specifications, or in work done by others affecting this work, notify the design professional in writing. If the design professional, the contractor shall make good any resulting damage or defect.
- The general contractor, in accordance with generally accepted construction practices, shall be responsible for the coordination of all construction activities and shall obtain all necessary permits and approvals. The contractor shall obtain all necessary permits and approvals. The contractor shall obtain all necessary permits and approvals.
- No portion of the work shown in this drawing or specification shall be construed as a contract. The contract documents shall govern. The contract documents shall govern. The contract documents shall govern.
- Require 402 mechanical ventilation. Minimum energy build-out. Building envelope shall be tested for air leakage. Building envelope shall be tested for air leakage. Building envelope shall be tested for air leakage.

project information

632-242-040
 8-12-10
 W-B
 R-15-1000
 407
 20
 10
 10784 sf
 4665 sf
 4005 sf
 3665 sf
 2309 sf
 323 sf
 5974 sf
 4995 sf

project description

- Demolish (e) single-story single-family residence and detached garage.
- Construct (n) two-story single-family residence with 2-car attached garage.
- Construct (n) in-basement accessory dwelling unit.
- Roof trusses (e) eaves (e) eaves (e) eaves.
- Install NFA-ID fire sprinkler system throughout residence, attached garage, and ADU (separate plans & permit).
- New swimming pool (separate plans & permit).
6. New swimming pool (separate plans & permit).
- All installed on main house (separate plans & permit).

project contacts

owner
 4855 Camino del Rio
 San Diego, CA 92108
 contact: Sam Sharma
 619-594-1111

civil engineer
 333 S. Bascom Ave.
 San Jose, CA 95128
 contact: Kevin Ballou
 408-933-8888

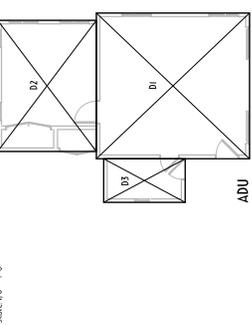
landscape architect
 Energy Lens Landscape Architect
 1000 S. Bascom Ave.
 San Jose, CA 95128
 contact: Sam Sharma
 408-933-8888

mechanical engineer
 297 Alta Via Drive
 San Jose, CA 95128
 contact: Scott Barrett
 408-324-4000

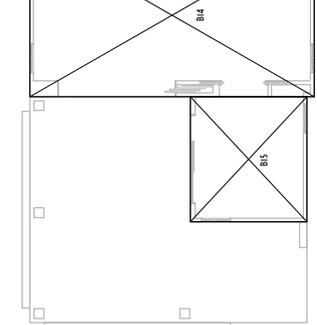
electrical engineer
 297 Alta Via Drive
 San Jose, CA 95128
 contact: Scott Barrett
 408-324-4000

title 24 consultant
 297 Alta Via Drive
 San Jose, CA 95128
 contact: Scott Barrett
 408-324-4000

