

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: March 17, 2022

TO: Zoning Hearing Officer

FROM: Planning Staff

SUBJECT: Consideration of a Use Permit Amendment pursuant to Section 6500, and Resource Management (RM) Permit, pursuant to Section 6313 of the San Mateo County Zoning Regulations, to allow a 4,110 sq. ft. three-classroom addition and 5,180 sq. ft. of decking, stairs and ADA ramps to an existing 3,644 sq. ft. private middle school and increase enrollment to a maximum of 90 students located at 201 Polhemus Road in the unincorporated San Mateo Highlands area of San Mateo County.

County File Number: PLN 2002-00650 (Odyssey School)

PROPOSAL

The applicant is proposing to amend the Use Permit and a Resource Management Permit for the campus expansion of a private middle school to construct three new classrooms, and increase maximum enrollment from 45 students, as currently allowed, to 90 students. The proposed development includes the removal of one (1) significant tree (17-inch diameter (dbh) Coast Live Oak) and approximately 50 cubic yards (cu. yds.) of grading.

RECOMMENDATION

That the Zoning Hearing Officer approve the Use Permit Amendment (County File Number PLN 2002-00650) and Resource Management Permit, by making the required findings and adopting the conditions of approval listed in Attachment A.

BACKGROUND

Report Prepared By: Bryan Albini, Project Planner; balbini@smcgov.org

Applicant/Owner: Christopher Brousseau, President, Board of Trustees, Odyssey School

Location: 201 Polhemus Road, San Mateo

APN: 038-131-020

Size: 3.182 acres

Existing Zoning: Resource Management (RM)

General Plan Designation: Open Space

Sphere-of-Influence: City of San Mateo

Existing Land Use: Private middle school

Water Supply: Existing water connection with California Water Service

Sewage Disposal: Existing sewer connection with Crystal Springs County Sanitation District

Flood Zone: Zone X (Area of Minimal Flooding), FEMA Flood Insurance Rate Map page 06081C0165E, effective date October 16, 2012.

Environmental Evaluation: A Mitigated Negative Declaration and Initial Study were prepared as required by California Environmental Quality Act (CEQA) Guidelines and circulated for comment. The comment period began on December 13, 2021 and ended on January 11, 2022. No comments were received.

Setting: The project site is located on the eastern side of Polhemus Road directly opposite the intersection with Crystal Springs Road. The adjacent land uses within a 1-mile circumference are predominantly single-family residential and Oak woodland open space. The subject parcel is a gently to steeply sloping irregularly shaped parcel located near the bottom of sloping hillside.

DISCUSSION

A. KEY ISSUES

1. Conformance with the General Plan

Staff has determined that the proposed project complies with all applicable County General Plan policies, specifically:

Policy 4.15 (*Appearance of New Development*) seeks to regulate development to promote and enhance good design, site relationships and other aesthetic considerations.

The Odyssey School's three classroom campus expansion uses materials and colors to blend in with the existing Oak woodland environment (see Attachment C) and has incorporated a post-and-beam foundation system to minimize the removal of significant trees and limit site disturbance. Specific use of wood composite siding for the new buildings reduces their overall

appearance, as seen from public views. The retention of the existing trees in front of the proposed building site will further screen the new school facilities from view.

Policy 8.15 (*Land Use Compatibility*) protects existing single-family residences from adjacent incompatible land use designations which would degrade the environmental quality and economic stability of the area.

The Odyssey School has been in continual operation at the subject property since 2003; the use permit amendment seeks to expand the existing school facilities with three new classroom buildings and increase maximum enrollment from 45 students to 90 students. The new facilities' design and construction is intended to further limit site disturbance and fit in to the rural setting. Surrounding residential properties are more than 400 feet from the school and are buffered by topography and Oak woodland vegetation.

Currently, there are 45 students and 4 full-time staff members and 4 part-time staff members. The proposed increase in enrollment to 90 students, also includes 12 total staff members consisting of teachers and administrative support staff. School activities will remain the same: with classroom sessions in the morning and afternoon, a 45-minute lunch break in between, and outdoor field studies off-site.

A traffic and circulation plan provided by the applicant (see Attachment D), shows that the increase in enrollment and staff will not significantly increase traffic activity during drop-off and pick-up times. The current parking-lot has one ADA van-accessible parking space and 12 parking spaces for visitors and staff. The proposed improvements will allow for an additional ADA van-accessible parking space in the rear drop-off area and four additional parking spaces for a total of two ADA van-accessible spaces and 15 parking spaces for staff and visitors. Morning drop-off trips are a combination of multi-family carpool and single-occupancy trips occurring between 7:30 am to 8:30 am. After school ends at 3:30 pm, vehicle trips are significantly less, as students either go immediately home, participate in off-site activities, or attend homework club until 6:00 pm. The school also continues to provide a van shuttle service for students from and to the train station to reduce the number of daily vehicle trips.

The school program emphasizes the natural and biological sciences. A continuing portion of the environmental education curriculum, the science and art classes, utilize the lower portions of the school property to do science inquiries, using gardening and environmental restoration projects to improve and maintain the grounds. The school continues to restrict the upper 50 feet of the parcel along the eastern boundary of the site from recreational activity, but allows science classes to be conducted there.

These activities do not generate significant noise levels. Conditions of approval limiting the operating hours of the school, the maximum number of students attending the school, and the area where the students are permitted during recreation time and will remain in order to reduce any possible impact to neighboring parcels.

2. Conformance with the Zoning District Regulations

This project has been reviewed against and found, as proposed and conditioned, to be in compliance with the Development Review Criteria as stipulated in Chapter 20A of the San Mateo County Zoning Regulations. Specifically, the project complies with the following criteria:

a. Development Review Criteria

The project parcel is zoned Resource Management (RM). The legal 3.182-acre parcel is currently improved with a 3,644 sq. ft. building approximate 13,150 sq. ft. parking lot with 12 parking spaces and one ADA van accessible parking space. As mentioned above, the applicant has proposed a 4,110 sq. ft. three-classroom addition and 5,180 sq. ft. of decking, stairs and ADA ramps to accommodate the school expansion. The proposed development will leave approximately 80% of the parcel free from alteration in a natural state. The proposed development meets building height and setback standards for the RM Zoning District as outlined in the tables below.

RM District Development Standards			
	Required	Existing	Proposed
Minimum Front Yard Setback	50 ft.	57 ft.	115 ft. 11 in.
Minimum Side Yard Setback	20 ft.	32 ft. (Left) 344 ft. (Right)	44 ft. 9 in. (Left) 265 ft. 7 in. (Right)
Minimum Rear Yard Setback	20 ft.	279 ft. 10 in.	201 ft. 3 in.
Maximum Building Height	36 ft.	19 ft.	34 ft. 4 in.

Section 6324.1 (Environmental Quality Criteria) seeks to minimize grading and adverse impacts on wildlife habitat areas. The school expansion area is limited to only the immediate area behind the existing school building. As mentioned in previous sections, the post and pier foundation markedly reduce the site disturbance and grading required for the necessary site improvements, while allowing for the

retention of the existing mature trees on the property. The remaining 80% of the 3-acre parcel will remain undisturbed.

Section 6324.2 (Site Design Criteria) seeks to ensure that development be sited and designed so that its presence is subordinate to the existing natural characteristics of the site, avoids substantially detracting from the scenic and visual quality of the County, and minimizes the impacts of light and glare on adjacent properties and the community-at-large. As shown in Attachment C, the design and materials proposed for the classroom addition incorporates natural colors and materials that would reduce any visual impacts as viewed from public roads. Additionally, all new exterior lighting has been conditioned to be downward facing lights that are dark sky compliant.

Section 6324.4 (Water Resources Criteria) seeks to minimize grading and changes in vegetative cover, manage surface water runoff, and implement erosion and sedimentation control processes to assure stability of downstream aquatic environments. As previously mentioned, the project will include minimal site disturbance and minimal removal of trees or major ground vegetation. Minimal new impervious surface resulting from the project would flow to undeveloped land and existing vegetation downslope and infiltrate into the ground. The project is not within a riparian habitat area or near any creek or stream.

B. COMPLIANCE WITH THE CONDITIONS OF THE LAST APPROVAL

The use permit's previous conditions of approval are assessed below regarding compliance, and whether the conditions should be retained or revised. Staff recommends that some conditions, as indicated, be dropped in instances where the condition (1) has been completed, or (2) is no longer deemed feasible or necessary by the responsible department.

1. The term of this use permit shall be for seven years, valid through August 3, 2024. An administrative review shall be conducted on the third anniversary from the date of this approval to ensure compliance with these conditions of approval. The applicant shall apply for administrative review by August 3, 2022. The applicant shall apply for a use permit renewal six months prior to expiration (January 3, 2024) or discontinue operations by August 3, 2024.

Compliance with Condition? Yes.