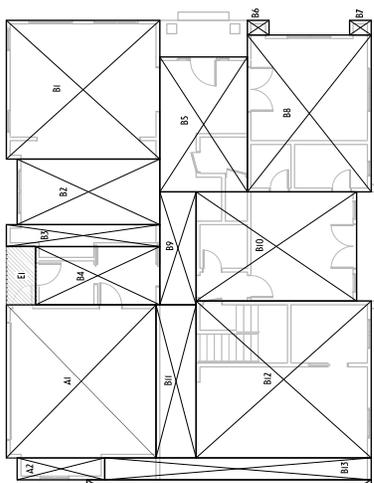
floor area blockout plans



ADU



first floor



second floor

floor area tabulation

NO.	DESCRIPTION	AREA (SQ. FT.)	TOTAL
1	2.00 x 12.00	24.00	24.00
2	8.00 x 12.00	96.00	120.00
3	8.00 x 12.00	96.00	216.00
4	8.00 x 12.00	96.00	312.00
5	8.00 x 12.00	96.00	408.00
6	8.00 x 12.00	96.00	504.00
7	8.00 x 12.00	96.00	600.00
8	8.00 x 12.00	96.00	696.00
9	8.00 x 12.00	96.00	792.00
10	8.00 x 12.00	96.00	888.00
11	8.00 x 12.00	96.00	984.00
12	8.00 x 12.00	96.00	1080.00
13	8.00 x 12.00	96.00	1176.00
14	8.00 x 12.00	96.00	1272.00
15	8.00 x 12.00	96.00	1368.00
16	8.00 x 12.00	96.00	1464.00
17	8.00 x 12.00	96.00	1560.00
18	8.00 x 12.00	96.00	1656.00
19	8.00 x 12.00	96.00	1752.00
20	8.00 x 12.00	96.00	1848.00
21	8.00 x 12.00	96.00	1944.00
22	8.00 x 12.00	96.00	2040.00
23	8.00 x 12.00	96.00	2136.00
24	8.00 x 12.00	96.00	2232.00
25	8.00 x 12.00	96.00	2328.00
26	8.00 x 12.00	96.00	2424.00
27	8.00 x 12.00	96.00	2520.00
28	8.00 x 12.00	96.00	2616.00
29	8.00 x 12.00	96.00	2712.00
30	8.00 x 12.00	96.00	2808.00
31	8.00 x 12.00	96.00	2904.00
32	8.00 x 12.00	96.00	3000.00
33	8.00 x 12.00	96.00	3096.00
34	8.00 x 12.00	96.00	3192.00
35	8.00 x 12.00	96.00	3288.00
36	8.00 x 12.00	96.00	3384.00
37	8.00 x 12.00	96.00	3480.00
38	8.00 x 12.00	96.00	3576.00
39	8.00 x 12.00	96.00	3672.00
40	8.00 x 12.00	96.00	3768.00
41	8.00 x 12.00	96.00	3864.00
42	8.00 x 12.00	96.00	3960.00
43	8.00 x 12.00	96.00	4056.00
44	8.00 x 12.00	96.00	4152.00
45	8.00 x 12.00	96.00	4248.00
46	8.00 x 12.00	96.00	4344.00
47	8.00 x 12.00	96.00	4440.00
48	8.00 x 12.00	96.00	4536.00
49	8.00 x 12.00	96.00	4632.00
50	8.00 x 12.00	96.00	4728.00
51	8.00 x 12.00	96.00	4824.00
52	8.00 x 12.00	96.00	4920.00
53	8.00 x 12.00	96.00	5016.00
54	8.00 x 12.00	96.00	5112.00
55	8.00 x 12.00	96.00	5208.00
56	8.00 x 12.00	96.00	5304.00
57	8.00 x 12.00	96.00	5400.00
58	8.00 x 12.00	96.00	5496.00
59	8.00 x 12.00	96.00	5592.00
60	8.00 x 12.00	96.00	5688.00
61	8.00 x 12.00	96.00	5784.00
62	8.00 x 12.00	96.00	5880.00
63	8.00 x 12.00	96.00	5976.00
64	8.00 x 12.00	96.00	6072.00
65	8.00 x 12.00	96.00	6168.00
66	8.00 x 12.00	96.00	6264.00
67	8.00 x 12.00	96.00	6360.00
68	8.00 x 12.00	96.00	6456.00
69	8.00 x 12.00	96.00	6552.00
70	8.00 x 12.00	96.00	6648.00
71	8.00 x 12.00	96.00	6744.00
72	8.00 x 12.00	96.00	6840.00
73	8.00 x 12.00	96.00	6936.00
74	8.00 x 12.00	96.00	7032.00
75	8.00 x 12.00	96.00	7128.00
76	8.00 x 12.00	96.00	7224.00
77	8.00 x 12.00	96.00	7320.00
78	8.00 x 12.00	96.00	7416.00
79	8.00 x 12.00	96.00	7512.00
80	8.00 x 12.00	96.00	7608.00
81	8.00 x 12.00	96.00	7704.00
82	8.00 x 12.00	96.00	7800.00
83	8.00 x 12.00	96.00	7896.00
84	8.00 x 12.00	96.00	7992.00
85	8.00 x 12.00	96.00	8088.00
86	8.00 x 12.00	96.00	8184.00
87	8.00 x 12.00	96.00	8280.00
88	8.00 x 12.00	96.00	8376.00
89	8.00 x 12.00	96.00	8472.00
90	8.00 x 12.00	96.00	8568.00
91	8.00 x 12.00	96.00	8664.00
92	8.00 x 12.00	96.00	8760.00
93	8.00 x 12.00	96.00	8856.00
94	8.00 x 12.00	96.00	8952.00
95	8.00 x 12.00	96.00	9048.00
96	8.00 x 12.00	96.00	9144.00
97	8.00 x 12.00	96.00	9240.00
98	8.00 x 12.00	96.00	9336.00
99	8.00 x 12.00	96.00	9432.00
100	8.00 x 12.00	96.00	9528.00
101	8.00 x 12.00	96.00	9624.00
102	8.00 x 12.00	96.00	9720.00
103	8.00 x 12.00	96.00	9816.00
104	8.00 x 12.00	96.00	9912.00
105	8.00 x 12.00	96.00	10008.00
106	8.00 x 12.00	96.00	10104.00
107	8.00 x 12.00	96.00	10200.00
108	8.00 x 12.00	96.00	10296.00
109	8.00 x 12.00	96.00	10392.00
110	8.00 x 12.00	96.00	10488.00
111	8.00 x 12.00	96.00	10584.00
112	8.00 x 12.00	96.00	10680.00
113	8.00 x 12.00	96.00	10776.00
114	8.00 x 12.00	96.00	10872.00
115	8.00 x 12.00	96.00	10968.00
116	8.00 x 12.00	96.00	11064.00
117	8.00 x 12.00	96.00	11160.00
118	8.00 x 12.00	96.00	11256.00
119	8.00 x 12.00	96.00	11352.00
120	8.00 x 12.00	96.00	11448.00
121	8.00 x 12.00	96.00	11544.00
122	8.00 x 12.00	96.00	11640.00
123	8.00 x 12.00	96.00	11736.00
124	8.00 x 12.00	96.00	11832.00
125	8.00 x 12.00	96.00	11928.00
126	8.00 x 12.00	96.00	12024.00
127	8.00 x 12.00	96.00	12120.00
128	8.00 x 12.00	96.00	12216.00
129	8.00 x 12.00	96.00	12312.00
130	8.00 x 12.00	96.00	12408.00
131	8.00 x 12.00	96.00	12504.00
132	8.00 x 12.00	96.00	12600.00
133	8.00 x 12.00	96.00	12696.00
134	8.00 x 12.00	96.00	12792.00