Recommend to Retain Condition? Yes, but modified to reflect the amended use permit term and administrative reviews as follows:

The term of this use permit shall be for seven years, valid through

March 17, 2029. An administrative review shall be conducted on the third anniversary from the date of this approval to ensure compliance with these conditions of approval. The applicant shall apply for administrative review by March 17, 2025. The applicant shall apply for a use permit renewal six months prior to expiration (September 17, 2028) or discontinue operations by March 17, 2029.

2. Any change in use or intensity shall require an amendment to the Use Permit. Amendment to this Use Permit requires an application for amendment, payment of applicable fees, and consideration at a public hearing.

Compliance with Condition? Yes.

Recommend to Retain Condition? Yes.

3. The hours of student operation shall be limited to 7:30 a.m. through 6:00 p.m., Monday through Friday. Twenty-four school functions per year (approximately two per month) are permitted Monday through Friday from 7:00 p.m. through 9:30 p.m. or Saturday noon through 4:00 p.m. or Sunday 4:00 through 7:00 p.m. Any proposed changes to this schedule, including the incidence or length of outdoor recess periods shall be reviewed and approved by the Community Development Director prior to being enacted.

Compliance with Condition? Yes.

Recommend to Retain Condition? Yes.

4. Students shall be prohibited from using the upper 50 feet of the parcel along the eastern boundary of the site, for recreational purposes or during recess periods. This area may be used under supervision for the conducting of science or art classes.

Compliance with Condition? Yes.

Recommend to Retain Condition? Yes.

5. The School will continue to provide a van shuttle service for the students from the train station in order to reduce the number of daily vehicular trips generated by the use.

Compliance with Condition? Yes.

Recommend to Retain Condition? Yes.

6. The existing trees, particularly in the front half of the parcel shall be retained in order to screen the development from public view. Removal of any tree with a diameter equal to or greater than 12 inches as measured 4.5 feet above the ground shall require a separate tree removal permit.

Compliance with Condition? Yes.

Recommend to Retain Condition? Yes, but modified to reflect the amended use permit term and administrative reviews as follows:

The existing trees, particularly in the front half of the parcel shall be retained in order to screen the development from public view. The removal of the one (1) Coast Live Oak (17-inch dbh), as proposed, associated with the construction of new school facilities, must be replaced with a 15-gallon size stock of Coast Live Oak or Valley Oak. Removal of additional trees is not authorized with this permit, and any tree with a diameter equal to or greater than 12 inches as measured 4.5 feet above the ground shall require a separate tree removal permit.

7. Any on-site lighting shall consist of low wattage down-facing lighting.

Compliance with Condition? Yes.

Recommend to Retain Condition? Yes, but modified to reflect the amended use permit term and administrative reviews as follows:

All exterior lighting shall be designed and located to confine direct rays to the subject property and prevent glare in the surrounding area. The applicant shall submit for review and approval a lighting plan and manufacturer "cut sheets" for all site lighting associated with school activity; all site lighting shall be 'dark sky compliant'.

C. REQUIRED USE PERMIT FINDINGS

Section 6315 of the San Mateo County Zoning Regulations, Resource Management District Regulations, (Permitted Uses) stipulates that schools may be allowed upon issuance of a use permit. The required findings are as follows:

1. *That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in said neighborhood.*

Staff has determined that the project meets with the intent of the Resource Management District Regulations and use permit requirements because the facility and its proposed three-classroom expansion, maintains the scenic value and semi-rural character of the surrounding land, and that the

applicant has met all the previous conditions regarding traffic flow, noise and hours of operation. Staff has reviewed the file and finds no comments or correspondence to the contrary.

D. ENVIRONMENTAL REVIEW

A Mitigated Negative Declaration and Initial Study were prepared as required by Guidelines and circulated for comment. The comment period began on December 13, 2021 and ended on January 11, 2022. No comments were received. Mitigation measures for the protection of natural and cultural resources have been included in the conditions of approval in Attachment A. (CEQA).

E. REVIEWING AGENCIES

REVIEWING AGENCY	RECOMMENDATION	CONDITIONS
Building Section	Approval	See Attachment A
Public Works Department	Approval	See Attachment A
Cal-Fire	Approval	See Attachment A
Highlands Community Association	No comment received	

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Project Plans
- D. Traffic Circulation Plan (Existing & Proposed)

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2002-00650

Hearing Date: March 17, 2022

Prepared By: Bryan Albini, Project Planner

For Adoption By: Zoning Hearing Officer

RECOMMENDED FINDINGS

For the Environmental Review, Find:

1. A Mitigated Negative Declaration and Initial Study were prepared as required by California Environmental Quality Act Guidelines and circulated for comment. The comment period began on December 13, 2021 and ended on January 11, 2022. No comments were received. Mitigation measures for the protection of natural and cultural resources have been included in the conditions of approval.

For the Use Permit Amendment, Find:

2. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood, as the site is not located within the Coastal Zone and the proposed project generates negligible impacts on adjacent parcels and the surrounding neighborhood. The facility and its proposed three-classroom expansion maintains the scenic value of the surrounding rural setting, and that the applicant has met all the previous conditions regarding traffic flow, noise and hours of operation.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal, documents, and plans described in this report and submitted to and approved by the Zoning Hearing Officer on March 17, 2022. The Community Development Director may approve minor revisions or modifications to the project if they are consistent with the intent of and in substantial conformance with this approval.

2. The term of this use permit shall be for seven years, valid through March 17, 2029. An administrative review shall be conducted on the third anniversary from the date of this approval to ensure compliance with these conditions of approval. The applicant shall apply for administrative review by March 17, 2025. The applicant shall apply for a use permit renewal six months prior to expiration (September 17, 2028) or discontinue operations by March 17, 2029.
3. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section. Additionally, construction shall not commence until a valid building permit is issued.
4. All exterior lighting shall be designed and located to confine direct rays to the subject property and prevent glare in the surrounding area. The applicant shall submit for review and approval a lighting plan and manufacturer “cut sheets” for all site lighting associated with school activity; all site lighting shall be ‘dark sky compliant’.
5. The applicant shall require construction contractors to implement all the Bay Area Air Quality Management District’s Basic Construction Mitigation Measures, listed below:
 - a. Water all active construction areas at least twice daily.
 - b. Apply water two times daily or apply (non-toxic) soil stabilizers on all unpaved access roads, parking, and staging areas at construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
 - c. Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
 - d. Limit traffic speeds on unpaved roads within the project parcel to 15 miles per hour.
 - e. All construction equipment shall be maintained and properly tuned in accordance with manufacturers’ specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
 - f. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of the California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.

6. The applicant shall submit a plan to the Planning and Building Department prior to the commencement of work that at a minimum includes applicable “Basic Construction Mitigation Measures” as listed in Table 8-2 of the BAAQMD CEQA Guidelines (May 2017). These measures shall be implemented prior to beginning any project related work and shall be maintained for the duration of the project activities:
 - a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
 - b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
 - c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
 - d. All vehicle speeds on unpaved roads shall be limited to 15 mph.
 - e. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - f. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
 - g. All construction equipment shall be maintained and properly tuned in accordance with manufacturer’s specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
 - h. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District’s phone number shall also be visible to ensure compliance.
7. Protocol-level surveys should be conducted during the bloom period, or when the target species are readily identifiable. This would require two surveys: one in May, and one in July to October. If special-status plant species are encountered within the expansion area during surveys, adherence to Mitigation Measures 5, 6, and 7, listed below would be needed to reduce impacts to these species to less than significant.

8. If the surveys determine that one or more special-status plant species are present within the expansion area, direct and indirect impacts of the Project on the species should be avoided where feasible through the establishment of activity exclusion zones, where no ground-disturbing activities will take place, including construction staging or other temporary work areas. Activity exclusion zones for special-status plant species should be established prior to activities around each occupied habitat site, the boundaries of which should be clearly marked with standard orange plastic construction exclusion fencing or its equivalent. The size of activity exclusion zones may be determined through consultation with a qualified biologist.
9. If exclusion zones and avoidance of impacts to special-status species within the expansion area are not feasible, then the loss of individuals or occupied habitat of special-status plants should be compensated for through the acquisition, protection, and subsequent management of existing occurrences. Before the implementation of compensation measures, the Project's applicant should provide detailed information to the lead agency on the quality of preserved habitat, location of the preserved occurrences, provisions for protecting and managing the areas, the responsible parties involved, and other pertinent information that demonstrates the feasibility of the compensation. A mitigation plan identifying appropriate mitigation ratios at a minimum ratio of 1:1 should be developed in consultation with, and approved by, the lead agency prior to the commencement of any activities that would impact special-status plant species that occur within the expansion area. A mitigation plan may include but is not limited to the following: transplantation of perennial species and/or reseeding of annual species in other suitable portions of the Study Area, the acquisition of off-site mitigation areas presently supporting the special-status species within the expansion area, purchase of credits in a mitigation bank that is approved to sell credits for special-status plants, or payment of in-lieu fees to a public agency or conservation organization (e.g., a local land trust) for the preservation and management of existing populations of special-status plants. Transplantation and/or reseeding of special-status species will require a monitoring plan to ensure successful establishment.
10. In addition to these measures, if pre-construction surveys find that San Mateo woolly sunflower or white-rayed pentachaeta are present within the expansion area or access routes and cannot be avoided, consultation may be required with U.S. Fish and Wildlife Service to assess impacts to these listed species. Consultation may result in additional conservation measures to further reduce any imposed effects resulting from building activities at the time of construction. Impacts to these species will also require consultation with CDFW to obtain an Incidental Take Permit. If these species are found to be absent, formal consultation would not be required.
11. For the trees removed, a replacement tree of the same or similar species shall be planted on the property prior to building permit final. Replacement of trees

removed shall be with plantings of trees acceptable to the Community Development Director (San Mateo Ordinance Code Section 12,024(a)).