135	8.00 x 12.00	96.00	12888.00
136	8.00 x 12.00	96.00	12984.00
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143	8.00 x 12.00	96.00	13656.00
144	8.00 x 12.00	96.00	13752.00
145	8.00 x 12.00	96.00	13848.00
146	8.00 x 12.00	96.00	13944.00
147	8.00 x 12.00	96.00	14040.00
148	8.00 x 12.00	96.00	14136.00
149	8.00 x 12.00	96.00	14232.00
150	8.00 x 12.00	96.00	14328.00
151	8.00 x 12.00	96.00	14424.00
152	8.00 x 12.00	96.00	14520.00
153	8.00 x 12.00	96.00	14616.00
154	8.00 x 12.00	96.00	14712.00
155	8.00 x 12.00	96.00	14808.00
156	8.00 x 12.00	96.00	14904.00
157	8.00 x 12.00	96.00	15000.00
158	8.00 x 12.00	96.00	15096.00
159	8.00 x 12.00	96.00	15192.00
160	8.00 x 12.00	96.00	15288.00
161	8.00 x 12.00	96.00	15384.00
162	8.00 x 12.00	96.00	15480.00
163	8.00 x 12.00	96.00	15576.00
164	8.00 x 12.00	96.00	15672.00
165	8.00 x 12.00	96.00	15768.00
166	8.00 x 12.00	96.00	15864.00
167	8.00 x 12.00	96.00	15960.00
168	8.00 x 12.00	96.00	16056.00
169	8.00 x 12.00	96.00	16152.00
170	8.00 x 12.00	96.00	16248.00
171	8.00 x 12.00	96.00	16344.00
172	8.00 x 12.00	96.00	16440.00
173	8.00 x 12.00	96.00	16536.00
174	8.00 x 12.00	96.00	16632.00
175	8.00 x 12.00	96.00	16728.00
176	8.00 x 12.00	96.00	16824.00
177	8.00 x 12.00	96.00	16920.00
178	8.00 x 12.00	96.00	17016.00
179	8.00 x 12.00	96.00	17112.00
180	8.00 x 12.00	96.00	17208.00
181	8.00 x 12.00	96.00	17304.00
182	8.00 x 12.00	96.00	17400.00
183	8.00 x 12.00	96.00	17496.00
184	8.00 x 12.00	96.00	17592.00
185	8.00 x 12.00	96.00	17688.00
186	8.00 x 12.00	96.00	17784.00
187	8.00 x 12.00	96.00	17880.00
188	8.00 x 12.00	96.00	17976.00
189	8.00 x 12.00	96.00	18072.00
190	8.00 x 12.00	96.00	18168.00
191	8.00 x 12.00	96.00	18264.00
192	8.00 x 12.00	96.00	18360.00
193	8.00 x 12.00	96.00	18456.00
194	8.00 x 12.00	96.00	18552.00
195	8.00 x 12.00	96.00	18648.00
196	8.00 x 12.00	96.00	18744.00
197	8.00 x 12.00	96.00	18840.00
198	8.00 x 12.00	96.00	18936.00
199	8.00 x 12.00	96.00	19032.00
200	8.00 x 12.00	96.00	19128.00
201	8.00 x 12.00	96.00	19224.00
202	8.00 x 12.00	96.00	19320.00
203	8.00 x 12.00	96.00	19416.00
204	8.00 x 12.00	96	



tekive design

627 United Street
Menlo Park, CA 94025
415.326.9332
pearl@tekivedesign.com



NEW RESIDENCE
383 ARLINGTON WAY
MENLO PARK, CA 94025
APN: 062-262-040

revisions

title

site plan

version

CD

scale

1/8" = 1'-0"

job

2006

date

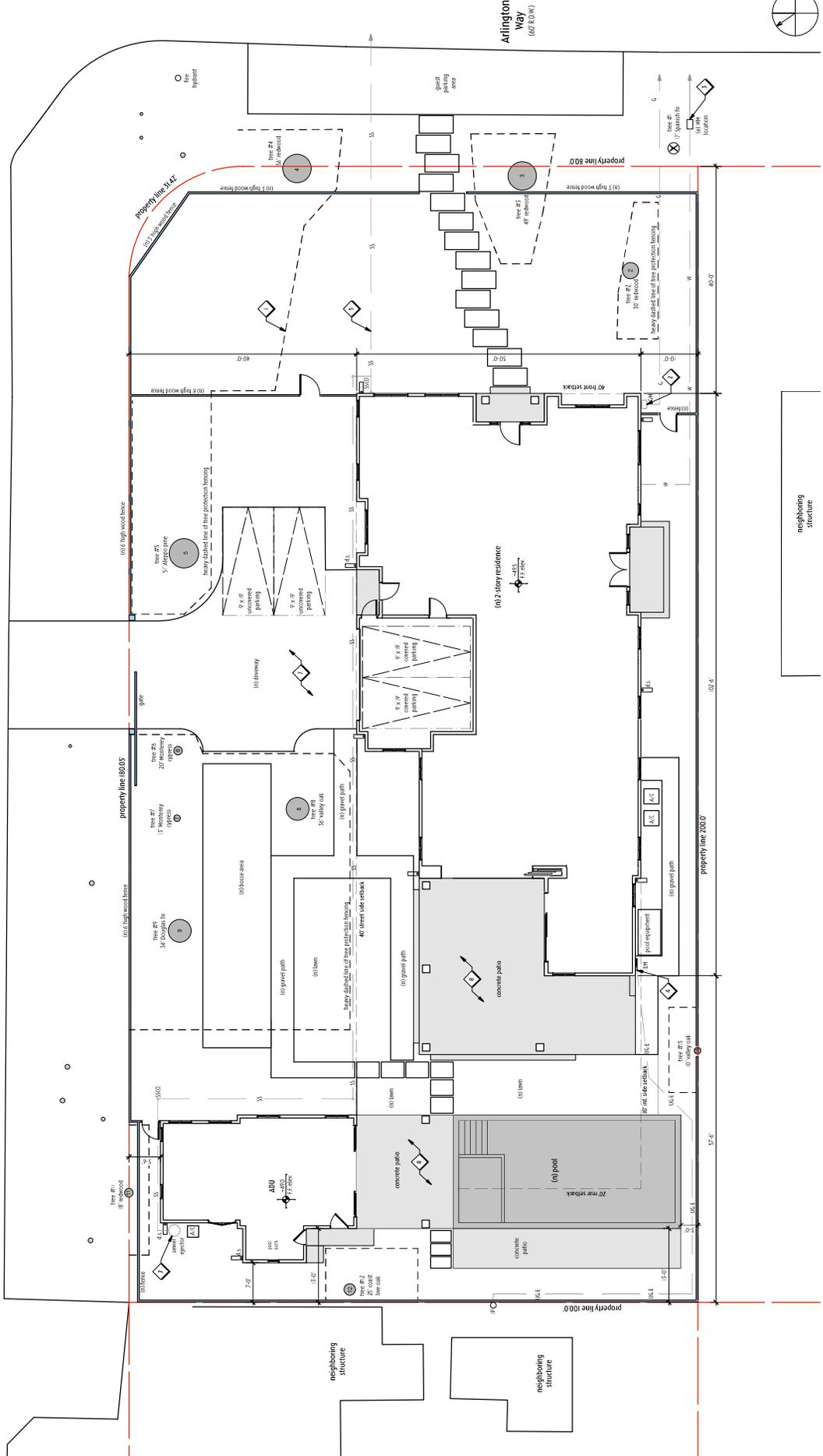
2020.10.23

sheet

AI.1

- key notes**
1. Tree protection fencing to be 4' tall metal chain link supported by posts 2' deep. See sheet 01 for additional info. Posts to be installed in a staggered pattern. See sheet 01 for additional info.
 2. New gas meter and new gas line. Contractor to coordinate with PG&E.
 3. New water meter and hot/cold water preparation device.
 4. New 400V electrical meter & main disconnect with underground electrical service.
 5. New sanitary sewer lateral, install flow diameter on property. V18 location.
 6. See sheet 01 for additional information on utility V18 location.
 7. New concrete driveway.
 8. New concrete patio.

Madison Way
(60' R.O.W.)