12. In the event that cultural, paleontological, or archaeological resources be encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director for review and approval a report of the findings and methods of curation or protection of the resources. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).
13. In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.
14. In the event that tribal cultural resources are inadvertently discovered during project implementation, consultation with the affiliated Native American tribe shall be made prior to continuing any work associated with the project to ensure the resource is treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.
15. In the event of discovery or recognition of any human remains during project construction, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains. The applicant shall then immediately notify the County Coroner's Office and possibly the State Native American Heritage Commission to seek recommendations from a Most Likely Descendant (Tribal Contact) before any further action at the location of the find can proceed. All contractors and sub-contractors shall be made aware of these requirements and shall adhere to all applicable laws including State Cultural Preservation laws. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).
16. During project construction, the applicant shall, pursuant to Chapter 4.100 of the San Mateo County Ordinance Code, minimize the transport and discharge of

stormwater runoff from the construction site into storm drain systems and water bodies by:

- a. Using filtration materials on storm drain covers to remove sediment from dewatering effluent.
 - b. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30.
 - c. Removing spoils promptly, and avoiding stockpiling of fill materials, when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
 - d. Storing, handling, and disposing of construction materials and wastes so as to avoid their entry to the storm drain system or water body.
 - e. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in an area designated to contain and treat runoff.
 - f. Limiting and timing application of pesticides and fertilizers to avoid polluting runoff.
 - g. Limiting construction access routes and stabilization of designated access points.
 - h. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - i. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
 - j. Additional Best Management Practices in addition to those shown on the plans may be required by the building inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - k. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
17. Prior to the issuance of the building permit, the applicant shall have:
- a. Drainage report prepared and stamped by a registered Civil Engineer conforming to the County's drainage requirements at that time (current guidance available: <https://planning.smcgov.org/drainage-manual>) and any

requirements under Section C.3 of the municipal regional permit, if applicable.

- b. Final grading and drainage plan that includes the required drainage measures and the results from the August 2019 (or more recent) survey, including the location of the sanitary sewer line through the project area and noting the existence of the storm drain rip rap dissipators at the storm drain system outlets. If these dissipators are in poor condition or missing they should be rebuilt.
 - c. Final C.3 and C.6 Development Review Checklist.
18. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo Ordinance Code Section 4.88.360).

Building Section

19. A valid building permit shall be issued prior to the commencement of any work.

Department of Public Works

20. Prior to the issuance of the Building permit or Planning permit (for Provision C3 Regulated Projects), the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.
21. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
22. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.

23. Applicant shall identify all available parking for staff. It should be noted that any future increase in number of students and staff requires additional review and may need a traffic impact analysis.

Cal-Fire

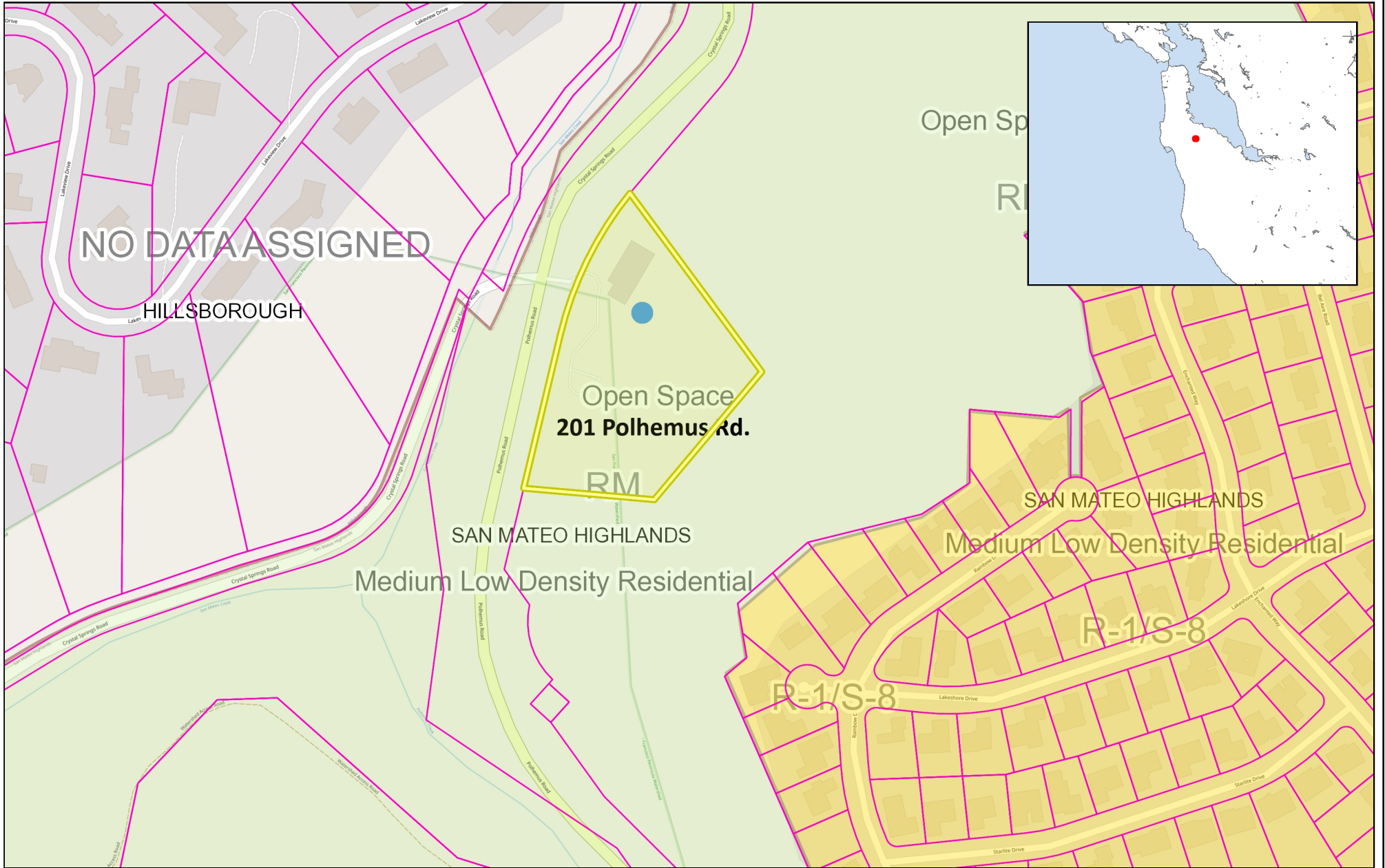
24. Fire Department access shall be to within 150 ft. of all exterior portions of the facility and all portions of the exterior walls of the first story of the buildings as measured by an approved access route around the exterior of the building or facility. Access shall be a minimum of 20 ft. wide, all weather capability, and able to support a fire apparatus weighing 75,000 lbs. Where a fire hydrant is located in the access, a minimum of 26 ft. is required for a minimum of 20 ft. on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Grades over 15 % shall be paved and no grade shall be over 20 %. When gravel roads are used, it shall be class 2 base or equivalent compacted to 95 %. Gravel road access shall be certified by an engineer as to the material thickness, compaction, all weather capability, and weight it will support.
25. A fire alarm system shall be installed meeting California Fire and Building Codes and NFPA 72.
26. An interior and exterior audible alarm activated by automatic fire sprinkler system water flow shall be required to be installed in all residential systems. All hardware must be included on the submitted sprinkler plans.
27. An approved Automatic Fire Sprinkler System meeting the requirements of NFPA-13R shall be required to be installed for your project. Plans shall be submitted to the San Mateo County Building Inspection Section for review and approval by the San Mateo County Fire Department.
28. A statement that the building will be equipped and protected by automatic fire sprinklers must appear on the title page of the building plans.