neighboring structure

neighboring structure



**tektive
design**

625 Gimes Street
Menlo Park, CA 94025
415.329.0932
pearl@tektivedesign.com



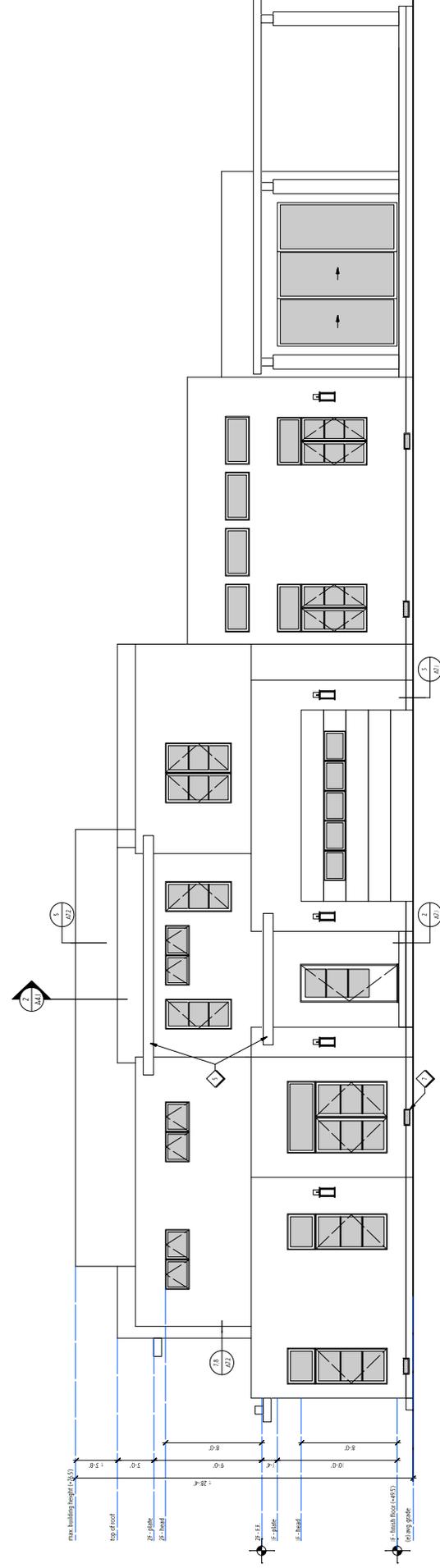
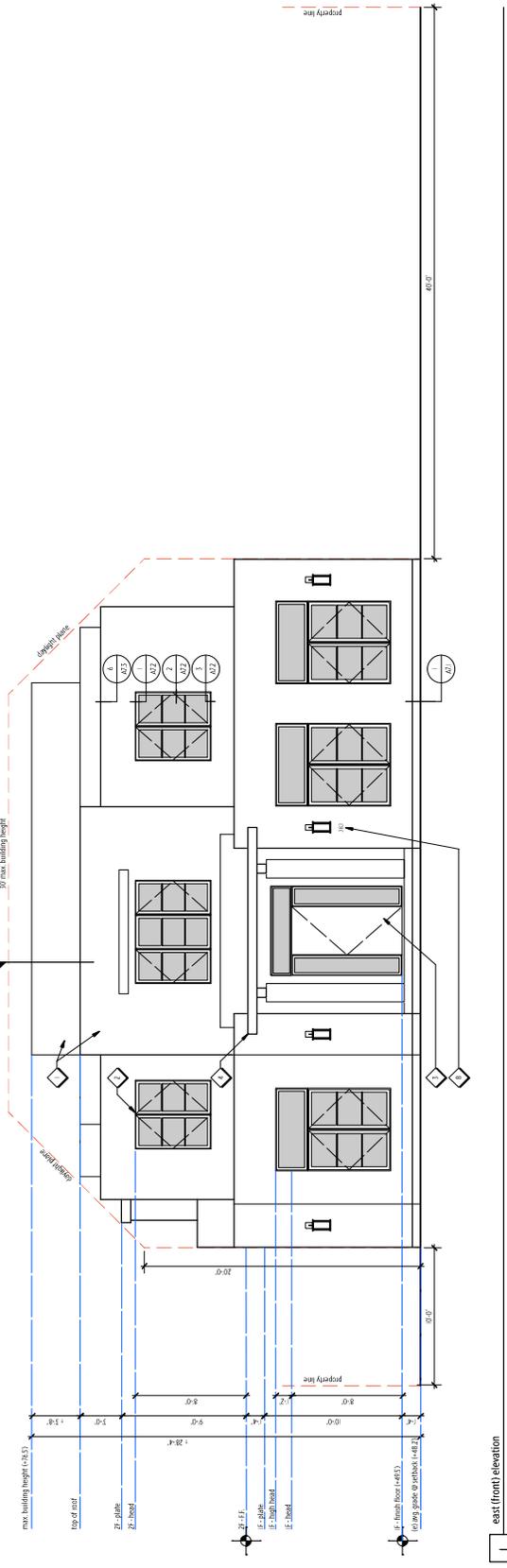
NEW RESIDENCE
383 ARLINGTON WAY
MENLO PARK, CA 94025
APN: 062-262-040