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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



0.12 0 0.06 0.12 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:3,647

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C

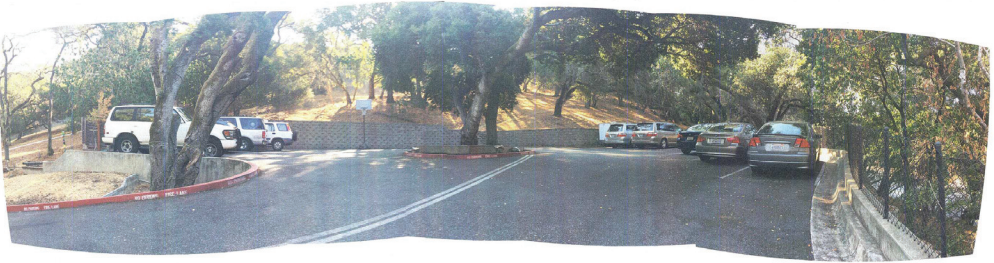
140000 150000 160000 170000 180000 190000 200000 210000 220000 230000 240000 250000 260000 270000 280000 290000 300000 310000 320000 330000 340000 350000 360000 370000 380000 390000 400000 410000 420000 430000 440000 450000 460000 470000 480000 490000 500000 510000 520000 530000 540000 550000 560000 570000 580000 590000 600000 610000 620000 630000 640000 650000 660000 670000 680000 690000 700000 710000 720000 730000 740000 750000 760000 770000 780000 790000 800000 810000 820000 830000 840000 850000 860000 870000 880000 890000 900000 910000 920000 930000 940000 950000 960000 970000 980000 990000 1000000



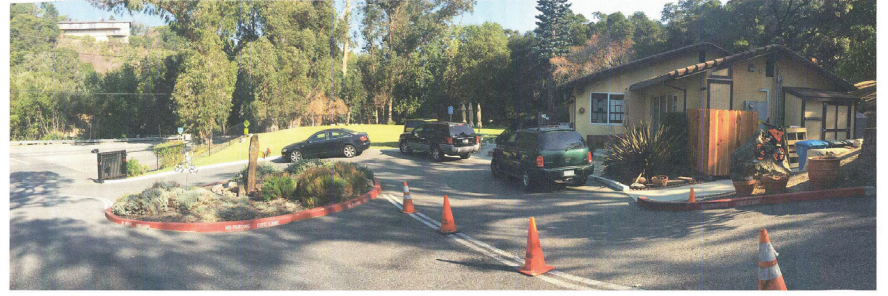
GENERAL NOTES
SEE SHEET A1.00 FOR KEVED EXISTING SITE PHOTOS.
SEE SHEET A1.00 FOR KEVED CONCEPTUAL PERSPECTIVES.
SEE SHEET A1.20 FOR KEVED SITE SECTIONS.

LEGEND
NEW CONSTRUCTION
NEW SITE STRUCTURES

BOUNDARY ARCHITECTURE DOWN-SALE, CONTRACTOR AND OTHER INTELLECTUAL PROPERTY RIGHTS IN THE WORK PRODUCT AND IS PROTECTED BY UNITED STATES COPYRIGHT LAW AND INTERNATIONAL TREATY PROVISIONS - REFER TO THE PROJECT MANUAL FOR APPLICABLE USE RESTRICTIONS.



EXISTING SITE PHOTO - EXISTING UPPER PARKING LOT 4



EXISTING SITE PHOTO - MAIN ENTRY • EXISTING BUILDING 'A' 3



EXISTING SITE PHOTO - POLHEMUS RD LOOKING WEST AWAY FROM SUBJECT PROPERTY 2



EXISTING SITE PHOTO - LOOKING EAST TOWARD SUBJECT PROPERTY • INTERSECTION OF CRYSTAL SPRINGS + POLHEMUS ROADS 1



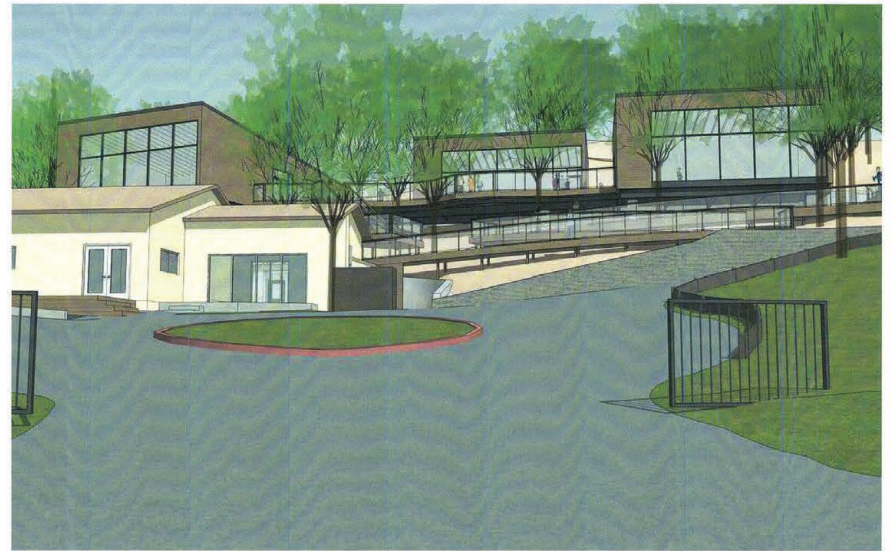
AERIAL VIEW FROM NORTHWEST
N.T.S. 4



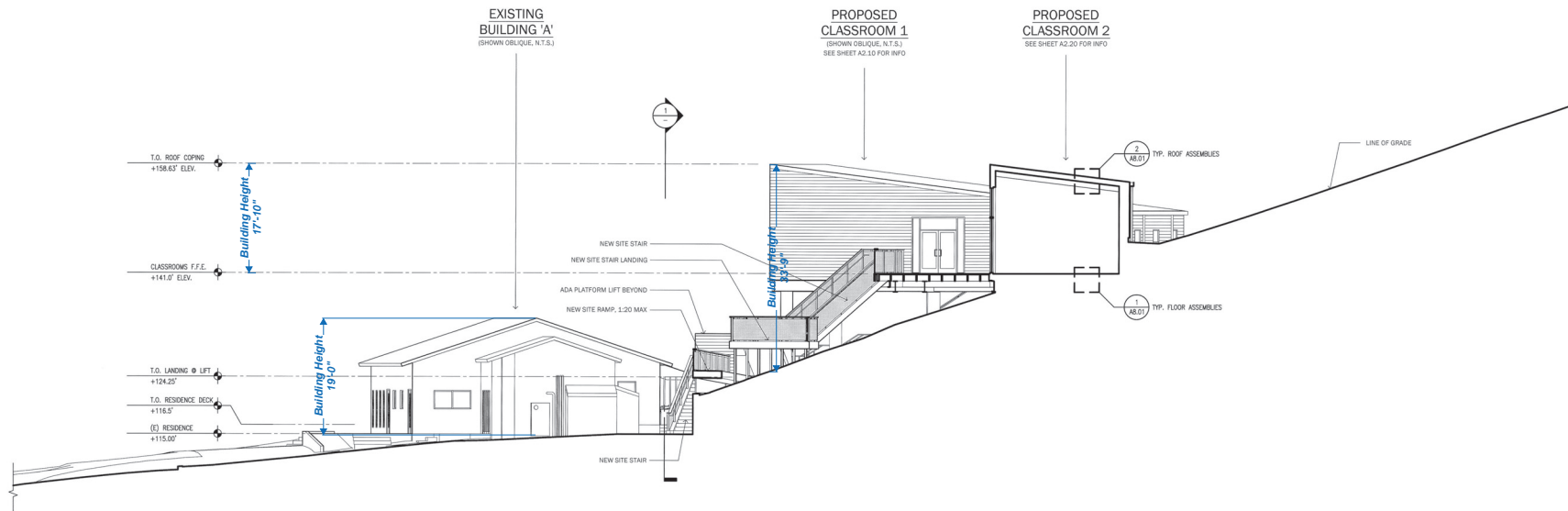
AERIAL VIEW FROM SOUTHWEST
N.T.S. 2



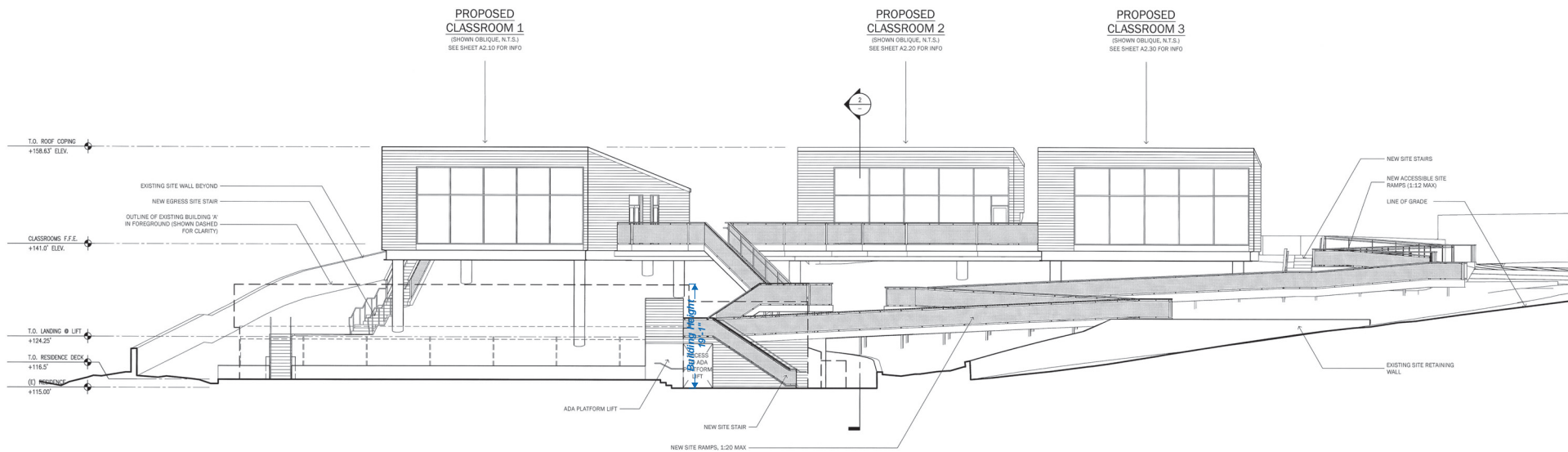
VIEW FROM EXISTING DRIVEWAY
N.T.S. 3



VIEW FROM MAIN ENTRY GATE
N.T.S. 1

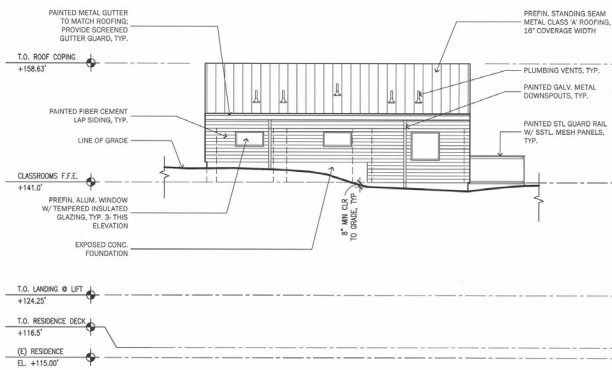


PROPOSED TRANSVERSE SITE SECTION 2
1/8" = 1'-0"

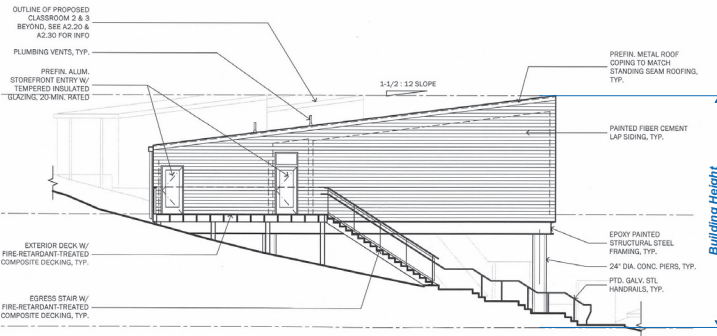


PROPOSED LONGITUDINAL SITE SECTION 1
1/8" = 1'-0"

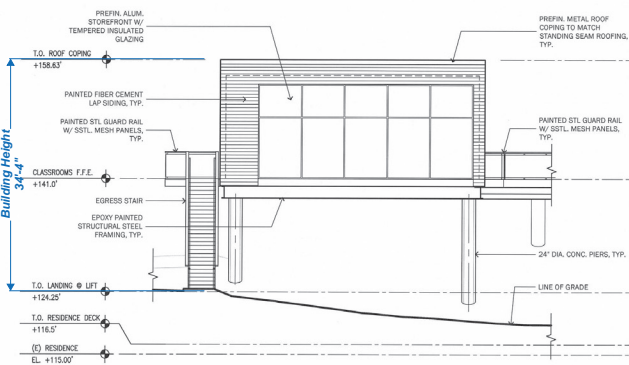
ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE AND THE 2018 INTERNATIONAL BUILDING CODE. REFER TO THE PROJECT MANUAL FOR APPLICABLE SPECIFICATIONS.



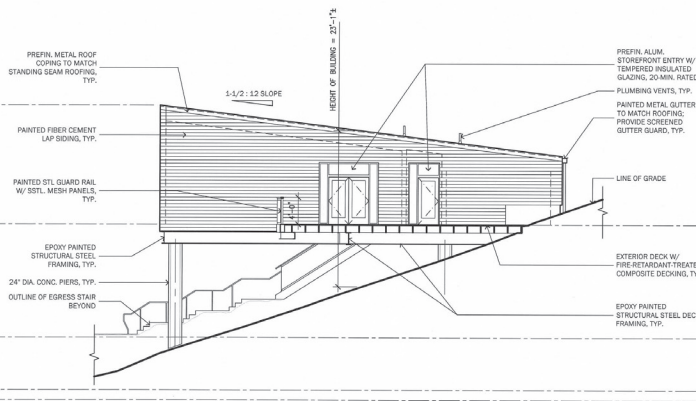
CLASSROOM 1 - EAST EXTERIOR ELEVATION 6
1/8" = 1'-0" 6



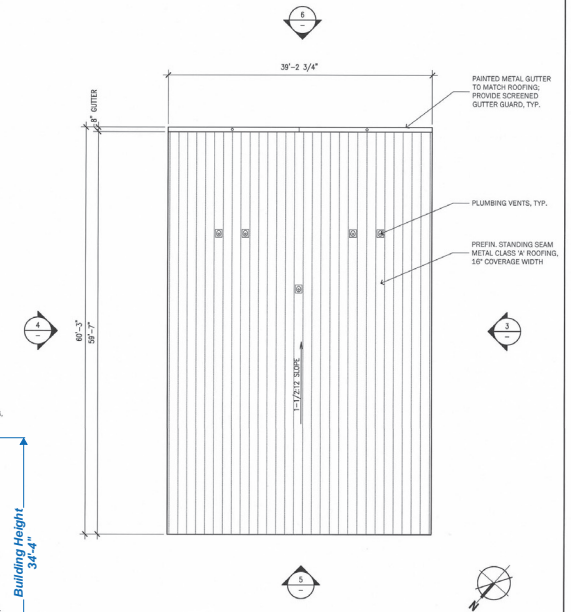
CLASSROOM 1 - NORTH EXTERIOR ELEVATION 4
1/8" = 1'-0" 4



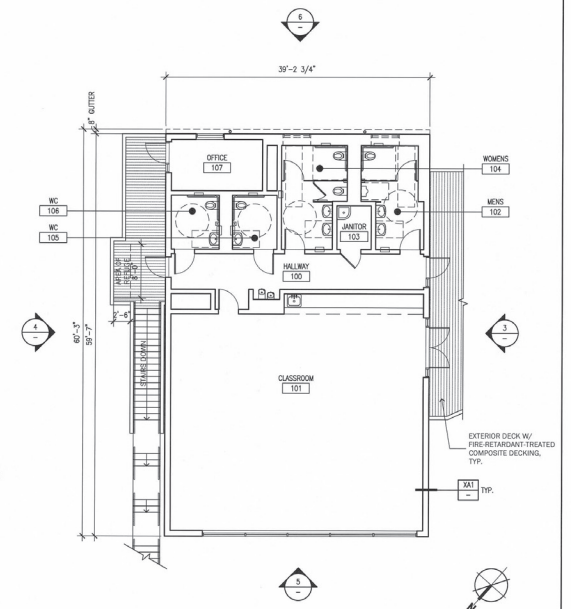
CLASSROOM 1 - WEST EXTERIOR ELEVATION 5
1/8" = 1'-0" 5



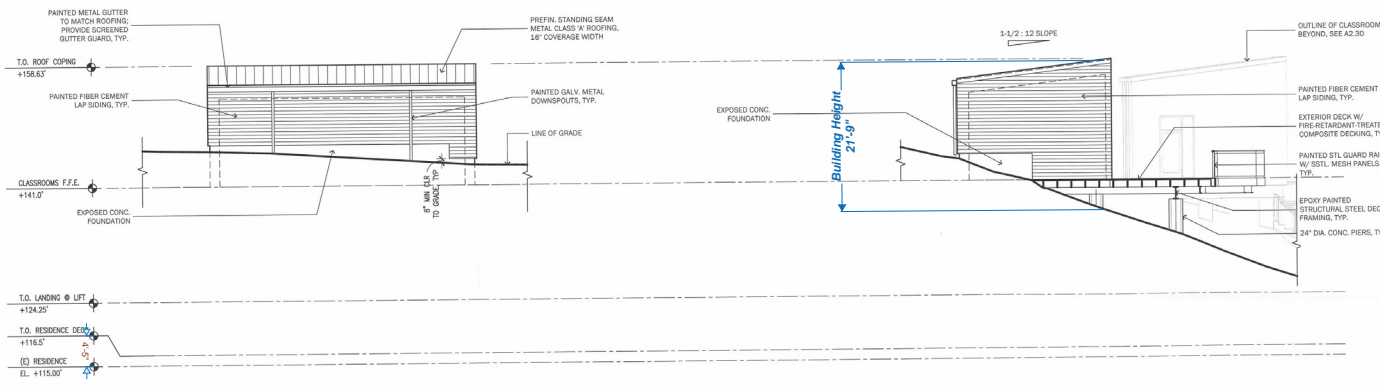
CLASSROOM 1 - SOUTH EXTERIOR ELEVATION 3
1/8" = 1'-0" 3