revisions

title	front & street side elevations
version	01
scale	1/4" = 1'-0"
job	2006
date	2020.10.23
sheet	A3.1

10/27/20 2:00 PM C:\PROJECTS\2006\A3.1.dwg

- KEY NOTES**
1. Scaled errors will finish 1 month, 15' above over min.
 2. Figure grade & building paper per GC 87032A.
 3. Use wood windows.
 4. Use wood trim.
 5. Use wood mullion beams.
 6. Use wood mullion beams.
 7. Primer metal frame space w/pt.
 8. Primer metal frame space w/pt.
 9. Primer metal frame space w/pt.
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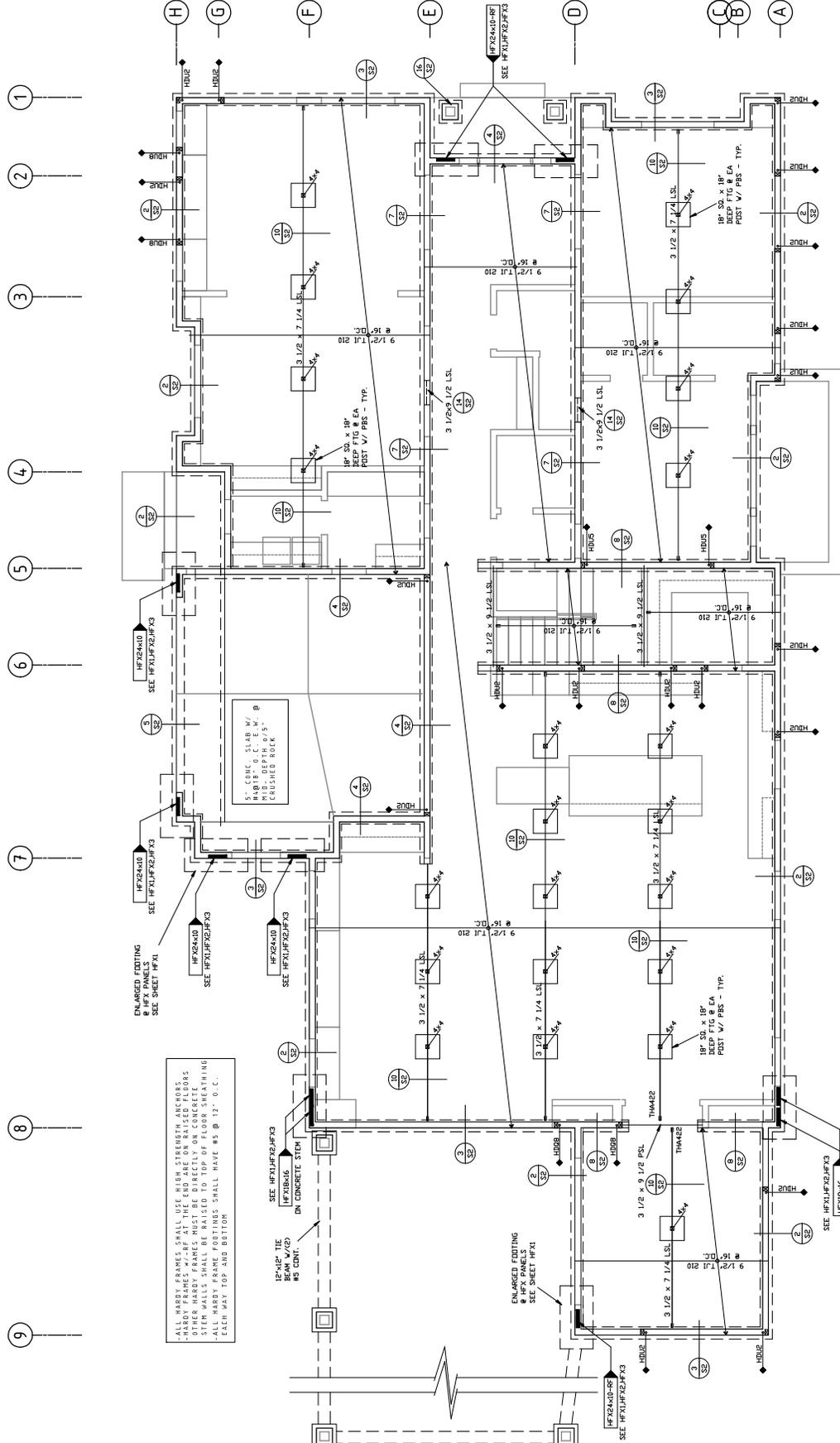


NEW RESIDENCE
383 Arlington Way
San Mateo County

REVISIONS	DATE	INITIAL	ISSUE
1	10-23-20		INITIAL ISSUE

SCALE: 1/4" = 1'-0"

SHEET
S5



ALL WOOD FRAMES SHALL USE HIGH STRENGTH ANCHORS. OTHER HARDY FRAMES MUST BE DIRECTLY ON CONCRETE. STEEL WALLS SHALL BE RAISED TO TOP OF FLOOR SHEATHING. HARDY FRAMES AND JOISTS SHALL HAVE #5 @ 12" O.C. EACH WAY TOP AND BOTTOM.

FOUNDATION PLAN



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT H

Application for Appeal **To the Planning Commission** **To the Board of Supervisors**

County Government Center • 455 County Center, 2nd Floor
 Redwood City • CA • 94063 • Mail Drop PLN 122
 Phone: 650 • 363 • 4161 Fax: 650 • 363 • 4849

Name: Judy HorstAddress: 945 Peninsula WayMenlo ParkPhone, W: 6504654666 H: _____Zip: 94024

Permit Numbers involved:

PLN2021-00032

I have read and understood the attached information regarding appeal process and alternatives.

 yes no

I hereby appeal the decision of the:

- Staff or Planning Director
 Zoning Hearing Officer
 Design Review Committee
 Planning Commission

Appellant's Signature:

Date:

made on March 18 2021, to approve/deny the above-listed permit applications.

Planning staff will prepare a report based on your appeal. In order to facilitate this, your precise objections are needed. For example: Do you wish the decision reversed? If so, why? Do you object to certain conditions of approval? If so, then which conditions and why?

We wish to have the decision of the Staff reversed for the specific trees listed below:

Tree #1 - Spanish Fir - This significant tree is in fair health and lives with Redwoods as part of a grove. Disrupting the grove could have negative consequences for the Redwoods. This tree is not in the way of any proposed construction. Our arborist states this tree's growth would not impact the Redwoods.

Tree #14 - Significant Coastal Oak - This tree is not in poor health, and is protected by the County's ordinance to preserve Significant & Heritage trees. On a large lot like this one, the developer should be required to design around the significant trees, in order to preserve them. If there is room in the plans for an ADU on the property, there should be room to preserve a significant Coastal Oak.

Non-Significant Tree Removal - We take issue with the developer arborist's approval to remove non-Significant trees on the property, some of which are juvenile oaks. Where the young oaks are in the setbacks, these oaks would be healthier/larger alternative to County-mandated 15 gal. replacements.