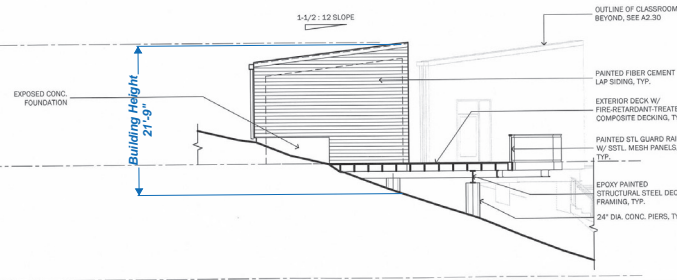
CLASSROOM 1 - ROOF PLAN 2
1/8" = 1'-0" 2



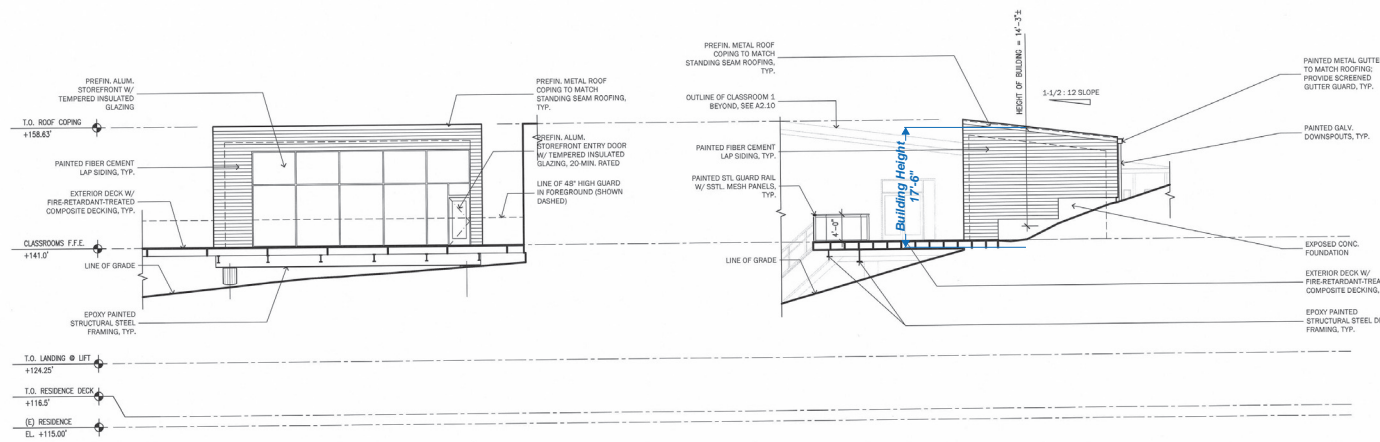
CLASSROOM 1 - FLOOR PLAN 1
1/8" = 1'-0" 1



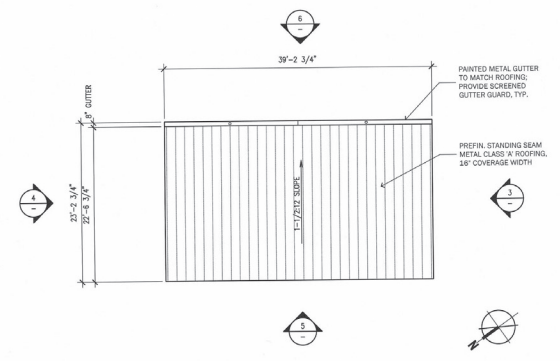
CLASSROOM 2 - EAST EXTERIOR ELEVATION 6
1/8" = 1'-0"



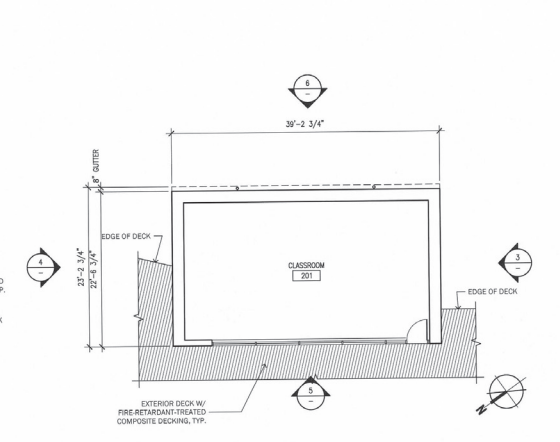
CLASSROOM 2 - NORTH EXTERIOR ELEVATION 4
1/8" = 1'-0"



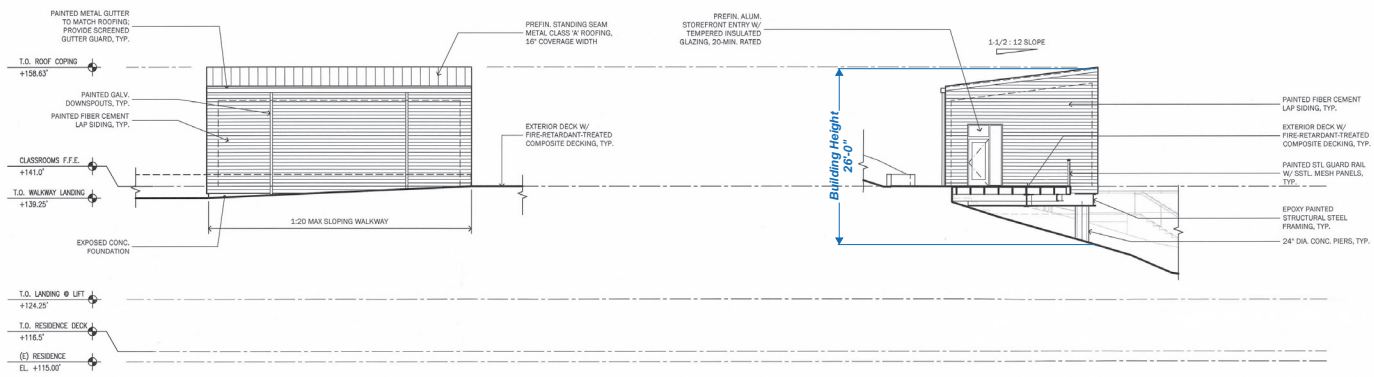
CLASSROOM 2 - WEST EXTERIOR ELEVATION 5
1/8" = 1'-0"



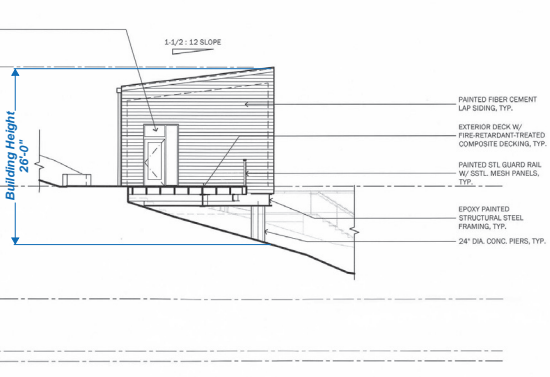
CLASSROOM 2 - ROOF PLAN 2
1/8" = 1'-0"



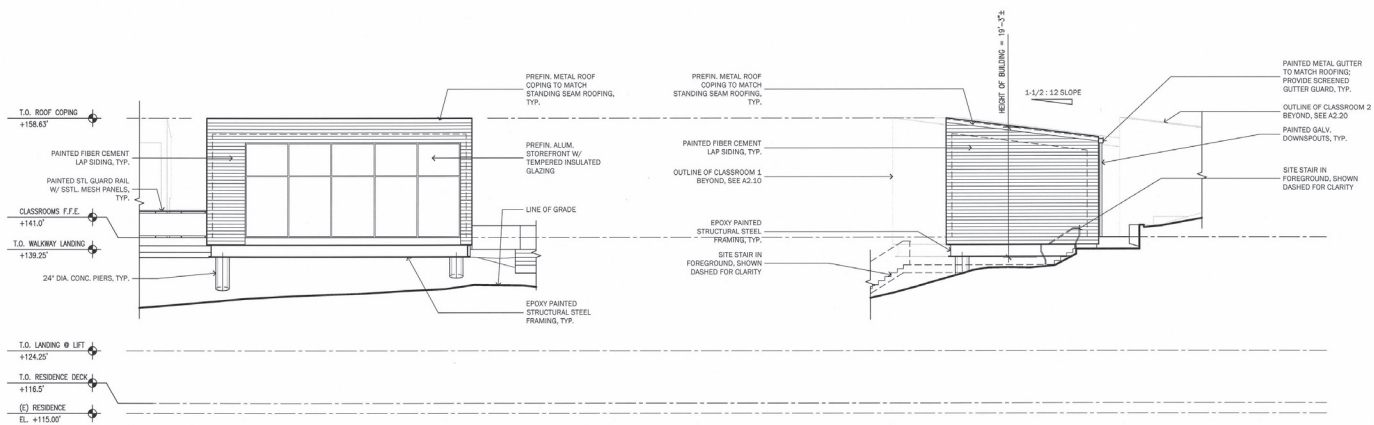
CLASSROOM 2 - FLOOR PLAN 1
1/8" = 1'-0"



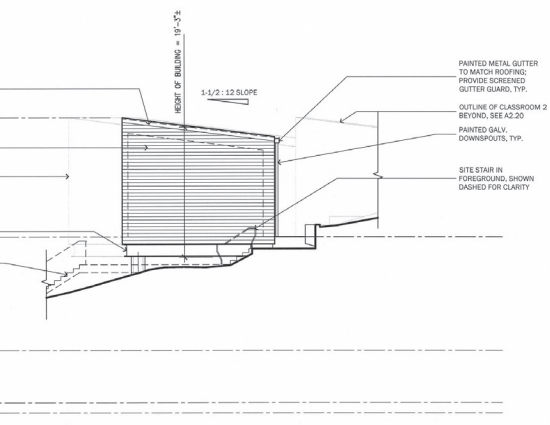
CLASSROOM 3 - EAST EXTERIOR ELEVATION
1/8" = 1'-0" 6



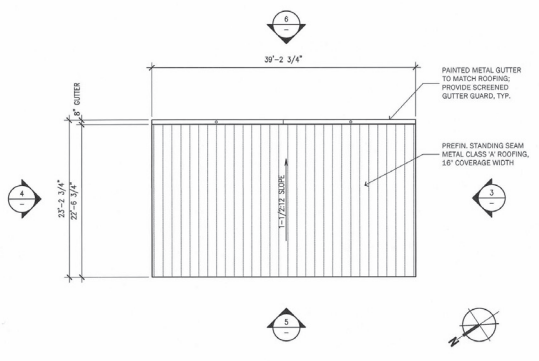
CLASSROOM 3 - NORTH EXTERIOR ELEVATION
1/8" = 1'-0" 4



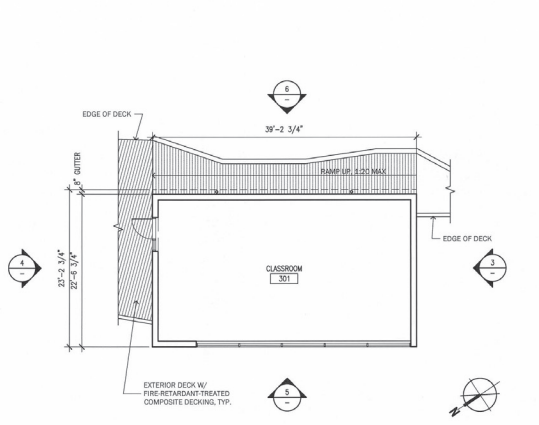
CLASSROOM 3 - WEST EXTERIOR ELEVATION
1/8" = 1'-0" 5



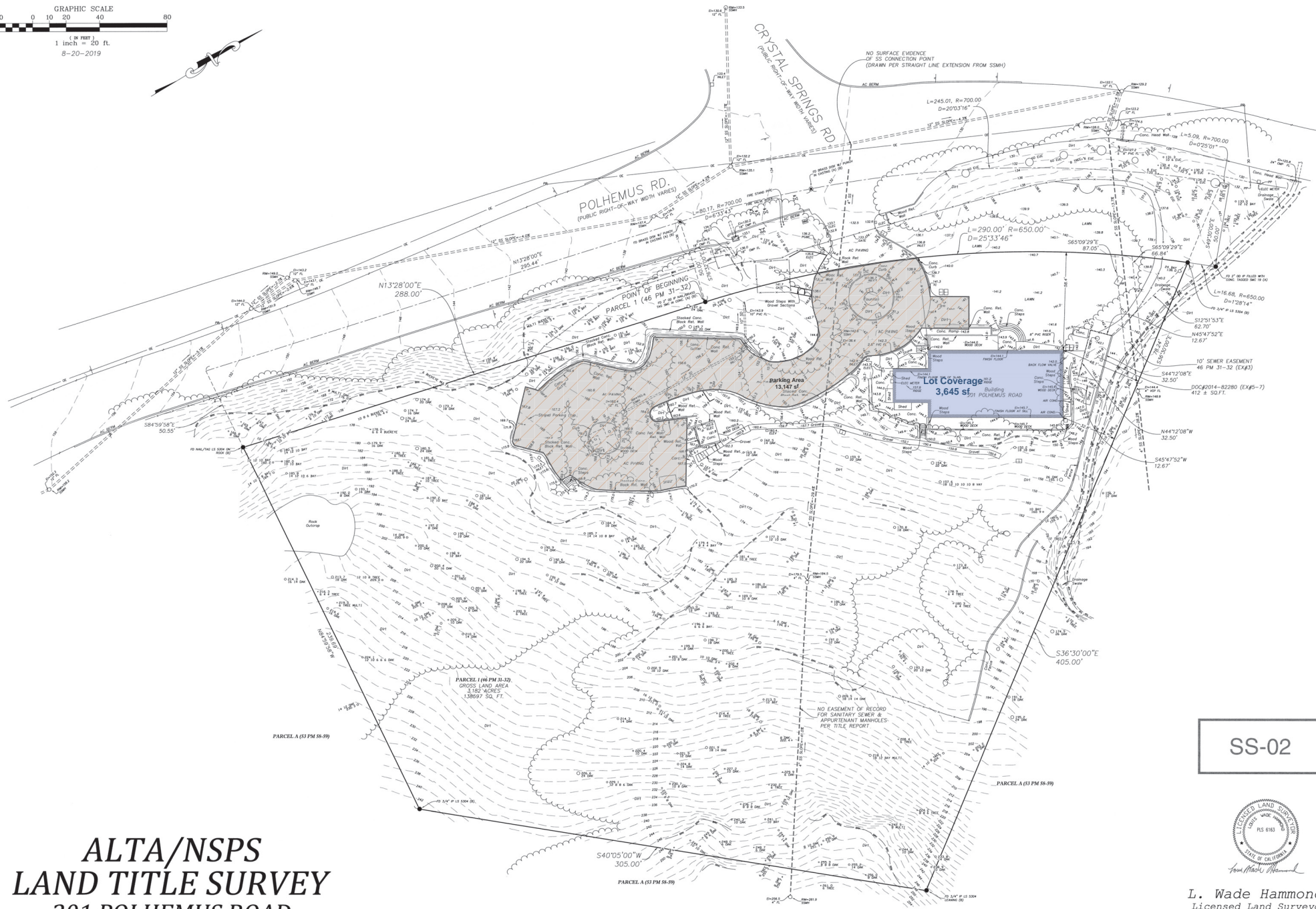
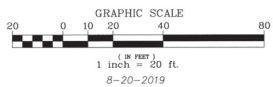
CLASSROOM 3 - SOUTH EXTERIOR ELEVATION
1/8" = 1'-0" 3



CLASSROOM 3 - ROOF PLAN
1/8" = 1'-0" 2



CLASSROOM 3 - FLOOR PLAN
1/8" = 1'-0" 1



**ALTA/NSPS
 LAND TITLE SURVEY**
 201 POLHEMUS ROAD
 SAN MATEO, CA 94402

SS-02



L. Wade Hammond
 Licensed Land Surveyor
 No. 6163
 36660 Newark Blvd., Suite C
 Newark, California 94560
 Tel: (510) 579-6112 Fax: (510) 991-8054
 wade@wblandsurveyor.com



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D

ODYSSEY SCHOOL

201 POLHEMUS ROAD TRAFFIC CIRCULATION / STAFF PARKING

Existing Trips

7:00am – 8:30am | Students - 45 | Staff - 8

3:30pm – 6:00pm | Students - 45 | Staff - 8

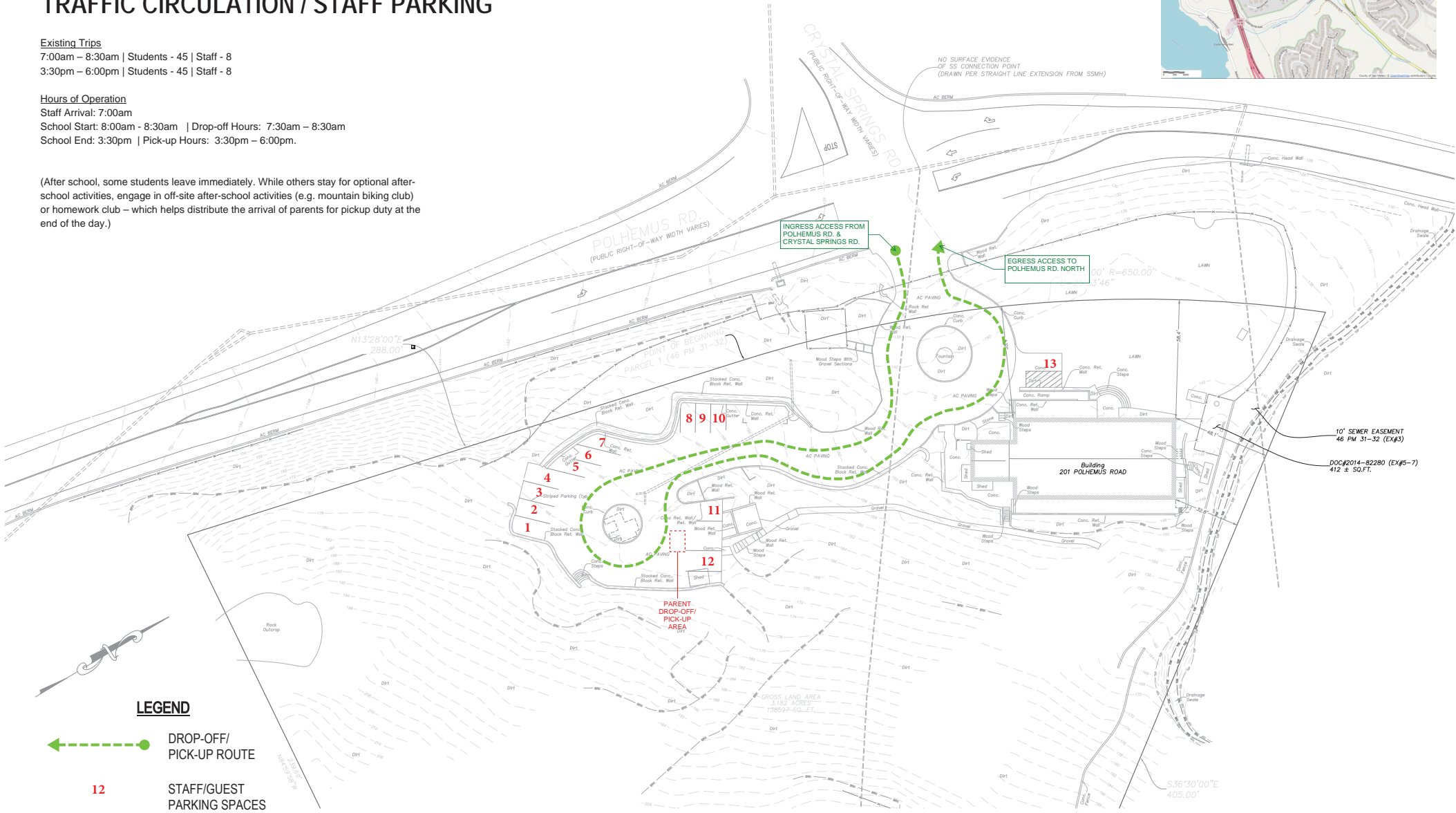
Hours of Operation

Staff Arrival: 7:00am

School Start: 8:00am - 8:30am | Drop-off Hours: 7:30am – 8:30am

School End: 3:30pm | Pick-up Hours: 3:30pm – 6:00pm.

(After school, some students leave immediately. While others stay for optional after-school activities, engage in off-site after-school activities (e.g. mountain biking club) or homework club – which helps distribute the arrival of parents for pickup duty at the end of the day.)



LEGEND



DROP-OFF/
PICK-UP ROUTE

12

STAFF/GUEST
PARKING SPACES

ODYSSEY SCHOOL

201 POLHEMUS ROAD TRAFFIC CIRCULATION / STAFF PARKING

Proposed Trips

7:00am – 7:30am | Staff - 12
 7:30am – 8:30am | Students - 90
 3:30pm – 6:00pm | Students - 90
 5:30pm – 6:30pm | Staff - 12

Hours of Operation

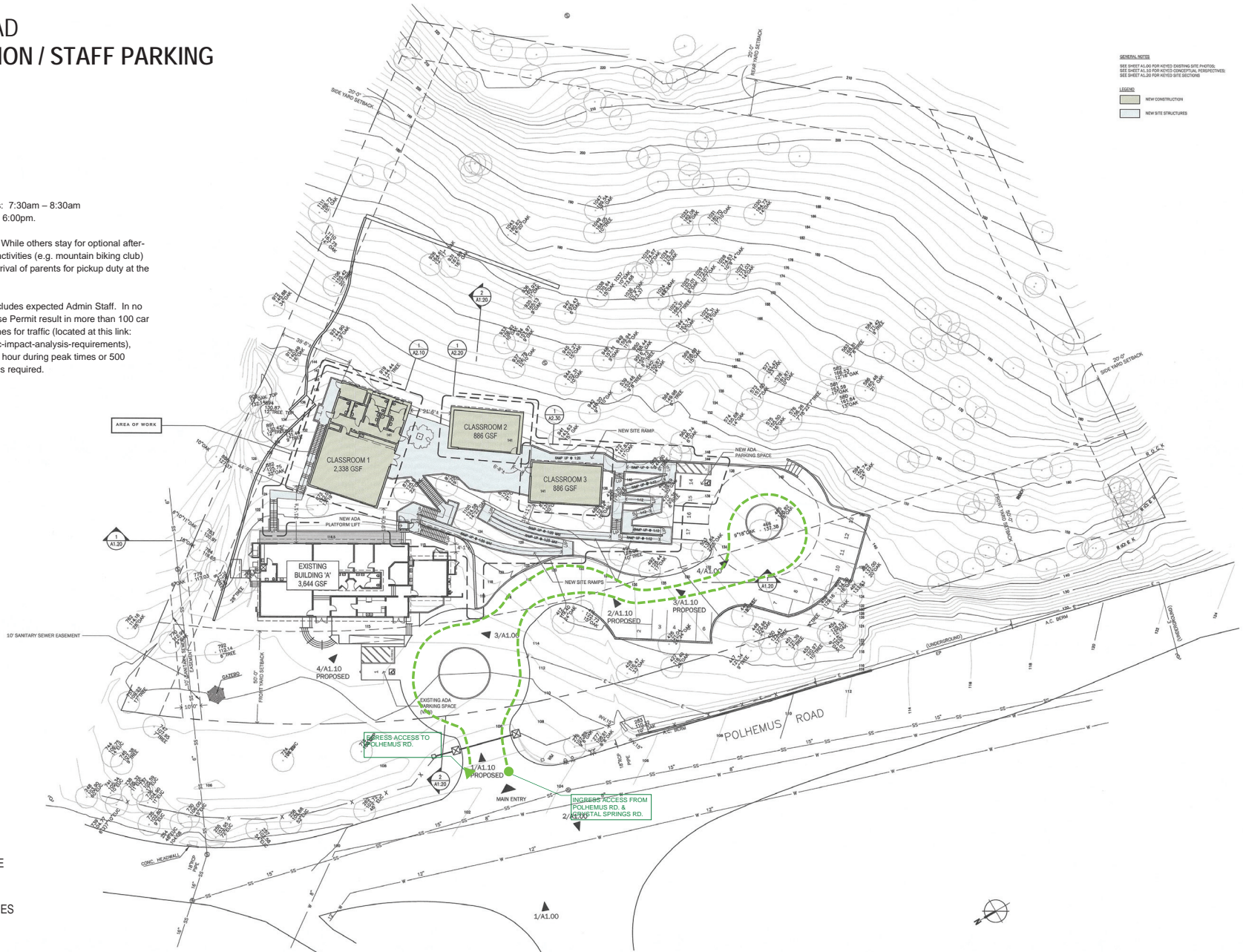
Staff Arrival: 7:00am
 School Start: 8:00am - 8:30am | Drop-off Hours: 7:30am – 8:30am
 School End: 3:30pm | Pick-up Hours: 3:30pm – 6:00pm.

(After school, some students leave immediately. While others stay for optional after-school activities, engage in off-site after-school activities (e.g. mountain biking club) or homework club – which helps distribute the arrival of parents for pickup duty at the end of the day.)

The estimated increase in traffic is small, and includes expected Admin Staff. In no case do we think the requested change in Use Permit result in more than 100 car trips per hour per the San Mateo County guidelines for traffic (located at this link: <https://publicworks.smcgov.org/documents/traffic-impact-analysis-requirements>), which states that with less than 100 vehicles per hour during peak times or 500 vehicles per day, then no traffic impact analysis is required.

SPECIAL NOTE
 SEE SHEET A1.00 FOR REVISED EXISTING SITE PHOTOS.
 SEE SHEET A1.30 FOR REVISED CONCEPTUAL PERSPECTIVES.
 SEE SHEET A1.40 FOR REVISED SITE SECTION.

LEGEND
 [Green Outline] NEW CONSTRUCTION
 [Grey Outline] NEW SITE STRUCTURES



LEGEND

- ← DROP-OFF/
PICK-UP ROUTE
- ← 12 STAFF/GUEST
PARKING SPACES